



# Camden Council

## Business Paper

**Ordinary Council Meeting**  
**28 August 2012**

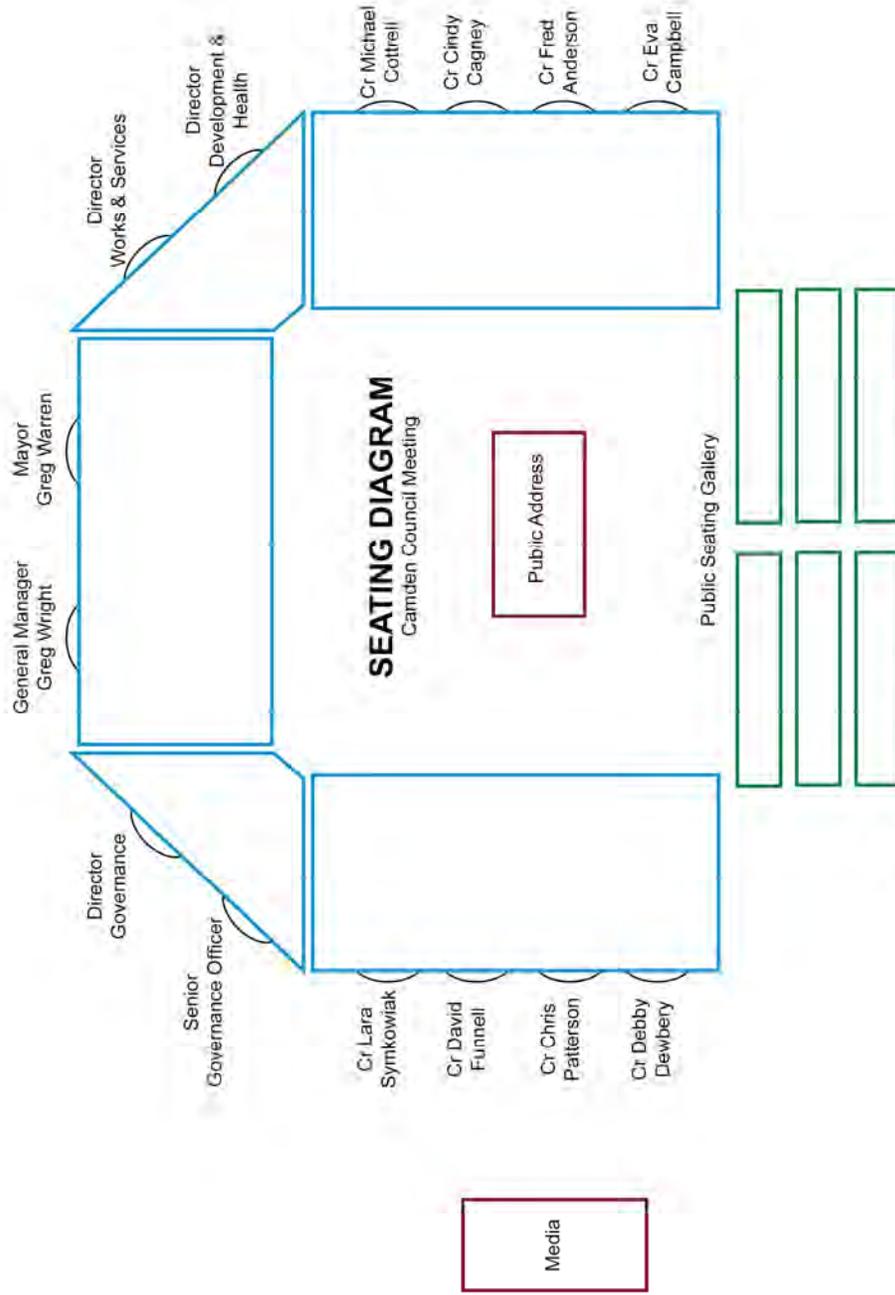
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**Camden Civic Centre**  
**Oxley Street**  
**Camden**



## COMMON ABBREVIATIONS

AEP	Annual Exceedence Probability
AHD	Australian Height Datum
BCA	Building Code of Australia
CLEP	Camden Local Environmental Plan
CP	Contributions Plan
DA	Development Application
DECCW	Department of Environment, Climate Change & Water
DCP	Development Control Plan
DDCP	Draft Development Control Plan
DPI	Department of Planning & Infrastructure
DLG	Division of Local Government, Department of Premier & Cabinet
DWE	Department of Water and Energy
DoH	Department of Housing
DoT	NSW Department of Transport
EIS	Environmental Impact Statement
EP&A Act	Environmental Planning & Assessment Act
EPA	Environmental Protection Authority
EPI	Environmental Planning Instrument
FPL	Flood Planning Level
GCC	Growth Centres Commission
LAP	Local Approvals Policy
LEP	Local Environmental Plan
LGA	Local Government Area
MACROC	Macarthur Regional Organisation of Councils
OSD	Onsite Detention
REP	Regional Environmental Plan
PoM	Plan of Management
RL	Reduced Levels
RMS	Roads & Maritime Services (incorporating previous Roads & Traffic Authority)
SECTION 149	
CERTIFICATE	Certificate as to zoning and planning restrictions on properties
SECTION 603	
CERTIFICATE	Certificate as to Rates and Charges outstanding on a property
SECTION 73	
CERTIFICATE	Certificate from Sydney Water regarding Subdivision
SEPP	State Environmental Planning Policy
SRA	State Rail Authority
SREP	Sydney Regional Environmental Plan
STP	Sewerage Treatment Plant
VMP	Vegetation Management Plan
WSROC	Western Sydney Regional Organisation of Councils



*Please do not talk during Council Meeting proceedings.  
Recording of the Council Meeting is not permitted by members of the public at any time.*



# ORDINARY COUNCIL

## ORDER OF BUSINESS - ORDINARY COUNCIL

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## **ORDINARY COUNCIL**

**SUBJECT:        RECORDING OF COUNCIL MEETINGS**

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In accordance with Camden Council's Code of Meeting Practice and as permitted under the Local Government Act this meeting is being audio recorded by Council staff for minute taking purposes.



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## ORDINARY COUNCIL

**SUBJECT: APOLOGIES**

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Leave of absence tendered on behalf of Councillors from this meeting.

**RECOMMENDED**

**That leave of absence be granted.**



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## ORDINARY COUNCIL

**SUBJECT:       DECLARATION OF INTEREST**

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NSW legislation provides strict guidelines for the disclosure of pecuniary and non-pecuniary Conflicts of Interest and Political Donations.

Council's Code of Conduct also deals with pecuniary and non-pecuniary conflict of interest and Political Donations and how to manage these issues (Clauses 7.5 -7.27).

Councillors should be familiar with the disclosure provisions contained in the Local Government Act 1993, Environmental Planning and Assessment Act, 1979 and the Council's Code of Conduct.

This report provides an opportunity for Councillors to disclose any interest that they may have or Political Donation they may have received relating to a Report contained in the Council Business Paper and to declare the nature of that interest.

### **RECOMMENDED**

**That the declarations be noted.**



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## ORDINARY COUNCIL

**SUBJECT: PUBLIC ADDRESSES**

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The Public Address segment (incorporating Public Question Time) in the Council Meeting provides an opportunity for people to speak publicly on any item on Council's Business Paper agenda or on any matter within the Local Government area which falls within Council jurisdiction.

Speakers must book in with the Council office by 4.00pm on the day of the meeting and must advise the topic being raised. Only seven (7) speakers can be heard at any meeting. A limitation of one (1) speaker for and one (1) speaker against on each item is in place. Additional speakers, either for or against, will be identified as 'tentative speakers' and should only be considered where the total number of speakers does not exceed seven (7) at any given meeting.

Where a member of the public raises a question during the Public Address segment, a response will be provided where Councillors or staff have the necessary information at hand; if not a reply will be provided at a later time. There is a limit of one (1) question per speaker per meeting.

All speakers are limited to 4 minutes, with a 1 minute warning given to speakers prior to the 4 minute time period elapsing.

Public Addresses are recorded for administrative purposes. It should be noted that speakers at Council meetings do not enjoy any protection from parliamentary-style privilege. Therefore they are subject to the risk of defamation action if they make comments about individuals. In the event that a speaker makes potentially offensive or defamatory remarks about any person, the Mayor/Chairperson will ask them to refrain from such comments.

The Mayor/Chairperson has the discretion to withdraw the privilege to speak where a speaker continues to make inappropriate or offensive comments about another person.

### **RECOMMENDED**

**That the public addresses be noted.**



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## ORDINARY COUNCIL

**SUBJECT: CONFIRMATION OF MINUTES**

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Confirm and adopt Minutes of the Ordinary Council Meeting held 14 August 2012 and the Minutes of the Local Traffic Committee Meeting held 21 August 2012.

**RECOMMENDED**

**That the Minutes of the Ordinary Council Meeting held 14 August 2012, and the Minutes of the Local Traffic Committee Meeting held 21 August 2012, copies of which have been circulated, be confirmed and adopted.**



**ORD01**

## **ORDINARY COUNCIL**

**ORD01**

**SUBJECT: SITE INSPECTION - TWO STOREY ADDITIONS AT NO 51 MENANGLE ROAD, CAMDEN**

**FROM:** Director, Development and Health

**BINDER:** Development Applications 2012/ DA 461/2012

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A report was submitted to the Council meeting of 14 August 2012. At that meeting Council resolved to defer the decision until a site inspection had been carried out.

A site inspection is to be held prior to the matter going before Council. Councillors to meet in the Council Carpark at 4.45pm or on-site at 5.00pm.

**RECOMMENDED**

**N/A**



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## ORDINARY COUNCIL

ORD02

ORD02

**SUBJECT:** CONSTRUCTION OF TWO STOREY ADDITION AT NO 51 (LOT 2 DP 302447) MENANGLE ROAD, CAMDEN

**FROM:** Director, Development and Health

**BINDER:** Development Applications 2012 / DA461/2012

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**DA NO:** 461/2012

**OWNER:** SJ Wilkinson & DR Boone

**APPLICANT:** D Boone

**ZONING:** R3 Medium Density Residential

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### PURPOSE OF REPORT

The purpose of this report is to seek a determination of a Development Application (DA) for the construction of a two storey dwelling addition.

The DA is referred to Council in accordance with its delegations as there remain unresolved issues raised in two submissions received from the public.

### SUMMARY OF RECOMMENDATION

It is recommended that Council approve the DA subject to the draft development consent conditions provided at the end of this report.

### BACKGROUND

On 14 May 2012, Council received a DA for demolition of an existing carport, garage and weatherboard addition and construction of a new two storey addition to the rear of the original dwelling. The site is located within a Heritage Conservation Area and prior to lodgement the owner sought advice from Council officers on the controls applicable to the site.

The DA was publicly notified between 17 May 2012 and 31 May 2012 and two submissions were received in objection to the proposal.

This report has been resubmitted for Council's consideration following the deferral of the item for a site inspection at the Council meeting on 14 August 2012.

### THE SITE

The site is known as No 51 (Lot 2 DP 302447) Menangle Road, Camden. The site slopes towards the rear, has an area of approximately 1,012m<sup>2</sup> and is located within the Camden Heritage Conservation Area. There is a public pathway adjacent to the southern boundary of the site.

The land currently contains a traditional style, single storey brick cottage with an attached two storey weatherboard addition to the rear and a free standing garage/carport. The property is surrounded by similar dwellings with single storey appearance to the street and two storey construction to the rear.

**A location map is provided at the end of this report.**

### **THE PROPOSAL**

Development consent is sought for the demolition of a garage, carport and two storey weatherboard rear addition to allow construction of a new two storey brick addition to the rear of the dwelling.

The proposed 2 storey addition includes a garage and games room on the ground floor and an open plan living area (comprising kitchen, dining and lounge room) on the first floor. A glass walled atrium provides connection between the original dwelling and the new addition.

The applicant has provided a material palette guide indicating that the addition will be constructed of a tiled roof and exposed rustic brown brickwork with neutral colours for the windows, doors and fascia. The atrium responds to a design philosophy to provide a clear link and identification between the old and the new work.

**A copy of the proposed plan and elevations is provided at the end of this report. A copy of the floor plan is provided with the Business Papers supporting documents.**

### **NOTIFICATION**

Surrounding neighbours were notified of the DA between 17 May and 31 May 2012 and two submissions were received in objection to the proposed development.

The submissions are addressed further under the heading 'Any Submissions' in the assessment section of this report.

**A copy of the submissions is provided with the Business Paper supporting documents.**

### **PLANNING CONTROLS**

The following plans and policies have been considered in the assessment of this application:

- Camden Local Environmental Plan 2010 (LEP 2010)
- Camden Development Control Plan 2011 (DCP 2011)

### **ASSESSMENT**

The DA has been assessed in accordance with Section 79C of the *Environmental Planning and Assessment Act, 1979*.

The following comments are made with respect to the critical aspects of the application.

#### **(1)(a) (i) the provisions of any environmental planning instrument**

##### **Camden Local Environmental Plan 2010**

Under the Camden LEP 2010 the land is zoned R3 Medium Density Residential and is located within the Camden Heritage Conservation Area. The design of the development (including retention of the dwelling) considers the heritage value of the

area and meets the objective of the LEP 'to conserve the environmental heritage of Camden'.

#### Building Height

Clause 4.3 of the LEP provides building standards for this zone which provides a maximum building height of 9.5m. The maximum building height of the proposed extension is 9.413m, to the ridge of the roof.

#### Floor Space Ratio (FSR)

Clause 4.4 of the LEP allows a maximum floor space ratio (FSR) of 0.5:1. The total gross floor area of the finished building including the first floor area is 320.15m<sup>2</sup>. This achieves a FSR of 0.31:1 which is below the maximum permitted FSR.

#### Heritage

Clause 5.10 of the LEP is applicable as the site is situated within the Camden Heritage Conservation Area, however is not listed as an individual heritage item nor is it adjacent to any heritage item.

A Statement of Heritage Impact prepared by a qualified heritage consultant was lodged with the DA and concludes:

*"The proposed rear addition does not seek to replicate the heritage styles of architecture within the conservation area instead intends to compliment the existing residence with its domestic proportions and simple form.*

*By following the natural topography and cutting into the rear of the property the addition will not rise above the existing front residence. As a result, it will be less visible when viewed from Menangle Road and will retain the single storey appearance to the street front.*

*The new roof level, pitch and form will be similar to that of the front residence."*

To reduce the impact of the new work on the heritage character of the streetscape the applicant has sought to design an addition which would be located to the rear of the existing building following the sloping contours down the site.

In accordance with the requirements of Clause 5.10(4) of the LEP, consideration has been given to the effect of the development on the Heritage Conservation Area. The new work retains the principal dwelling, has minimal visual impact when viewed from the street and maintains the traditional residential aspect of Menangle Road.

#### **(1)(a) (ii) the provisions of any draft environmental planning instrument**

There is no relevant draft environmental planning instrument applying to the land.

#### **(1)(a) (iii) the provisions of any development control plan**

##### Camden Development Control Plan 2011

The proposed development has been assessed against Part D2 'Residential Development' which provides controls related to the rear addition including setbacks, FSR and privacy.

A summary of these controls is provided as follows:

<b>DCP</b>	<b>Control</b>	<b>Compliance</b>
<b>Setbacks</b>	<ul style="list-style-type: none"> <li>Rear – min. 6 m for 2 storey</li> <li>Side - min. 0.9m</li> <li>Walls along side boundary setbacks to be articulated in the form of windows, wall return or architectural features.</li> </ul>	<p>Complies - Rear setback approximately 30m</p> <p>Complies – Side setback (north) 0.947m</p> <p>Complies - Side setback (south) 3.94m south</p> <p>Complies</p>
<b>Floor Space Ratio</b>	<ul style="list-style-type: none"> <li>Maximum FSR 0.5:1</li> </ul>	<p>Complies</p> <p>Proposed FSR 0.31:1</p>
<b>Privacy</b>	<ul style="list-style-type: none"> <li>No direct overlooking of neighbours main living and private open space.</li> <li>Highlight windows and privacy screen to be provided.</li> </ul>	<p>Complies subject to condition of consent for privacy screens.</p>
<b>Building Height</b>	<ul style="list-style-type: none"> <li>Max. 9.5m</li> </ul>	<p>Complies – 9.413m</p>

The proposed development is considered to comply with the relevant requirements of the DCP.

**(1)(a) (iia) the provisions of any planning agreements**

There are no planning agreements relating to this proposal.

**(1)(a) (iv) the provisions of the Regulations**

The Regulations do not specify any matters that are applicable to this development.

**(1)(b) the likely impacts of the development**

Section 79C requires Council to consider the likely impact of a development such as the environmental impacts on both the natural and built environments as well as the social and economic impacts on the locality.

The residential development is an acceptable land use, which is permitted within the zone and compatible with the surrounding residential area. The social impacts of the proposed development are deemed to be appropriate for the locality.

**(1)(c) the suitability of the site for the development**

The site is considered to be suitable for the development. There are no factors associated with the site that preclude the intended development.

### **(1)(d) any submissions received**

The application was publicly notified between 17 May and 31 May 2012 and two submissions were received. The issues raised in the submissions are as follows:

- *New work not 'in period'*

*Officer comment:*

In designing the proposed rear addition, the applicant sought advice from Council officers and a heritage consultant to achieve a design appropriate for the existing dwelling and the locality.

It is not the intent of the development to mimic the federation style of the existing dwelling which in its self has been modified over time and included the addition of a new roof and the removal of chimneys. Rather, the development seeks to provide a quality design in terms of height, roof pitch and fabric which when viewed from the street would be subservient in design and sympathetic to the character of the existing dwelling. The effect of the development on the Heritage Conservation Area is considered satisfactory.

- *Prominent two storey development*

*Officer Comment:*

The proposed addition is to the rear of the existing dwelling and complies with the building standards provided under the LEP and DCP including the maximum building height of 9.5m. Further, it will replace an existing two storey addition and will be consistent with existing development within the vicinity of the site.

- *Impact on trees on adjoining properties, in particular, on the adjoining northern property.*

*Officer Comment:*

There is an existing tree located near the adjoining boundary to the north. Council's Landscape Officer has inspected the site and is satisfied that the proposed work is acceptable and is unlikely to have an adverse impact on any trees on adjoining properties.

It is noted that the garage to be demolished is setback 350mm from the northern boundary, whilst the proposed building work is setback 939mm from the northern boundary, providing a greater setback distance to the tree.

- *Loss of privacy*

*Officer comment:*

The subject and adjoining site to the north both have upper level balconies at the rear of the dwellings.

To address privacy, the proposed rear addition provides highlight windows facing north and south to avoid direct overlooking of adjoining properties.

Furthermore, in response to the neighbours concerns in relation to loss of privacy, the applicant has agreed to install privacy screens on the northern and southern ends of the rear balcony as well as angled louvres on the upper portion of the glass atrium facing north. These measures have been included in the draft conditions of consent.

It is considered that these measures will maintain the neighbour's privacy.

- *The increased size of the new development compared to the existing building creates inadequate breathing space between neighbouring buildings.*

*Officer Comment:*

Whilst the proposal is larger in area than the existing addition, the proposal complies with Council's requirements including setback, FSR and height requirements. Furthermore, the proposed addition provides for articulation within the design, that provides variation in separation distances between neighbouring properties.

- *The notification plans are not identical to the plans used for Council's determination, in particular, plan numbering.*

*Officer Comment:*

It is not uncommon for DA notification plans to not match the overall plan numbering, as the DA notification plans do not include a full set of all DA plans.

Council's DCP requires the following information to be provided in notification letters:

- a clear drawing of the proposal;
- the location, height and external configuration of proposed buildings or structures; and
- a drawing showing existing and proposed buildings/extensions.

The DA notification plans provided the above information.

- *Increase in footprint, height of building and visual impact*

*Officer Comment:*

The proposal satisfies Council's LEP and DCP controls. The walls of the addition have been articulated to avoid the appearance of a long bland expanse and are purposely designed to avoid impacting on the neighbours' privacy.

- *Loss of views*

*Officer Comment:*

The subject and adjoining sites enjoy district views towards the rear (west). In some directions, these views are restricted by existing trees and structures.

Whilst the proposed addition will extend further towards the rear of the site than the existing building, the impact of the development on the views from neighbouring properties is marginal and the primary view towards the west will not be impacted.

- *Vehicle access and impact of the driveway on the adjacent property*

*Officer Comment:*

There is an existing driveway along the northern boundary of the site which provides vehicle access to the existing carport and garage.

The applicant proposes to retain the existing driveway, however should it need to be replaced it would be constructed in accordance with the Australian Standard for residential driveways and located in the same area as the existing driveway. It is intended for private use and is not intended for commercial or heavy vehicles.

- *Addition appears as a commercial facility*

*Officer Comment:*

The proposed rear addition is of exposed brick construction and tiled roof to match the original dwelling. The design is sympathetic to the existing dwelling and is considered an improved design outcome to the existing weatherboard addition which is to be demolished.

The rooms within the addition are residential in nature, including living areas and a games room. The applicant has not proposed any commercial use of the premises.

**(1)(e) the public interest**

Overall, this development is considered to be within the public interest. It represents the planned and orderly development of the site within an existing residential area.

**CONCLUSION**

Council has received a DA for the demolition of a garage, carport and two storey weatherboard addition and the construction of a new two storey addition to the rear of the dwelling at No 51 (Lot 2 DP 302447) Menangle Road, Camden.

The application has been assessed in accordance with the provisions of Section 79C of the *Environmental Planning and Assessment Act, 1979*, Local Environmental Plan 2010 and Development Control Plan 2011. Public notification was conducted and subsequent submissions have been considered and addressed in this report.

Upon completion of the assessment it has been determined that the development fully complies with the relevant legislation and is a satisfactory development of the land.

This DA is recommended to Council for approval, subject to the draft development consent conditions shown below.

**DRAFT CONDITIONS OF CONSENT**

**1.0 - General Requirements**

The following conditions of consent are general conditions applying to the development.

- (1) **Development in Accordance with Plans** – The development is to be in accordance with plans and documents listed below, except as otherwise provided by the conditions of this consent:

- Architectural plans prepared by Habitat Home Designs, dated 6 December 2011, Issue 2, Sheets 01 – 13;
- Statement of Environmental Effects, prepared by Distinctive Living Design, dated May 2012, Revision A;
- Schedule of Finishes, dated 8/2/2012
- BASIX Certificate;
- Statement of Heritage Impact, prepared by Stedinger Associates, dated November 2011.

Where there is an inconsistency between the approved plans/documentation and the conditions of this consent, the conditions of this consent override the approved plans/documentation to the extent of the inconsistency.

- (2) **Building Code Of Australia** - All works must be carried out in accordance with the requirements of the *Building Code of Australia*.
- (3) **Historical Significance** – Given the location of the subject site and its proximity to other sites and buildings of historical significance, no alterations to the external appearance of the building including painting must be carried out unless the prior written approval of Camden Council has been obtained.

## 2.0 - Construction Certificate Requirements

The following conditions of consent shall be complied with prior to the issue of a Construction Certificate.

- (1) **Privacy Screens** – Permanently fixed 1.8m high privacy screens shall be provided to the northern and southern sides of the first floor balcony as follows:
  - the screens must not have any openings more than 30mm wide; and
  - the total area of all openings shall be less than 30 per cent of the surface area of the screen when viewed in elevation.

Details of the screens shall be submitted to the Certifying Authority prior to the issue of the Construction Certificate.

- (2) **Privacy Louvers** – The upper portion of the glass atrium shall be provided with privacy louvers.

Details shall be provided to the Certifying Authority for consideration prior to the issue of the Construction Certificate.

## 3.0 - Prior To Works Commencing

The following conditions of consent shall be complied with prior to any works commencing on the development site.

- (1) **Sydney Water Approval** – Prior to works commencing, the approved development plans must also be approved by Sydney Water.
- (2) **Erection of Signs** – Shall be undertaken in accordance with Clause 98A of the *Environmental Planning and Assessment Regulation 2000*.

- (3) **Toilet Facilities** - Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet plus one toilet for every 20 persons employed at the site.

Each toilet must:

- (a) be a standard flushing toilet connected to a public sewer, or
  - (b) have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
  - (c) be a temporary chemical closet approved under the *Local Government Act 1993*.
- (4) **Notice Of Commencement Of Work and Appointment of Principal Certifying Authority** – Notice in the manner required by Section 81A of the *Environmental Planning and Assessment Act 1979* and clauses 103 and 104 of the *Environmental Planning and Assessment Regulation 2000* shall be lodged with Camden Council at least two (2) days prior to commencing works. The notice shall include details relating to any Construction Certificate issued by a certifying authority, the appointed Principal Certifying Authority (PCA), and the nominated 'principal contractor' for the building or subdivision works.
- (5) **Construction Certificate Before Work Commences** - This development consent does not allow site works, building or demolition works to commence, nor does it imply that the plans approved as part of the development consent comply with the specific requirements of *Building Code of Australia*. Works must only take place after a Construction Certificate has been issued, and a Principal Certifying Authority (PCA) has been appointed.
- (6) **Soil Erosion And Sediment Control** - Soil erosion and sediment controls must be implemented prior to works commencing on the site.

Soil erosion and sediment control measures must be maintained during construction works and must only be removed upon completion of the project when all landscaping and disturbed surfaces have been stabilised (for example, with site turfing, paving or re-vegetation).

Where a soil erosion and sediment control plan (or details on a specific plan) has been approved with the development consent, these measures must be implemented in accordance with the approved plans. In situations where no plans or details have been approved with the development consent, site soil erosion and sediment controls must still be implemented where there is a risk of pollution occurring.

Provide a stabilised entry/exit point. The access should be a minimum of 2.5m wide and extend from the kerb to the building line. The access should consist of aggregate at 30-40mm in size.

Vehicle access is to be controlled so as to prevent tracking of sediment onto adjoining roadways, particularly during wet weather or when the site has been affected by wet weather.

- (7) **Demolition Australian Standard** - Demolition of the building shall be carried out in accordance with the requirements of Australian Standard AS2601:2001 - Demolition of Structures.

- (8) **Demolition WorkCover NSW Notifications and Permits** - All demolition work must be notified to WorkCover NSW at least seven (7) days before work starts in accordance with Clauses 333 and 345 of the Occupational Health and Safety Regulation 2001.

Demolition work must not begin until a WorkCover NSW stamped copy of the notification has been received and is displayed on site for inspection by any interested party.

- (9) **Information Required Prior to Demolition** - The demolisher shall lodge with Camden Council or the Principal Certifying Authority at least 48 hours prior to the commencement of demolition work the following details:
- (a) written notice indicating the date when demolition of the building is to commence;
  - (b) copy of the demolition licence and details of name, address and business hours contact telephone number;
  - (c) a copy of the applicable asbestos licence (if required for demolition works involving asbestos);
  - (d) copy of the WorkCover NSW permit for the demolition works;
  - (e) copy of the WorkCover NSW stamped notification form including any asbestos removal notification.

#### 4.0 - During Construction

The following conditions of consent shall be complied with during the construction phase of the development.

- (1) **Survey Report (Peg Out)** - The building must be set out by a registered Land Surveyor. A Survey Report detailing the siting of the building in relation to the allotment boundaries shall be submitted to the Principal Certifying Authority (PCA) prior to the placement of any concrete.
- (2) **Fill Quality** – Any fill material brought in for the construction of the development must only contain uncontaminated soil, clay, shale or rock. No effluent, garbage or trade waste, including building or demolition waste, must be included in the fill. The extent and depth of filling must only occur in accordance with the approved plans and any other conditions of the Development Consent. Evidence of the certification of the fill as uncontaminated shall be provided to the Principal Certifying Authority.
- (3) **Thermal Insulation** – The development must be provided with wall and ceiling insulation, (including any wall between living areas and any garage), to conserve energy for the purposes of heating and cooling.

The minimum ratings required are:

Ceilings R3.5  
Walls R1.5

Where installations are performed by an insulation company, a certificate of installation must be submitted to the Principal Certifying Authority (PCA) verifying the installation and required "R" ratings.

- (4) **Hours of Work** – The hours for all construction and demolition work are restricted to between:
- (a) 7.00am and 6.00pm, Monday to Friday (inclusive);
  - (b) 7.00am to 4.00pm on Saturday (if construction noise is inaudible to adjoining residential properties), otherwise 8.00am to 4.00pm;
  - (c) work on Sunday and Public Holidays is prohibited.
- (5) **Site Management** – To safeguard the local amenity, reduce noise nuisance and to prevent environmental pollution during the construction period, the following practices are to be implemented:
- (a) the delivery of material shall only be carried out between the hours of 7.00am and 6.00pm, Monday to Friday, and between 8.00am and 4.00pm on Saturdays;
  - (b) stockpiles of topsoil, sand, aggregate, spoil or other material shall be kept clear of any drainage path, easement, natural watercourse, kerb or road surface and shall have measures in place to prevent the movement of such material off the site;
  - (c) builder's operations such as brick cutting, washing tools, concreting and bricklaying shall be confined to the building allotment. All pollutants from these activities shall be contained on site and disposed of in an appropriate manner;
  - (d) waste must not be burnt or buried on site, nor should wind-blown rubbish be allowed to leave the site. All waste must be disposed of at an approved Waste Disposal Depot;
  - (e) a waste control container shall be located on the development site.
- (6) **Surface Drainage** – To prevent surface water from entering the building:
- (a) the floor level for slab on ground construction shall be a minimum of 150mm above finished ground level for habitable rooms;
  - (b) seepage and surface water shall be collected and diverted clear of the building by a sub-surface/surface drainage system;
  - (c) the control of surface water drainage shall in all respects comply with the *Building Code of Australia (Class 1 and Class 10 Buildings)*;
  - (d) where a rainwater tank is required on the site, all surface water drainage lines shall be connected to the outlet overflow drainage line from the rainwater tank.
- (7) **Shoring and Adequacy of Adjoining Property** - Shall be in accordance with Clause 98E of the *Environmental Planning and Assessment Regulation 2000*.
- (8) **Protection of Public Places** – If the work involved in the erection or demolition of a building:
- (a) is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or

(b) building involves the enclosure of a public place,

a hoarding or fence must be erected between the work site and the public place.

If necessary, an awning is to be erected, sufficient to prevent any substance from or in connection with the work falling into the public place. The work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place. Any such hoarding, fence or awning is to be removed when the work has been completed.

(9) **Roofwater to Existing System** – All roofwater from the subject building(s) shall be connected to the existing stormwater or rainwater drainage system.

All roofwater must be connected to the approved roofwater disposal system immediately after the roofing material has been fixed to the framing members. The Principal Certifying Authority (PCA) must not permit construction works beyond the frame inspection stage until this work has been carried out

(10) **BASIX Certificate** – Under clause 97A of the *Environmental Planning & Assessment Regulation 2000*, it is a condition of this development consent that all the commitments listed in each relevant BASIX Certificate for the development are fulfilled.

In this condition:

(a) relevant BASIX Certificate means:

- (i) a BASIX Certificate that was applicable to the development when this development consent was granted (or, if the development consent is modified under Section 96 of the Act, a BASIX Certificate that is applicable to the development when this development consent is modified); or
- (ii) if a replacement BASIX Certificate accompanies any subsequent application for a Construction Certificate, the replacement BASIX Certificate; and

(b) BASIX Certificate has the meaning given to that term in the *Environmental Planning & Assessment Regulation 2000*.

### 5.0 - Prior To Issue Of Occupation Certificate

The following conditions of consent shall be complied with prior to the issue of an Occupation Certificate.

- (1) **Privacy Screens** – The first floor balcony privacy screens shall be maintained and retained for the life of the balcony.
- (2) **Installation of Privacy Screens** – The balcony privacy screens shall be completed prior to the issue of any Occupation Certificate for the addition.

- (3) **Occupation Certificate** – An Occupation Certificate must be issued by the Principal Certifying Authority (PCA) prior to occupation or use of the development. In issuing an Occupation Certificate, the PCA must be satisfied that the requirements of Section 109H of the *Environmental Planning and Assessment Act 1979* have been satisfied.

The PCA must submit a copy of the Occupation Certificate to Camden Council (along with the prescribed lodgement fee) within two (2) days from the date of determination and include all relevant documents and certificates that are relied upon in issuing the certificate.

The use or occupation of the approved development must not commence until such time as all conditions of this development consent have been complied with.

- (4) **Component Certificates** - Where Camden Council is appointed as the Principal Certifying Authority (PCA) for the development, the following component certificates, as relevant to the development, shall be provided prior to the issued of a Final Occupation Certificate:

- (a) Insulation installation certificates.
- (b) Termite management system installation certificates.
- (c) Smoke alarm installation certificate from installing licensed electrician.
- (d) Survey certificate(s), prepared by a registered land surveyor, certifying that the building has been correctly and wholly located upon the subject allotment.
- (e) Certification attesting that retaining walls have been constructed in accordance with Engineer's details or manufacturer's specifications as applicable.
- (f) All certificates or information relating to BASIX compliance for the development.
- (g) An 'Approval to Operate a Sewage Management System' issued by Camden Council (for areas that are not serviced by a Sydney Water sewer).
- (h) A certificate certifying that the wet areas have been waterproofed in accordance with the requirements of the *Building Code of Australia*.
- (i) All certificates relating to salinity, as required by conditions of the development consent.
- (j) Any other certificates relating to the development (for example, engineering certification for foundations, piers, reinforcing steel or hydraulic certification for all stormwater drainage works).

Where the appointed PCA is not Camden Council, the matters listed in this condition should be regarded as advisory only.

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**Note:** The above certification does not override any requirements of the *Environmental Planning and Assessment Act, 1979* with respect to any required critical stage inspections.

**END OF CONDITIONS**

**RECOMMENDED**

**That Council: approve Development Application 461/2012 for the demolition of a two storey addition and garage and the construction of a two storey addition at No 51 (Lot 2 DP 302447) Menangle Road, Camden subject to the draft Development Consent conditions shown above.**

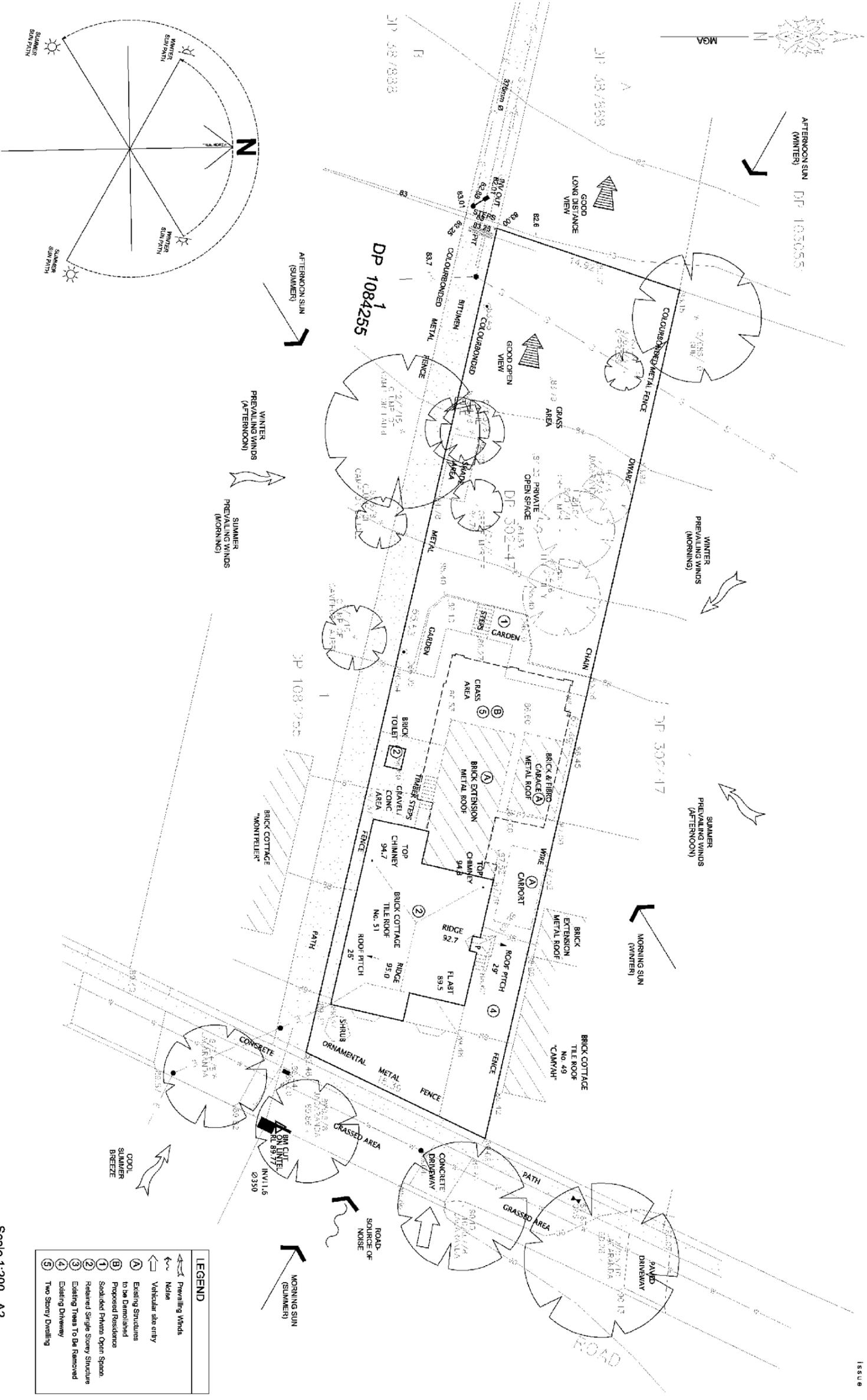
ATTACHMENTS

1. Location plan
2. Proposed Plans
3. Floor Plans - *Supporting Document*
4. Submissions - *Supporting Document*



ORD02

Attachment 1



**LEGEND**

- ← Prevailing Winds
- ↖↗ Haze
- ↔ Vehicular site entry
- Ⓐ Existing Structures to be Demolished
- Ⓑ Proposed Residence
- Ⓘ Relieved Private Open Space
- Ⓙ Retained Single Storey Structure
- ⓪ Existing Trees To Be Removed
- ④ Existing Driveway
- ⑤ Two Storey Dwelling

Scale 1:200 - A2  
 0 2 4 6 8 10 20m

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 P.O. Box 1291 Camden, NSW 2670  
 02 4655 9353 0405 941 441  
 edam@habitat-homedesigns.com.au

**Project: Proposed Alterations & Additions**

**Boone & Wilkinson**  
 Lot 2 DP 3 0 2 4 4 7

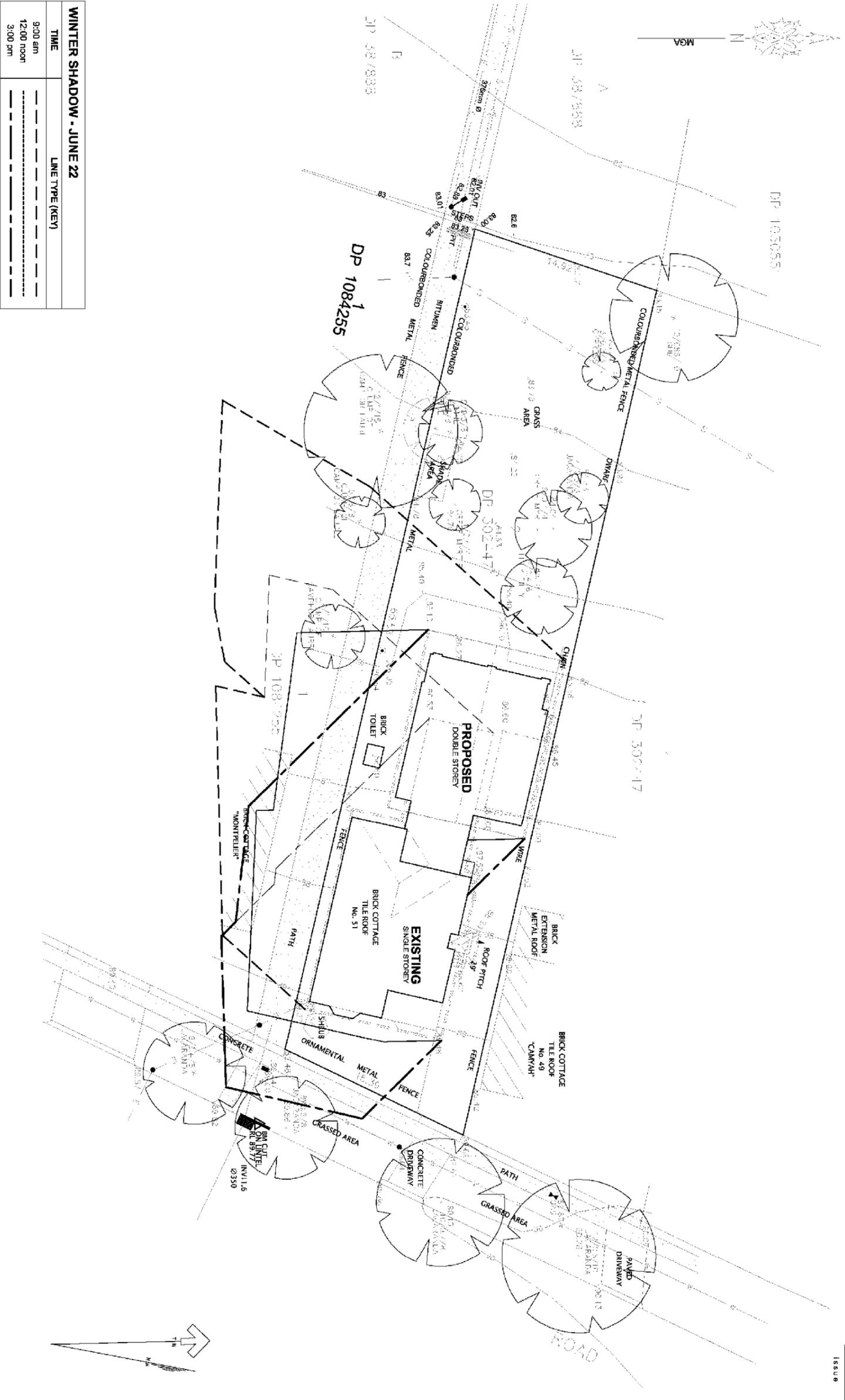
**Site Analysis Plan**  
 51 Menangle Road, Camden

6th December 2011  
 DO NOT SCALE

**02**  
 sheet







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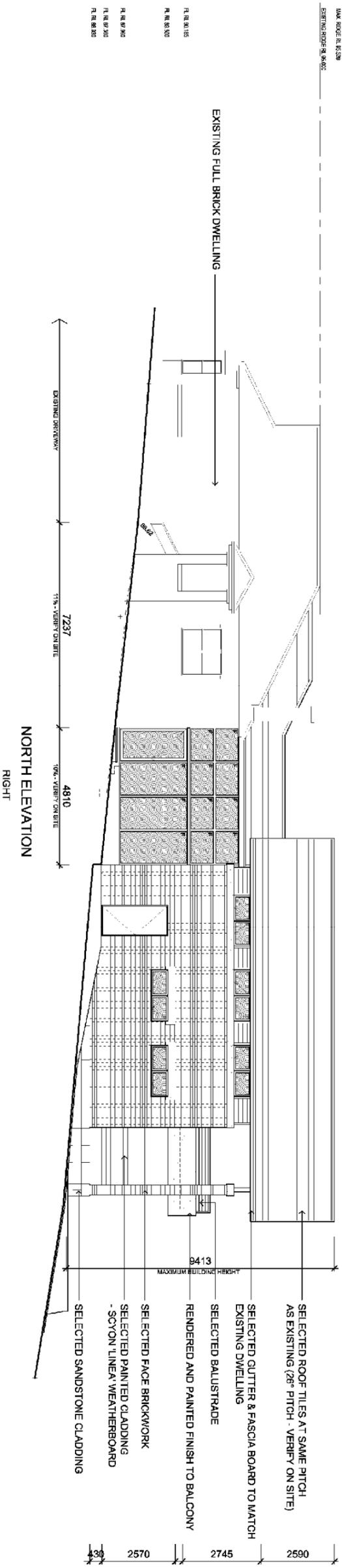
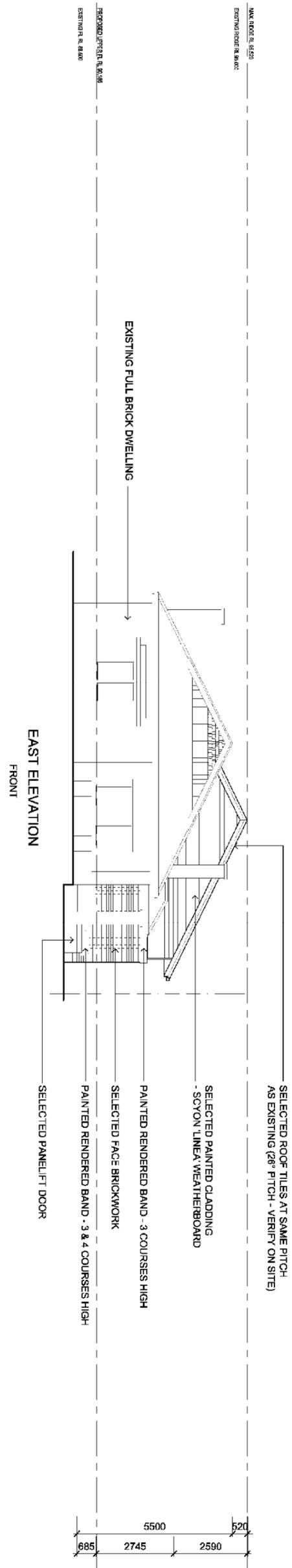
**Project: Proposed Alterations & Additions**

**Boone & Wilkinson Lot 2 DP 3 0 2 4 4 7**

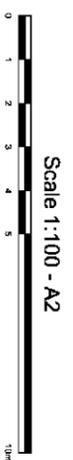
**shadow diagram - Winter 51 Menangle Road, Camden**

6th December 2011  
DO NOT SCALE

**05**  
sheet



**IMPORTANT NOTES:**  
ALL LEVEL ARE DETERMINE BY THE EXISTING FINISHED FLOOR LEVEL OF EXISTING DWELLING - VERIFY ON SITE  
V.O.S. = VERIFY ON SITE



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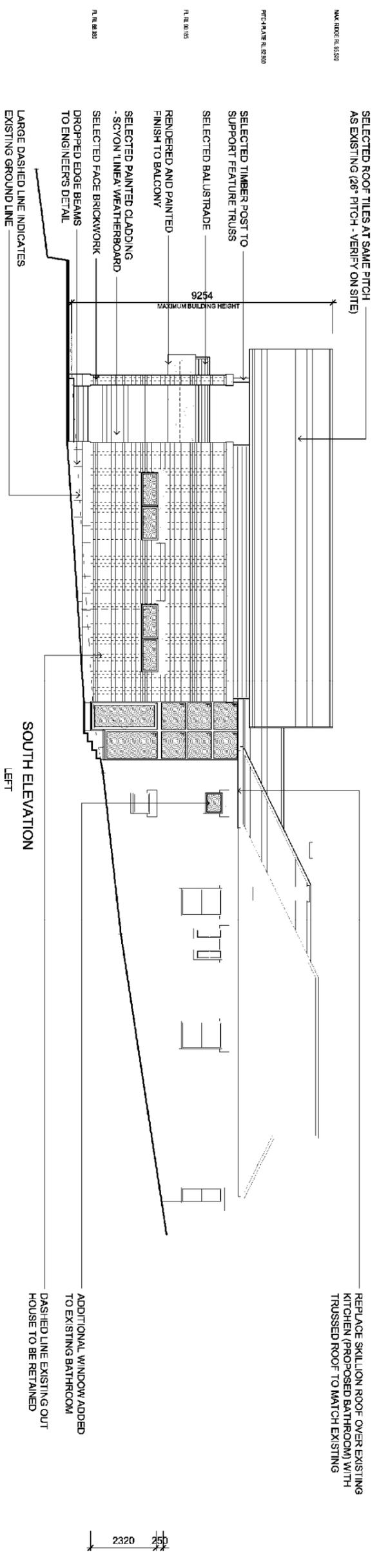
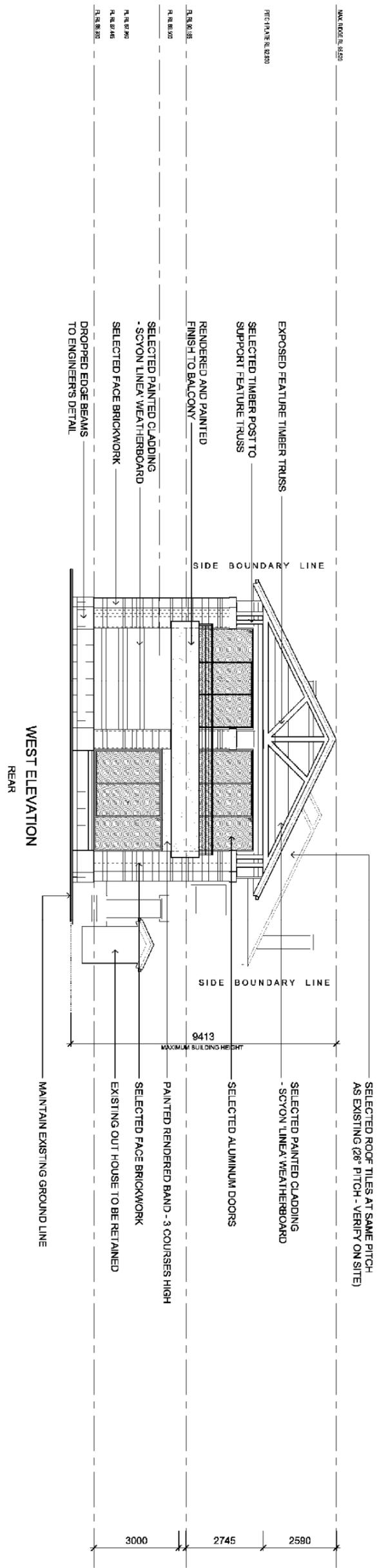
**Project: Proposed  
Alterations & Additions**

**Boone & Wilkinson  
Lot 2 DP 3 0 2 4 4 7**

**51 Menangle Road, Camden**

6th December 2011  
DO NOT SCALE

08  
Sheet



**IMPORTANT NOTES:**  
 ALL LEVEL ARE DETERMINE BY THE EXISTING FINISHED FLOOR LEVEL OF EXISTING DWELLING - VERIFY ON SITE  
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**Project: Proposed Alterations & Additions**

**Boone & Wilkinson Lot 2 DP 3 0 2 4 4 7**

**South East & South East Elevations 51 Menangle Road, Camden**

6th December 2011  
 DO NOT SCALE

**09**  
 sheet





## ORDINARY COUNCIL

ORD03

ORD03

**SUBJECT:** CONSTRUCTION OF A 92 PLACE CHILD CARE CENTRE AND AN OUT OF SCHOOL HOURS (OOSH) CHILD CARE FACILITY FOR UP TO 4 CHILDREN, DRIVEWAYS, CAR PARKING, LANDSCAPING, FENCING AND ASSOCIATED SITE WORKS AT NO 45A (LOT 2053, DP 1109169) FOLKES STREET, ELDERSLIE

**FROM:** Director, Development and Health

**BINDER:** Development Applications 2011/ DA 1522/2011

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**DA NO:** 1522/2011  
**OWNER:** AV Jennings Ltd  
**APPLICANT:** Childcare Specialists Australia Pty Ltd  
**ZONING:** R1 General Residential

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### PURPOSE OF REPORT

The purpose of this report is to seek Council's determination of a Development Application (DA) for a child care centre on this site. The DA is referred to Council in accordance with its delegations due to unresolved issues raised in submissions from the public.

### SUMMARY OF RECOMMENDATION

It is recommended that Council approve this DA subject to the draft development consent conditions provided at the end of this report.

### BACKGROUND

This DA was lodged with Council on 23 December 2011. Following a preliminary assessment the applicant was requested to provide additional information including a detailed statement of environmental effects and additional copies of plans and reports. The requested information was submitted to Council in February 2012. The original proposal contained variations to Camden Development Control Plan 2011 (DCP) with regard to car parking and building setbacks.

The DA was notified to surrounding properties for 14 days between 29 February and 14 March 2012. Eight submissions (all objecting to the proposal) were received as a result of this notification. The submissions raised concerns about the number of children, noise, parking, setbacks, fencing, privacy and streetscape.

During the assessment, the applicant was requested to amend the proposal to address a number of issues, including the concerns raised in the submissions and compliance with Council's car parking and building setback requirement. An amended proposal was submitted to Council in July 2012. The amended proposal included a reduction in the total number of children to be accommodated at the centre from 152 to 96 children.

The amended application was notified for 14 days between 11 July and 25 July 2012 and two submissions (both objecting to the proposal) were received.

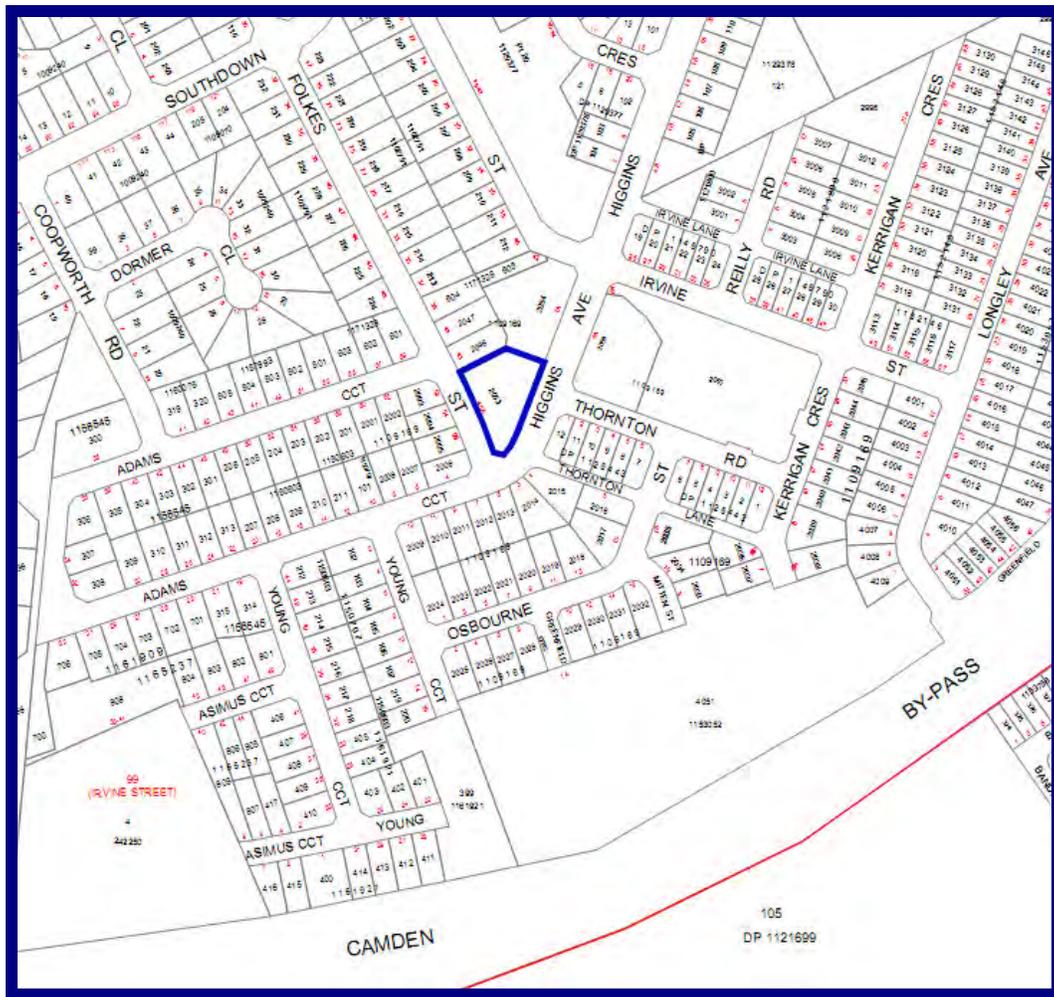
The proposal and all submissions have been assessed and the DA is referred to Council for determination.

**THE SITE**

This site is located on the corner of Folkes Street and Higgins Avenue in Elderslie. The site is irregular in shape, has an area of 2,007m<sup>2</sup>, is currently vacant and slopes by approximately 3m from its southern to northern boundary.

The surrounding area is characterised by residential and recreational land uses, with the developing Elderslie Urban Release Area surrounding the subject site and a neighbourhood park located to the east.

A site location plan is provided in **Figure 1** below:



**FIGURE 1: SITE LOCATION PLAN**

## THE PROPOSAL

Development consent is sought for the construction of a 92 place child care centre and an out of school hours (OOSH) child care facility for up to four children, driveways, car parking, landscaping, fencing and associated site works.

The centre will cater for children:

- 16 x 0-1 years;
- 16 x 1-2 years;
- 20 x 2-3 years;
- 20 x 3-4 years;
- 20 x 4-5 years (subtotal 92 children); and
- Up to 4 x 6-12 years (total 96 children).

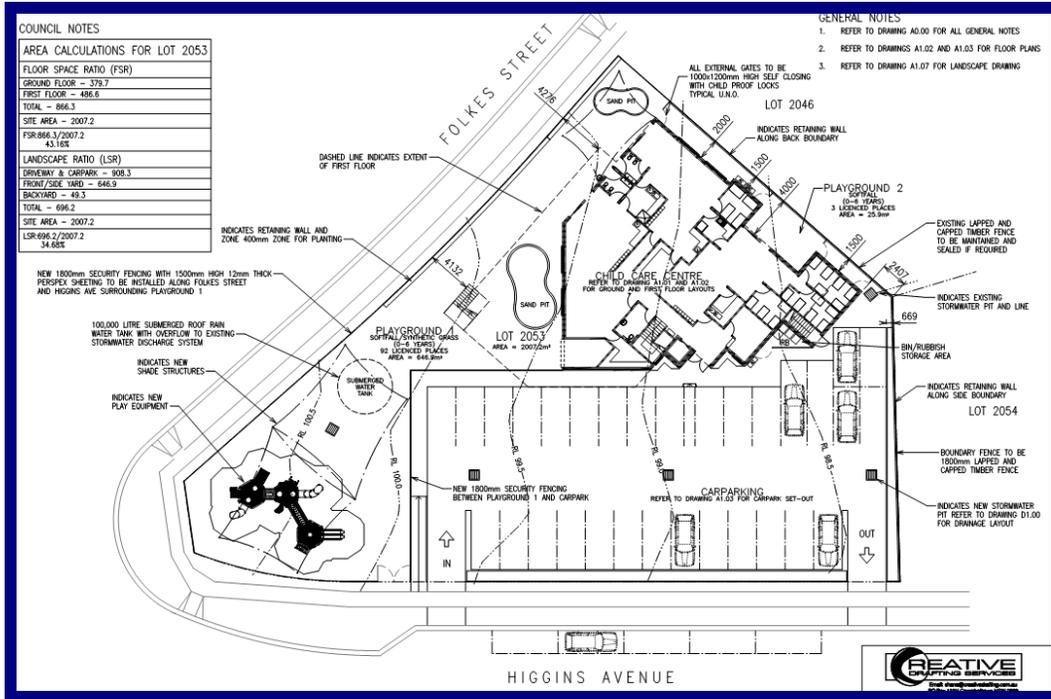
In terms of the OOSH children, it is proposed that parents will drop these children at the centre in the morning. A mini bus will then collect the OOSH students and deliver them to the relevant primary schools. In the afternoons, a minibus will collect all the OOSH children from their relevant schools and deliver them to the child care centre. Children will remain there until their parents collect them in the afternoon/evening.

The proposed hours of operation are Mondays to Fridays, 7am until 6pm.

The proposed building is two storeys, and vehicle and pedestrian access is from Higgins Avenue, where on-site parking for 31 car spaces is provided. The proposal also contains two designated outdoor play areas.

Various types and heights of perimeter and boundary fencing is proposed, including a lapped and capped timber paling fence and security fencing backed with Perspex and softened with hedged landscaping.

The proposed development is shown in **Figure 2** below:



A copy of the proposed plans and elevations is provided at the end of this report.

**NOTIFICATION**

The DA was publicly notified for 14 days between 29 February and 14 March 2012. Eight submissions (all objecting to the proposal) were received as a result of this notification.

Having regard to these submissions, the proposal was amended and re-notified between 11 July and 25 July 2012 and two submissions (both objecting to the proposal) were received. These two submissions were from residents who objected following the first round of notification.

The issues raised in the submissions are assessed in the “1(d) Any Submissions” section of this report.

**Copies of the submissions are provided with the Business Paper supporting documents.**

**PLANNING CONTROLS**

The following are relevant planning controls that have been considered in the assessment of this application:

1. State Environmental Planning Policy No 55 – Remediation of Land
2. Deemed State Environmental Planning Policy No 20 – Hawkesbury/Nepean River
3. Camden Local Environmental Plan 2010
4. Camden Development Control Plan 2011.

## ASSESSMENT

The DA has been assessed in accordance with Section 79C of the *Environmental Planning and Assessment Act, 1979*. The following comments are made with respect to the critical aspects of the application.

### **(1)(a)(i) The provisions of any Environmental Planning Instrument**

#### State Environmental Planning Policy No 55 – Remediation of Land (SEPP)

The SEPP requires Council to be satisfied that the proposed site is suitable for its intended use (in terms of contamination) prior to granting development consent. The applicant submitted a Phase 1 Contamination Assessment prepared in 2005 for the parent subdivision of which the subject site is part of. The report did not identify any contamination on the subject site and therefore it is considered to be suitable for its intended use as a child care centre.

Council asked the consultant to confirm that the subject site was included in the testing and results found in 2005. This was confirmed in writing on 1 August 2012. Given that the site has remained vacant since it was created at the subdivision stage, and Council inspections of the area throughout this time and aerial photographs confirm that there has been no evidence of illegal dumping or contamination at the site, the results of the existing report were considered to remain valid.

#### Deemed State Environmental Planning Policy No 20 – Hawkesbury/Nepean River

It is considered that the aims and objectives of this policy will not be prejudiced by this development and that there will be no detrimental impacts upon the Hawkesbury/Nepean River system as a result of it. Water pollution control devices will be provided as part of the development.

#### Camden Local Environmental Plan 2010 (LEP)

##### *Permissibility*

The proposed development is defined as a “child care centre” and is permissible with development consent in the applicable R1 General Residential zone.

##### *Zone Objectives*

In terms of the proposed development’s consistency with the zone objectives, the relevant objectives of this zone include “to enable other land uses that provide facilities or services to meet the day to day needs of residents”, “to allow for educational, recreational, community and religious activities that support the wellbeing of the community”, and “to minimise conflict between land uses within the zone and land uses within adjoining zones”.

It is considered that the proposal is compliant with these objectives. The development is for a child care centre with the opportunity for out of school hours care, which will provide a service to local residents, learning and development opportunities for children, as well as employment opportunities. The development has been assessed and it is considered that it will not have any unacceptable environmental impacts upon any land uses in adjoining zones.

### *Building Height*

Pursuant to the LEP's Clause 4.3 – "Height of buildings", the LEP permits a maximum building height of 9.5m for the subject site. The proposed development is a maximum height of 8.5m and therefore complies with this development standard.

### *Child Care Centres*

Pursuant to the LEP's Clause 7.5 – "Child care centres", the development has been assessed and it is considered that it will not unreasonably impact on the amenity of any adjoining residential development or adversely affect traffic and pedestrian safety due to increased traffic congestion.

There is an existing dwelling adjoining the north-western boundary and a vacant future residential lot adjoining the north-eastern boundary. The noise report submitted with the DA has been considered and it is recommended that the mitigation strategies provided in the report (including boundary and perimeter fencing) be fully implemented into the design.

To reduce the potential for adverse impacts from car lights on adjoining properties, the proposed entry/exit driveways have been reversed. The second storey floor plan has been designed to minimise overlooking of adjacent properties, including only one 1m wide window located in the staff room/kitchenette and a small second storey balcony 2.2m wide. These are acceptable on the basis that they are not rooms or areas that will be used frequently and will permit passive surveillance opportunities for areas within the site, including Playground 2 and the car park.

In terms of traffic impacts, the proposed driveways, parking spaces, circulation areas and existing and proposed pedestrian paths have been assessed and are considered to adequately cater for the proposed development in peak times, without any adverse impacts on the locality. The predicted traffic movements listed in the submitted traffic statement (including movements from the existing number of dwellings in the area) comply with the environmental goals and maximum limits for local roads, as listed in the Roads and Maritime Services' Guide to Traffic Generating Developments.

Clause 7.5 also requires child care centres to be located on sites with a minimum area of 1,200m<sup>2</sup> and for Council to consider the suitability of sites which have any boundaries adjoining an existing or proposed classified road. The proposed site has an area of 2,007m<sup>2</sup> and is bound by only local roads. It is therefore considered to be safe and suitable for a child care centre.

### **(1)(a)(ii) The provisions of any proposed instrument that is or has been the subject of public consultation under *the Act* and that has been notified to the consent authority**

There are no relevant draft environmental planning instruments that are applicable to this site or development.

### **(1)(a)(iii) The provisions of any Development Control Plan**

The following parts of Camden Development Control Plan 2011 (DCP) are relevant and the proposal has been assessed against:

#### *Part B1.1 – Erosion and Sedimentation*

The development has been designed to incorporate a number of erosion and sediment control measures including sediment boundary fences. It is a recommended development consent condition that these erosion and sediment control measures be implemented in the construction of this development.

#### *Part B1.3 – Earthworks*

There are no specific cut and fill controls for child care centres in the DCP, however the proposed building location requires approximately 1m cut and 0.5m fill, which is compliant with the DCP controls for residential development and considered to be acceptable for this site.

The development also involves a 29.5m long retaining wall with a maximum height of 1.4m along the Folkes Street boundary. The retaining wall is setback a minimum of 4m from the proposed building, which is sufficient to accommodate the proposed fencing and landscaping, with no impact on the proposed building footprint or zone of influence of the retaining wall. As the retaining wall is more than 600mm below natural ground level, it is a recommended development consent condition that structural engineering details be submitted to the principal certifying authority prior to the issue of a Construction Certificate.

#### *Part B1.3 – Salinity Management*

The applicant has submitted a Salinity Management Plan in support of the application. This management plan makes several recommendations on how the proposed development can be constructed in order to minimise the impact of saline soils. This document has been reviewed and accepted. It is recommended that compliance with the Salinity Management Plan be made a development consent condition.

#### *Part B1.4 – Water Management*

The applicant has submitted a concept Stormwater Management Plan which involves the direction of roof water to a submerged water tank located in Playground 1. It is a recommended development consent condition that further details be submitted to the principal certifying authority which demonstrates that the reuse of this water does not expose children or employees to health risks, in accordance with the Department of Health's Management of Private Recycled Water Schemes, dated May 2008.

Overflow from the submerged tank will be directed to various pits within the car park and eventually into an easement to drain water across the adjoining lot known as 43 Folkes Street. Council staff have assessed the proposed Water Management Strategy and consider it acceptable. Appropriate development consent conditions have been included at the end of this report.

#### *Part B1.5 – Trees and Vegetation*

The subject site has been cleared of all shrubs and vegetation; however there are approximately 15 street trees within the public reserve surrounding the site. It is a recommended development consent condition that these trees be protected during construction works and a landscaping bond be paid to Council and released when works are complete (subject to any damage to the street trees).

#### *Part B1.9 – Waste Management Plan*

The statement of environmental effects (SEE) submitted with the application details the proposed methods of waste treatment and disposal. It is a recommended development consent condition that waste materials generated by the development are disposed of in accordance with the submitted SEE.

It is also a recommended development consent condition that any waste generated by the ongoing child care centre use be separated and disposed of in accordance with NSW Health and Department of Community Services requirements, and that the site is serviced regularly by a licensed waste contractor.

#### *Part B1.10 – Bushfire Risk Management*

Although the subject site and surrounding areas have been cleared of most vegetation, the site is still mapped as being bush fire prone. The application was referred to the NSW Rural Fire Service who recommended approval and issued a Bush Fire Safety Authority, with no conditions. The site is therefore deemed to be suitable for the proposed development in terms of bush fire risk management.

#### *Part B1.12 – Contaminated Land Management*

As noted previously in the “State Environmental Planning Policy No 55 – Remediation of Land” section of this report, the applicant has submitted a Contamination Assessment which did not identify any contamination on the subject site and therefore it is considered to be suitable for its intended use as a child care centre.

#### *Part B1.13 – Mine Subsidence*

The site is located within the South Campbelltown Mine Subsidence District and requires approval from the Mine Subsidence Board (MSB). Council referred the application to MSB, who granted concurrence subject to general terms of approval (GTAs). Compliance with these GTA's is a recommended development consent condition.

#### *Part B1.16 – Acoustic Amenity*

An acoustic report was provided in support of the proposed development to assess the effects of noise from the child care centre on the occupants of neighbouring properties. The findings of the report concluded that there will be no adverse affects on residential amenity, subject to appropriate mitigation strategies. Council staff have reviewed this document and agree with the recommendations which include:

- provision of a 1.5m high fence backed with 12mm thick Perspex around Playground 1;
- sealing of all gaps within the existing fence located along the north-western boundary shared with 43 Folkes Street (to protect adjoining lots from noise of Playground 2);
- provision of a new 1.8m high timber lapped and capped fence along the north-eastern boundary shared with adjoining Lot 2054 (also to protect adjoining lots from noise of Playground 2);
- car park to be finished using a rough grade concrete or asphalt (i.e. without floor sealer) to minimise noise from tyre squeal;

- number of children in outdoor play areas restricted to a maximum of:
  - 20 children at any given time in Playground 1, and
  - 16 children at any given time in Playground 2;
- signs to be erected at prominent locations to advise that:
  - staff and parents to converse at very low volume,
  - parents not to call out to their children when delivering or collecting them, and
  - gates not to be slammed;
- crying children to be taken indoors and settled before returning outdoors;
- no music to be played in any outdoor areas at any time; and
- specifications and details of proposed location of mechanical plant equipment to be submitted to and approved by the Principal Certifying Authority prior to the issue of a Construction Certificate.

The application has been amended since lodgement and following the notification period to cater for a maximum of 96 children (reduced from 152 children) and the provision of two formal playgrounds (reduced from three).

It is a recommended development consent condition that the development complies with the recommendations of the noise assessment.

*Part B2 – Landscape Design*

The applicant has submitted a landscaping plan with the DA. These plans include a balanced mix of native and exotic tree shrubs which are compatible with the existing landscape provision in the area. Council staff have reviewed and support the proposed landscaping across the site. It is a recommended development consent condition that the development is carried out in accordance with the landscaping plans and that all existing street trees along Folkes Street and Higgins Avenue be protected.

*Part B5 – Access and Parking*

Child care centres require one space for every six children in attendance and one car parking space per employee.

Therefore the calculations for the proposed development are as follows:

96 children / 6 = **16 spaces**

Clause 53 of the *Children (Education and Care Services) Supplementary Provisions Regulations 2004* provides the staff to child ratio to be used in the calculation of staff number required for proposed child care centres. The following table provides this staff to child ratio;

Staff to Child Ratio	Age Group
1:4	All children under the age of 2 years
1:8	All children who are 2 or more years of



**ORD03**

	age but under 3 years
1:10	All children who are 3 or more years of age but under 6 years of age

The proposal is comprised of the following numbers of children:

(0-2 years) = 32 Children	32 children/4 = <b>8 staff members</b>
(2-3 years) = 20 Children	20 children/8 = <b>2.5 staff members</b>
(3-6 years) = 40 Children	40 children/10 = <b>4 staff members</b>

**Total staff required = 14.5 (therefore 15 spaces are required for staff parking)**

Therefore this development requires a total of 31 off-street car parking spaces. The proposed car park provides for 31 spaces and is therefore consistent with the car parking requirements of the DCP. It is considered that the number of parking spaces provided is sufficient to cater for the proposed development.

In terms of access, users will enter the car park via the “entry” driveway located to the south of the site on Higgins Avenue and exit via the “exit” driveway to the north of the site, also on Higgins Avenue. The circulation system is one way allowing for the free flow movement of traffic within the car park and to reduce conflict of traffic entering and exiting the car park.

Council has assessed the proposal for a minibus to collect and deliver out of school hours children from the premises and considers that there is adequate room within either the driveway circulation space of the site, or in the on-street parking bays located in Higgins Avenue to cater for these short and sporadic movements. It is a recommended development consent condition that all children embarking or disembarking any vehicle be supervised by an adult.

*Part C6.7 – Child Care Centres*

This section of the DCP references the sites that have been identified as potential child care centres within Figure C12 of the Elderslie Urban Release Area Masterplan. The subject site has been identified as a potential child care centre site under this Masterplan.

**An extract from the Elderslie Urban Release Area Masterplan is provided at the end of this report.**

The potential child care centres have been identified to give certainty to developers and future purchasers of lots regarding the potential location of child care centres. The applicable control states that the identified sites are to be reserved as potential child care centre sites, until other sites in the area have been developed and/or the developer can justify that the needs for child care centres have been met within the Elderslie Release Area.

In relation to evidence of need for proposed child care centres, the following information provides details relating to existing services, predicated population growth and the age profile of the existing and anticipated Camden population:

- The suburb of Elderslie currently consists of 246 (8.4%) children aged between the ages of 0-6 years. Currently there are four child care centres operating in Elderslie.

Three of the four of these facilities are either at capacity and have a waiting list or are almost at capacity.

- In particular, the number of 0-4 year olds in the Camden LGA continues to grow with 4,211 children (8.6%) represented in this age group. This continues to be higher in comparison to the Sydney Statistical Division (6.6%).
- The nearby area of Spring Farm is expected to bring an additional 4,000 dwellings to Camden LGA over the coming years. Using Camden's average occupancy rate of 3.06 (Department of Housing, 2006) Council can expect an estimated population growth of 12,240 people in the new release area.
- With 0-4 years olds reflecting 8.6% of Camden's population, Spring Farm release area can similarly expect a total of 1,052 children of this age group.
- Thus children constitute a large proportion of the Camden community and with the expected growth of the Camden area, will continue to do so in the future. With this expected growth, level of service provision will also need to increase to keep up with the trends.

In a survey conducted by Camden Council in November 2009, local child care centres were asked to advise Council of their current licensed places, vacancies and waiting lists of their centres. The following approximate figures were received during consultation:

- Figures suggest there are a total of approximately 870 places for children under 6 years available within the 22 Long Day Care centres of Camden LGA. This represents approximately 20.6% of the total population of 0-4 year olds in the area (4,211 children or 8.6%).
- The survey also confirmed evidence of long waiting lists at various centres and on certain days of the week, particularly Tuesday - Thursday. It also appears there are some vacancies for Out of School Hours (OOSH) Care for the older age group of 5-12 years, with OOSH services often only targeting selected schools.
- These waiting lists in relation to current availability of child care services indicate that existing services do not satisfy all child care needs in the Camden LGA.

This survey is currently being repeated to update these figures. Respondents so far indicated that licensed places remain approximately the same, with the addition of places within two new long day care centres and three new OOSH services for older children. Respondents also report some form of waiting list in all services.

Therefore based on evidence of need, the proposed child care centre site remains a necessary potential site for child care provision in the Elderslie area. It is considered that additional child care services in Elderslie will be well placed to address the current shortfall of child care places, whilst also providing child care to the growth areas of Elderslie and Spring Farm.

#### *Part D5.1 – Child Care Centres*

The proposed development has been assessed against the objectives and relevant controls of Part D5.1 and is considered to comply with these in that:

## ORD03

- it is a recommended development consent condition that the proposed child care centre obtain a licence from the NSW Department of Community Services (DoCS);
- the proposed site is located in close proximity to a number of primary schools and is adjacent to a local neighbourhood park; in addition, open space has been provided within the premises in the form of two designated playgrounds;
- a bus stop is located in close proximity to the corner of Cooperworth Road and Southdown Road (to the north-west);
- the proposed building has been designed to minimise overshadowing and overlooking of adjoining lots. The building is capable of being converted back to a residential use and its bulk and scale are acceptable given the large area of the site. The proposed building complies with all height and setback controls for the area. The building displays articulation in the form of variable ridges and roof lines, fenestration (windows and openings) and external features including stairs, a small staff balcony (viewed from Higgins Avenue) and a verandah (viewed from Folkes Street). The proposed colour scheme of slate grey colourbond roof, black gutters, downpipes, windows and doors and a dark beige render is considered appropriate for the area and consistent with the dwellings in the existing streetscape;
- the application has been amended to comply with all applicable setback controls, being:
  - **Front setback:** 5.5m required  
19m setback has been provided from Higgins Avenue.
  - **Secondary street setback:** 4m required  
4.132m setback has been provided from Folkes Street.
  - **Side setbacks:** 1.2m required  
2.8m setback provided to north eastern side boundary and 1.5m setback provided to north western side boundary.
  - **Side setback (access doors from internal play areas):** 4m required  
4m setback provided to north western boundary (via Playground 2).
- all boundaries visible from any local roads have been appropriately landscaped to soften the development (including the building, car park and playgrounds). A variety of hedging plants and shrubs have been selected. All species are considered to be safe for children (without any thorns, poisonous fruit or climbing hazards);
- the two types of fencing proposed (being 1.8m high timber lapped and capped for adjoining lot boundaries and 1.8m high tubular security fencing with 1.5m high Perspex backing) which are softened with landscaping are considered acceptable forms of fencing. The transparent fencing around the majority of the site's perimeter will permit passive surveillance opportunities and will not obscure important sight lines for the Folkes Street and Higgins Avenue intersection. Given the co-location of the retaining wall and fencing along Folkes Street, Council staff have recommended appropriate development consent conditions to protect the integrity of the wall and safety of the area;
- potential impacts on the environment or amenity of residential areas from the development in terms of noise or traffic generation have been assessed in the "Part

B5 – Access and Parking” and “Part B1.16 – Acoustic Amenity” sections of this report;

- the health, safety and well being of children and staff have been assessed in the “likely impacts of the development – S79C (1)(b)” section of this report;
- the applicant has consulted with DoCS who have advised of their requirements. These requirements have been incorporated into the design of the child care centre;
- the proposed hours of operation will be restricted to between 7am and 6pm, Monday to Friday;
- the land has been assessed and was found to contain no contamination; and
- Council staff have assessed the development in terms of acoustic amenity and consider the proposed development acceptable subject to appropriate development consent conditions requiring compliance with the submitted noise report.

It is considered that the proposal complies with the objectives and relevant controls of Part D5.1 of the DCP.

**(1)(a)(iiia) The provisions of any Planning Agreement**

There are no relevant planning agreements applicable to this site or development.

**(1)(a)(iv) The provisions of the Regulations**

The Regulations prescribe several development consent conditions that will be included if a development consent were to be issued for this development.

**(1)(b) The likely impacts of the development**

The likely impacts of this development include:

Visual Impacts

The visual impacts of this development are considered to be acceptable. The building design consists of a reinforced concrete slab with double brick walls on the ground floor and brick veneer on the first floor, and has a maximum building height of 8.5m.

The external appearance of the building (rendered brick) is consistent with other forms of residential development in the vicinity. The proposed excavation (lowering the building by 1m at the Folkes Street elevation), fencing and landscaping will soften the visual impact of the building, particularly when viewed from Folkes Street. The site has an area of approximately 2,007m<sup>2</sup> and the building’s visual impacts are considered acceptable given its compliance with the LEP height control of 9.5m and the applicable setbacks in the DCP.

Noise Impacts

The proposed development was accompanied by an acoustic report which stated that compliance with its recommendations will ensure the acoustic amenity of surrounding residential properties will not be adversely affected. Council staff have assessed the

report and agree with the recommendations. It is a recommended development consent condition that the proposed development complies with the acoustic report therefore ensuring any potential noise impacts are mitigated.

Traffic Impacts

The applicant has submitted a traffic report in support of the proposed development which details the potential impact of additional traffic generated on the existing local road network. Council staff have assessed the findings of the report and re-estimated the traffic impacts taking into account the ultimate number of dwellings in the area.

The key locations to assess traffic impacts of the proposed child care facility are Irvine Street and Folkes Street at Southdown Road, as this is where residential traffic flows, combined with child care centre traffic, are at their greatest. The estimated morning and evening peak hour flows are:

Ultimate residential development, no child care centre:

- 103 vehicles on Folkes Street; and
- 95 vehicles on Irvine Street.

Ultimate residential development, with child care centre:

- 135 vehicles on Folkes Street; and
- 130 vehicles on Irvine Street.

The Roads and Maritime Services' Guide to Traffic Generating Development provides guidelines on acceptable levels of traffic in various types of streets. Within a residential subdivision the thresholds beyond which traffic levels can be considered unacceptable are:

Target Maximum Peak Hour Vehicles	
Local Street	200 environmental goal
	300 maximum goal

The environmental goal is typically used when designing new subdivisions. The maximum goal allows for future development not in the original master planning. The traffic flows of 135 and 130 peak hour vehicles with the proposed child care centre satisfy the environmental goal criteria. The proposed development is therefore considered acceptable in that it will not negatively impact the existing local street network.

Additionally, the proposed development provides sufficient off-street car parking to cater for the drop off and pick up of children, as well as staff car parking.

Safer by Design Considerations

Safer by Design principles have been considered in the assessment of this development. The proposed first floor areas will provide passive surveillance of the front of the site (car park) and all visitors coming to and from it from Higgins Avenue, as well as passive surveillance of the two outdoor playgrounds within the site. The proposed boundary fencing, car parking/manoeuvring areas and entry/exit driveways will provide sufficient territorial reinforcement, access control and space management.

All other likely impacts of the proposed development have been assessed elsewhere in this report.

### **(1)(c) The suitability of the site for the development**

As previously noted, the site has been identified as a potential child care centre site under the DCP, will not result in any unacceptable environmental impacts and is compliant with the applicable LEP and DCP controls. The site is located in the growing urban release area of Elderslie and will respond to an identified need to provide additional child care services to the local residents of Elderslie, Spring Farm and beyond. These conditions render the site suitable.

### **(1)(d) Any submissions**

As a result of two public notification periods, eight submissions and two resubmissions were received (all objecting to the proposal).

The following is a list of the general issues raised and an assessment of them; however it should be noted that since the public notification and renotification of this development, the applicant has amended the proposal to try and resolve some of the issues raised:

- capacity of centre is excessive
- parking/access
- traffic
- security
- noise
- stormwater disposal
- landscaping
- fencing
- building design
- decrease in property values.

This original DA was publicly notified between 27 February and 14 March 2012. Eight submissions were received. The amended DA was renotified again between 11 and 25 July 2012. Two further submissions were received. The issues raised in the submissions are as follows:

1. Proposed capacity of the centre is excessive (being 92 long day care children plus 60 out of school hours children)

*Officer Comment:*

The capacity of the centre has been reduced to 92 long day care children and up to 4 out of school hours children.

Council officers have undertaken a number of surveys in recent months to ascertain the availability of the existing child care centres in Elderslie. There are four child care centres currently in operation in Elderslie and the surveys revealed that the existing supply of child care places will be unable to meet demand due to the population growth expected to occur in the area.

The proposed child care centre will ensure that a supply of child care places is provided in accordance with Figure C12 of the DCP (Elderslie Masterplan).

2. Number of car parking spaces provided does not comply with the DCP and parking for parents of the out of school hours (OOSH) children has been omitted.

*Officer Comment:*

As noted in the "Part B5 – Access and Parking" DCP section of this report, the proposal has been amended and now has a total of 31 off street parking spaces, which complies with the DCP's controls for 96 children (including OOSH children) and 15 staff, as required for this development.

3. Vehicle headlight flashes impacting dwelling on 43 Folkes Street (adjoining the north-western side boundary) caused by the direction of entry and exit driveways and impacts of these driveways on the intersection of Folkes Street and Higgins Avenue, as well as Thornton Road and Thornton Lane. The driveways should be reversed.

*Officer Comment:*

Council staff have assessed the safety of the proposed driveways in terms of sightlines and their distances from surrounding intersections and are satisfied that the proposed access design complies with Council's Engineering Specifications as well as RMS Guidelines and Australian Standards. Council requested that the applicant reverse the proposed entry and exit driveways and the plans have been amended accordingly.

4. Local roads will not be able to cater for the traffic caused by the capacity of the proposed child care centre.

*Officer Comment:*

As noted in the "Part B5 – Access and Parking" DCP section of this report, the number of additional vehicle movements generated by the proposal (taking into account additional dwellings in the area) are within the environmental goals set by the Roads and Maritime Services for local streets. Therefore the surrounding street network is considered to have sufficient capacity for the additional traffic proposed by this development.

5. Concerns about positioning of security lighting and impacts of illumination on residents of 43 Folkes Street and concerns that the car park will be used unlawfully out of hours for "burn outs" and "wheelies".

*Officer Comment:*

No external security lighting has been proposed as part of this DA. Therefore lighting will only be used during the hours of operation which are 7am to 6pm and there will be no adverse lighting impacts on adjacent properties. The issue of trespass is a separate matter for the NSW Police.

6. Concerns about possible false LAeq readings listed in the Acoustic Report not taking into account the long term background level noise upon completion of a Camden Bypass sound barrier.

*Officer Comment:*

Council has recently conducted a noise survey of the Camden Local Government Area and the background noise readings are consistent with the readings listed in the report. Therefore the report is considered to be a reliable assessment of the proposed development and surrounding locality.

7. Impacts of noise and heat from proposed location of air conditioning units between building and dwelling adjoining the north-western boundary.

*Officer Comment:*

The site plan shows that air conditioning units may be located between the building and the side boundary shared with 43 Folkes Street.

The acoustic report recommends that mechanical plant specifications and proposed storage locations within the site are confirmed prior to installation, and recommends mitigation strategies including:

- procurement of “quiet” plant;
- strategic positioning of plant away from sensitive neighbouring premises;
- use of commercial silencers for air intake and discharge;
- acoustically lined and lagged ductwork;
- acoustic barriers/enclosures between plant and sensitive neighbouring premises.

It is a recommended development consent condition that the development be carried out in accordance with the recommendations of the acoustic report and that further details about the site location and specifications of any mechanical plant equipment be submitted to the principal certifying authority prior to the issue of a Construction Certificate.

8. The third playground has been deleted off the site plan, however this play area has been combined with Playground 1; therefore noise impacts on 43 Folkes Street have not been reduced by the removal of this playground. The revised acoustic report does not fully address the noise impacts from this large play area on this dwelling.

*Officer Comment:*

The applicant has removed the third playground from the plans and the Acoustic Report has been adjusted accordingly. It is noted that a small sand pit remains in the area previously nominated as a third playground; however this is no longer identified as a concentrated playground for children.

9. Noise impacts from Playground 1 on 54 Folkes Street and 1 Adams Circuit.

*Officer Comment:*

As noted above, the recommendations of the submitted Acoustic Report are considered to adequately address noise impacts to surrounding properties, and the recommended noise mitigation strategies will be include in the recommended development consent conditions.

10. Noise from Playgrounds 2 and 3 and noise from internal cot rooms on 43 Folkes Street adjoining the north-western boundary.

*Officer Comment:*

Playground 3 has been deleted from this application. As detailed in the “Part B1.16 – Acoustic Amenity” DCP section of this report, any potential noise impacts from the proposed development can be attenuated through a variety of mitigation strategies, including the limiting of number of children playing in Playground 2 and settling children indoors. The building will be mechanically ventilated, so all doors and windows will generally remain closed.

Additionally, outdoor activities are typically staged to reduce the number of children playing outdoors at any one time. Programming of activities involves groups of children being outdoors at particular periods during the day (depending on the season) to avoid high “sun risk” times. Based on the mitigation strategies recommended in the submitted Acoustic Report, Council staff are satisfied that the proposed development will not negatively impact the acoustic amenity of the surrounding area, including 43 Folkes Street.

11. Concerns about policing of noise mitigation strategies (e.g. settling children indoors not outdoors, signs to advise parents not to slam gates etc).

*Officer Comment:*

Council staff have assessed the proposed noise mitigation strategies and consider them to be acceptable for this site. These strategies will be included as development consent conditions and it will be the responsibility of the child care centre operators to ensure such conditions are complied with. In the event of any breach of development consent conditions, Council’s compliance procedures and actions can be implemented.

12. Concerns about stormwater drainage for the site.

*Officer Comment:*

Since the submissions and resubmissions were received, a concept Stormwater Management Plan has been submitted which involves collection of roof water to a submerged water tank, with overflow and on-site detention being directed to an existing easement to drain water. Council staff have assessed the proposed water management strategy and are satisfied that the existing easement is capable of receiving the additional runoff created by the proposed development.

13. Landscaping along Folkes Street boundary is insufficient as height of hedge will not sufficiently screen the building.

*Officer Comment:*

The DCP requires landscaping to “improve the amenity and appearance of the site and help visually reduce the bulk and scale of the child care centre”. The intention is not to entirely screen the building when viewed from the street. The DCP also encourages species to be selected which are easy to maintain, whilst being interesting and safe for children.

The proposed landscaping has been assessed and is considered to satisfy these requirements and adequately soften the building. Furthermore, the reduced finished floor level of the building (being approximately 1m below the natural ground

level of Folkes Street) will also help to minimise its bulk and scale, in addition to the retention of approximately sixteen street trees along Folkes Street and Higgins Avenue.

14. Fencing suitability between child care centre and 43 Folkes Street. This fence was not constructed to be an acoustic fence.

*Officer Comment:*

As detailed in Part B1.16 of this report, the existing fence is to be sealed of all gaps to protect the adjoining lot from noise generated in Playground 2.

15. Proposed colourbond fence along north-eastern boundary shared with Lot 2054 does not comply with the Ridges Fencing Covenant.

*Officer Comment:*

The application has been modified to comply with acoustic recommendations and the proposed timber lapped and capped fence is now consistent with the Ridges Fencing Covenant.

16. Colourbond perimeter fence will obscure sight lines on the corner of Folkes Street and Higgins Avenue.

*Officer Comment:*

The proposed perimeter fencing has been modified to 1.8m high tubular security fencing backed with clear perspex. It is considered that this will assist in the provision of clear sightlines; however the 5.5m width of the existing public reserve surrounding the site has been assessed and is compliant with public road safety standards, regardless of any boundary fencing materials proposed.

17. Risk of cars crashing into fence surrounding Playground 1.

*Officer Comment:*

As noted above, the existing road verges and public reserve areas have been assessed and constructed according to all relevant public road safety standards.

18. Chance of graffiti to perimeter fencing.

*Officer Comment:*

The original perimeter fencing shown on the submitted plans proposed was a solid colourbond fence. The proposal has since been amended to comply with the recommendations of the acoustic report and there is no longer any colourbond fencing proposed. Instead, a 1.8m high security fence backed with 1.5m high and 12mm thick perspex is proposed along the Folkes Street boundary, and a timber lapped and capped fence will be erected along the north-eastern boundary shared with adjoining residue Lot 2054.

It is considered that these alternative materials will be less attractive to vandals than the previously proposed colourbond fencing. It is also a recommended development consent condition that a graffiti management plan be prepared for the site and that all graffiti is to be removed within 48 hours.

19. Building setbacks don't comply with the DCP.

*Officer Comment:*

As noted in the "Part D5.1 – Child Care Centres" DCP section of this report, the application has been amended to comply with all relevant building setbacks prescribed by the DCP.

20. Concerns about reduced ambient light for the dwelling at 43 Folkes Street due to the size of child care centre building and the 2.1m high cantilevered acoustic fence, and overshadowing of 54 Folkes Street (located south-west of the site).

*Officer Comment:*

The development has been assessed and the proposed building complies with the LEP's height controls and DCP's setback controls for two storey buildings. Due to the deletion of the third playground, the 2.1m cantilevered acoustic fence is no longer required and has been deleted from the application. Additionally, given the proposed location of the building to the north and middle of the site, there will be no significant overshadowing impacts to any surrounding properties, particularly those separated from the subject site by Folkes Street and Higgins Avenue.

21. Rear yard of 43 Folkes Street will be overlooked by the proposed building. Overlooking will also occur to the front of 54 Folkes Street and the ensuite bathroom of 1 Thornton Road.

*Officer Comment:*

As stated previously in the "Part D1.5 – Child Care Centres" DCP section of this report, the building has been designed to minimise overlooking of surrounding developments by limiting second storey windows and orientating the building within the middle of the site to provide passive surveillance of the car park and playgrounds. To limit overlooking of private open space of 43 Folkes Avenue, it is a recommended development consent condition that a privacy screen be erected on the north-western end of the staff room balcony on the first floor.

The proposal requires excavations of approximately 1m to lower the building into the site and the building footprint has been located approximately 35m and 43m away from the dwellings at 54 Folkes Street and 1 Thornton Road respectively, further reducing the opportunity for any overlooking of any private open space. The proposal is not considered to overlook the ensuite bathroom of 1 Thornton Road any more than what is already occurring in the existing public domain.

22. Current views of the neighbourhood park from 43 Folkes Street adjoining the north-western boundary will be diminished.

*Officer Comment:*

The views of the neighbourhood park from 43 Folkes Street exist as the subject and adjoining site are currently vacant. 43 Folkes Street contains a single storey dwelling surrounded by 1.8m high boundary fences and is accessed from and faces onto Folkes Street.

The neighbourhood park is located approximately 120m to the east of 43 Folkes Street and is separated by residue Lot 2053. Residue Lot 2053 has been included in the Elderslie Masterplan to be further subdivided into residential lots, and Council is currently assessing a separate development application for this subdivision. Therefore the issue of 43 Folkes Street enjoying views of the neighbourhood park is not considered to be substantiated.

23. Size of playgrounds do not comply with DoCS requirements.

*Officer Comment:*

The size of play areas for certain groups is a matter for the licensing body to assess. However Council staff have considered Clause 30 of *Children (Education and Care Services) Supplementary Provisions Regulation 2004*, which requires 7m<sup>2</sup> of useable outdoor play space per child that is exclusively for the use of children provided with education and care while in attendance at the service.

There is approximately 672.8m<sup>2</sup> of potentially useable outdoor area. Therefore the required calculation is as follows:

672.8m<sup>2</sup> / 96 children (including 4 OOSH) = 7m<sup>2</sup> per child, thus complying with the requirements of the Regulation.

Parts 7 and 8 of Clause 30 also afford provisions for some or all of the required space to be in an indoor area that is to be designed and equipped to permit children to participate in activities that promote motor skills. The Regulatory Authority may impose conditions on such a consent (licence) relating to any matter the Regulatory Authority sees fit, including the availability of natural light and ventilation (or a reduction in the number of children permitted at the premises).

It is the responsibility of the developer/operator to ensure that the site complies with any State or Federal legislation outside of Council's controls (including DoCS requirements). It is a recommended development consent condition that all required licences be obtained for the development. The proposed building has been assessed and is considered to be capable of achieving the required play areas.

24. Storage of odorous waste, including nappies and concerns about the proximity of rubbish bin storage area to clothes drying area for dwelling on 43 Folkes Street.

*Officer Comment:*

The proposed bin storage area is located 8m south of the boundary shared with 43 Folkes Street and behind a ground floor nib wall. All waste receptacles will be sealed with lids and required by development consent conditions to be regularly serviced by a licensed waste contractor. Other conditions requiring compliance with the *Protection of the Environment Operations Act 1997* (which includes odour considerations) and odour not causing a nuisance to the amenity of surrounding properties are also recommended.

25. Decreased home values.

*Officer Comment:*

The potential loss of property values is not a matter that can be considered as part of this assessment. In any case, there is no evidence to support this issue.

**(1)(e) The public interest**

The proposed development is consistent with the objectives of the applicable R1 General Residential zone and all relevant LEP and DCP controls, and will provide a valuable child care service to local residents (meeting a demonstrated demand in the area) as well as employment opportunities. These achievements are considered to be within the public interest.

**CONCLUSION**

Council has received a DA for a child care centre at 45A Folkes Street, Elderslie.

The DA has been assessed in accordance with Section 79C of the *Environmental Planning and Assessment Act 1979* and the submissions received have been considered.

The submissions received related largely to the capacity of the centre and impacts to surrounding residents caused by noise, traffic and amenity.

The proposal has been assessed and was found to comply with all relevant LEP and DCP controls. The proposed site location for this development is consistent with the master planning for the Elderslie Urban Release Area and will not have any unreasonable impacts upon any surrounding properties or land uses, subject to the recommended development consent conditions provided at the end of this report. The addition of a child care centre in Elderslie will contribute to the provision of local child care services in the area and provide employment opportunities for local residents.

Consequently it is recommended that Council approve this DA subject to the draft development consent conditions provided below:

**DRAFT CONDITIONS OF CONSENT**

**1.0 - General Requirements**

The following conditions of consent are general conditions applying to the development.

- (1) **Development in Accordance with Plans** – The development is to be in accordance with plans and documents listed below, except as otherwise provided by the conditions of this consent:

Plan Development No.	Description	Prepared by	Dated
A0.00	General Notes	Creative Drafting Services	14 May 2012
A1.00	Site Plan and Notes	Creative Drafting Services	6 August 2012
A1.01	Ground Floor Layout and Notes	Creative Drafting Services	3 May 2012
A1.02	First Floor Layout and Notes	Creative Drafting Services	3 May 2012

A1.03	Carpark Layout and Notes	Creative Drafting Services	6 August 2012
A1.04	Elevations 1 and 2	Creative Drafting Services	3 May 2012
A1.05	Elevations 3 and 4	Creative Drafting Services	3 May 2012
A1.06	Section 5	Creative Drafting Services	3 May 2012
A1.07	Landscaping Plan	Creative Drafting Services	6 August 2012
D1.00	Drainage Plan	Creative Drafting Services	14 August 2012

Where there is an inconsistency between the approved plans/documentation and the conditions of this consent, the conditions of this consent override the approved plans/documentation to the extent of the inconsistency.

- (2) **Advertising Signs Application** - Outdoor advertising structures require prior development consent. A development application must be submitted and approval granted by the Consent Authority (ie Camden Council) prior to the erection of any advertising signs.
- (3) **Building Code of Australia** - All works must be carried out in accordance with the requirements of the *Building Code of Australia*.
- (4) **General Terms of Approval** - The development must be carried out in accordance with the following General Terms of Approval from Authorities, including Mine Subsidence Board concurrence dated 6 March 2012.
- (5) **Landscaping Maintenance and Establishment Period** – Commencing from the Date of Practical Completion (DPC), the Applicant will have the establishment and maintenance responsibility for all hard and soft landscaping elements associated with this Consent.

The 12 month maintenance and establishment period includes (but not limited to) the Applicant's responsibility for the establishment, care and repair of all landscaping elements including all street tree installations, softscape elements such as plantings and lawn, hardscape elements including paths, walls, bins, seats, BBQ's, shelters, playground equipment, softfall treatments.

The Date of Practical Completion (DPC) is taken to mean completion of all civil works, soil preparation and treatment and initial weed control, and completion of all planting, turf installation, street tree installation and mulching.

It is the Applicant's responsibility to arrange a site inspection with the Principal Certifying Authority (PCA), upon initial completion of the landscaping works, to determine and agree upon an appropriate DPC.

At the completion of the 12 month landscaping maintenance and establishment period, all hard and soft landscaping elements (including any nature strip and road verge areas, street trees, street tree protective guards and bollards) must be in an undamaged, safe and functional condition and all plantings have signs of healthy and vigorous growth

At the completion of the maintenance and establishment period, the landscaping works must comply with the approved Landscaping Plans.

- (6) **Design and Construction Standards** - All proposed civil and structural engineering work associated with the development must be designed and constructed strictly in accordance with: -
- (a) Camden Council's current Engineering Specifications, and
  - (b) Camden Council's Development Control Plan 2011.

It should be noted that designs for line marking and regulatory signage associated with any proposed public road within this subdivision MUST be submitted to and approved by the Roads and Maritime Services, Camden Council prior to the issue of any Construction Certificate

- (7) **Reuse of On-site Detention Tank Water** - The reuse of water from the on-site detention tank shall be prohibited for use as a sprinkler system to be used by the children unless a specific risk assessment and management plan for the use of untreated water which may expose children to micro-organisms and environmental water born pathogens is undertaken in accordance with the Management of private recycled water schemes May 2008.

The assessment shall address the validation and verification of the operation of the system and ongoing monitoring to ensure no exposure risk to both employees and children. The risk assessment and management plan shall be assessed and approved by Camden Council prior to the issue of the Construction Certificate.

- (8) **Cooking and Cleaning Appliances** - Cooking and cleaning appliances intended to be used for cooking or preparation of food or cleaning of food equipment must be of a commercial quality / standard.
- (9) **Kitchen Access** - Access to the kitchen whilst in use is to be restricted to staff only. Suitable doors shall be provided and fitted to all openings that lead into the kitchen with self closing devices fitted to ensure that access remains restricted.
- (10) **General Requirement** - The use must at all times be conducted without nuisance and in particular so as not to give rise to emission of air impurities in contravention of the Protection of the Environment Act, 1997.

## 2.0 - Construction Certificate Requirements

The following conditions of consent shall be complied with prior to the issue of a Construction Certificate.

- (1) **Street Tree Protection Standards During all Development and Construction Works** - Prior to the issue of the Construction Certificate, the protection of existing nature strip street trees, other than any existing street trees authorised by the Consent Authority (i.e. Camden Council) for relocation, removal, pruning, impact upon or disturbance by this Consent, must be carried out as specified in the Australian Standard AS 4970-2009 Protection of Trees on Development Sites. The Consent Authority (i.e. Camden Council) must

approve and authorise any works or impacts on any existing nature strip street tree prior to those works or impacts occurring.

The works and procedures involved with the protection of existing street trees are to be carried out by a suitable qualified and experienced Arborist or organisation. Minimum suitable qualifications for the Arborist are to be at a standard of Australian Qualification Framework (AQF) Level 3 in Arboriculture.

All initial procedures for the protection of existing trees as detailed in AS 4970-2009, must be installed prior to the issue of the Construction Certificate. All procedures for the protection of existing street trees must be applied, functioning and appropriately maintained during any earthworks, demolition, excavation (including any driveway installation) and construction works applicable to this Consent.

- (2) **Landscaping Bond** - A bank guarantee or cash bond to the value of \$8000.00 must be lodged with Council prior to the release of the Construction Certificate to ensure the existing nature strip street tree installations adjoining the subject Consent site are protected during the earthworks, construction and maintenance period applicable to this Consent.

Upon request and upon the following basis, the bond or bank guarantee will be released:

- (a) 50% upon the issue of the Occupation Certificate
  - (b) 50% residue at the completion of the 12 month landscaping maintenance and establishment period, provided Council is satisfied that all approved landscaping works and street trees are undamaged, established and in a sound and healthy condition
- (3) **Civil Engineering Plans** - Indicating drainage, roads, accessways, earthworks, pavement design, details of linemarking and traffic management details must be prepared strictly in accordance with the relevant Development Control Plan and Engineering Specifications, and are to be submitted for approval to the Principal Certifying Authority prior to the Construction Certificate being issued.

**Note:**

- (a) Under the *Roads Act 1993*, only the Council can issue a Construction Certificate for works within an existing road reserve.
  - (b) Under section 109E of the *Environmental Planning and Assessment Act 1997*, Council must be nominated as the Principal Certifying Authority for subdivision work and has the option of undertaking inspection of physical construction works.
- (4) **Environmental Site Management Plan** - An Environmental Site Management Plan must be submitted to the Certifying Authority for approval and inclusion in any application for a Construction Certificate. The plan must be prepared by a suitably qualified person in accordance with AS/NZ ISO 14000 – 2005 and must address, but not be limited to, the following:
- (a) all matters associated with Council's Erosion and Sediment Control Policy;

- (b) all matters associated with Occupational Health and Safety;
- (c) all matters associated with Traffic Management/Control; and
- (d) all other environmental matters associated with the site works such as noise control, dust suppression and the like.

- (5) **Dilapidation Survey** - A photographic dilapidation survey of existing public roads, kerbs, footpaths, drainage structures and any other existing public infrastructure within the immediate area of the development site must be submitted to the Council prior to the issuing of the Construction Certificate.

The survey must include descriptions of each photo and the date when each individual photo was taken.

- (6) **Car Parking Design** - The design, construction details of the parking spaces, access thereto and all other external hardpaved areas must conform to the Consent Authority's (ie Camden Council) standard, and documentary evidence of compliance of above condition must be submitted by an Accredited Certifier/suitably qualified person/Council or the Principal Certifying Authority prior or the Construction Certificate being issued.

A work-as-executed plan and/or documentary evidence of compliance with the above conditions must be provided by an Accredited Certifier or Council prior to the Occupation Certificate being issued.

For the purpose of this condition, a parking space must only be used for the parking of motorcycles, sedans, utilities, vans and similar vehicles up to two (2) tonne capacity.

- (7) **Vehicular Area Design Standards** - The internal driveway and car parking area must be designed in accordance with AS2890.1-1993 off-street car parking.
- (8) **Performance Bond** - Prior to the issue of the Construction Certificate, a performance bond of 25,000 must be lodged with Camden Council in accordance with Camden Council's Engineering Construction Specifications.
- (9) **Public Risk Insurance Policy** - Prior to the issue of the Construction Certificate, the owner or contractor is to take out a Public Risk Insurance Policy in accordance with Camden Council's current Engineering Design Specifications.
- (10) **Roads Act 1993 Consent** - Prior to the issue of a Construction Certificate, consent pursuant to s.138 of the *Roads Act 1993* must be obtained from the Roads Authority for the design and construction of all the proposed work in, on or over the road reserves adjacent to the subject site.

The design must include, but not be limited to, plans/documents associated with:

- (a) the construction of kerb and gutter, road shoulder and drainage;
- (b) footway formation;
- (c) public utility service adjustment or installation; and
- (d) an Environmental Site Management Plan.

Further, all such plans and documents associated with the design must be certified by:

- (a) persons who are suitably accredited by a scheme approved by the NSW Department of Planning, or where no scheme exists,
- (b) persons who are suitably qualified, are specialists and in that regard, currently practising in that specialist area, or
- (c) in the case of a Public Utility Authority, an appropriately delegated officer of that Authority or accredited person by that Authority,

and prepared in accordance with Camden Council's current Engineering Design Specifications.

- (11) **Civil Engineering Details** - The developer must submit details of all engineering works on engineering plans to the Certifying Authority for approval prior to a Construction Certificate being issued.
- (12) **Drainage Design** - A Stormwater Management Plan is to be prepared prior to the issue of a Construction Certificate to ensure that the final stormwater flow rate off the site is no greater than the maximum flow rate currently leaving the development site for all storm events. This Plan must be submitted and approved by the Principal Certifying Authority. Such designs must cater for future developments of land adjoining the site and overland flow from adjoining properties.
- (13) **Stormwater Detention** - The capacity of the existing stormwater drainage system must be checked to ensure its capability of accepting the additional runoff from this development. If necessary an on-site detention system must be provided to restrict stormwater discharges from the site to pre-development flows in accordance with Camden Council's current Engineering Design Specifications.

On completion of the on-site detention system, Works-as-Executed plans are to be prepared by a Registered Surveyor or the Design Engineer and submitted to the Principal Certifying Authority. If Camden Council is not the Principal Certifying Authority, a copy is to be submitted to the Council prior to the issue of the Occupation Certificate. The plans are to be certified by the Designer and are to clearly make reference to:

- (a) the works having been constructed in accordance with the approved plans,
- (b) actual storage volume and orifice provided,
- (c) the anticipated performance of the system with regard to the design intent.

The developer must prepare a Section 88b Instrument for approval by the Principal Certifying Authority which incorporates the following easements and restrictions to user:

- (a) Restriction as to user indicating that the on-site detention basin must be maintained at all times to a level sufficient to ensure efficient operation of the basin, and that the Consent Authority (ie Camden Council) must have the right to enter upon the burdened lot with all necessary materials and equipment at all reasonable times and on reasonable

notice (but at any time and without notice in the case of an emergency) to:

- (i) view the state of repair of the basin;
  - (ii) to execute any work required to remedy a breach of the terms of this covenant if the proprietor has not within fourteen (14) days of the date of receipt by the proprietor of written notice from the Council requiring remedy of a breach of the terms of this covenant, taken steps to remedy the breach, and without prejudice to the Council's other remedies the Council may recover as a liquidated debt the cost of such remedial work from the proprietor forthwith upon demand.
- (b) Restriction as to user indicating that the on-site detention basin must not be altered, or removed in part, or structures erected thereon without the prior consent of Council.
- (14) **Kitchen Fit-out Plans** – The proposed kitchen is required to be constructed to a commercial standard and a set of drawn to scale kitchen fit-out plans must be provided to reflect this standard. The plans must also demonstrate full compliance with Council's Food Premises Code, The Food Act 2003 and the Food Regulations 2010 (incorporating the Food Safety Standards Code) and approved by the Principal Certifying Authority. The fit-out plans must be submitted to the Principal Certifying Authority prior to the issue of the Construction Certificate.
- (15) **Parking Spaces** - The developer must provide parking for 31 cars in the manner indicated on the approved plans. Of that number, 11 parking spaces must be available at all times for the parking of employees' vehicles. The four (4) stacked staff parking spaces must be clearly marked and an adequate sign indicating that parking is available on-site must be erected in a position where it is legible to drivers of vehicles entering the land.
- (16) **Department of Community Services** - Compliance with any requirements of the Department of Community Services in relation to this development is required. In this regard, a letter from the Department of Community Services which details the approved number and age of children to be accommodated at the facility and any conditions of operation must be submitted to the Consent Authority (ie Camden Council) prior to the Construction Certificate being issued.
- (17) **Play Equipment Schedule** - Play equipment shall not be incorporated into the development without the prior approval of the Consent Authority (ie Camden Council). Details of the type and location of equipment must be submitted and approved by the Consent Authority prior to the issue of a Construction Certificate.
- (18) **Pavement Finish** - The car parking spaces and all internal driveways must be finished using a rough grade concrete or asphalt (i.e. without floor sealer) in order to minimise noise from tyre squeal.
- (19) **Privacy Screen** – The plans issued for a Construction Certificate must include the addition of a privacy screen to the north-western end of the staff room balcony on the first floor to protect the amenity of the adjoining property (43 Folkes Street, Elderslie).

- (20) **Mechanical Plant Equipment** - Specifications and details of the proposed location of mechanical plant equipment are to be submitted to and approved by the Principal Certifying Authority prior to the issue of a Construction Certificate.

### 3.0 - Prior To Works Commencing

The following conditions of consent shall be complied with prior to any works commencing on the development site.

- (1) **Erection of Signs** – Shall be undertaken in accordance with Clause 98A of the *Environmental Planning and Assessment Regulation 2000*.
- (2) **Toilet Facilities** - Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet plus one toilet for every 20 persons employed at the site.

Each toilet must:

- (a) be a standard flushing toilet connected to a public sewer, or
- (b) have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
- (c) be a temporary chemical closet approved under the *Local Government Act 1993*.
- (3) **Notice of Commencement of Work and Appointment of Principal Certifying Authority** – Notice in the manner required by Section 81A of the *Environmental Planning and Assessment Act 1979* and clauses 103 and 104 of the *Environmental Planning and Assessment Regulation 2000* shall be lodged with Camden Council at least two (2) days prior to commencing works. The notice shall include details relating to any Construction Certificate issued by a certifying authority, the appointed Principal Certifying Authority (PCA), and the nominated 'principal contractor' for the building or subdivision works.
- (4) **Construction Certificate Before Work Commences** - This development consent does not allow site works, building or demolition works to commence, nor does it imply that the plans approved as part of the development consent comply with the specific requirements of *Building Code of Australia*. Works must only take place after a Construction Certificate has been issued, and a Principal Certifying Authority (PCA) has been appointed.
- (5) **Soil Erosion and Sediment Control** - Soil erosion and sediment controls must be implemented prior to works commencing on the site.

Soil erosion and sediment control measures must be maintained during construction works and must only be removed upon completion of the project when all landscaping and disturbed surfaces have been stabilised (for example, with site turfing, paving or re-vegetation).

Where a soil erosion and sediment control plan (or details on a specific plan) has been approved with the development consent, these measures must be implemented in accordance with the approved plans. In situations where no plans or details have been approved with the development consent, site soil erosion and sediment controls must still be implemented where there is a risk of pollution occurring.

Provide a stabilised entry/exit point. The access should be a minimum of 2.5m wide and extend from the kerb to the building line. The access should consist of aggregate at 30-40mm in size.

Vehicle access is to be controlled so as to prevent tracking of sediment onto adjoining roadways, particularly during wet weather or when the site has been affected by wet weather.

Sedimentation and erosion control measures shall be maintained for the full period of works.

- (6) **Stabilised Access Point** - A Stabilised Access Point (SAP) incorporating a truck shaker must be installed and maintained at the construction ingress/egress location prior to the commencement of any work. The provision of the SAP is to prevent dust, dirt and mud from being transported by vehicles from the site. Ingress and egress of the site must be limited to this single access point

#### 4.0 - During Construction

The following conditions of consent shall be complied with during the construction phase of the development.

- (1) **Hours of Work** – The hours for all construction and demolition work are restricted to between:
- (a) 7.00am and 6.00pm, Monday to Friday (inclusive);
  - (b) 7.00am to 4.00pm on Saturday (if construction noise is inaudible to adjoining residential properties), otherwise 8.00am to 4.00pm;
  - (c) work on Sunday and Public Holidays is prohibited.
- (2) **Site Management** – To safeguard the local amenity, reduce noise nuisance and to prevent environmental pollution during the construction period, the following practices are to be implemented:
- (a) the delivery of material shall only be carried out between the hours of 7.00am and 6.00pm, Monday to Friday, and between 8.00am and 4.00pm on Saturdays;
  - (b) stockpiles of topsoil, sand, aggregate, spoil or other material shall be kept clear of any drainage path, easement, natural watercourse, kerb or road surface and shall have measures in place to prevent the movement of such material off the site;
  - (c) builder's operations such as brick cutting, washing tools, concreting and bricklaying shall be confined to the building allotment. All pollutants from these activities shall be contained on site and disposed of in an appropriate manner;
  - (d) waste must not be burnt or buried on site, nor should wind-blown rubbish be allowed to leave the site. All waste must be disposed of at an approved Waste Disposal Depot;
  - (e) a waste control container shall be located on the development site.

- (3) **Shoring and Adequacy of Adjoining Property** - Shall be in accordance with Clause 98E of the *Environmental Planning and Assessment Regulation 2000*.
- (4) **Protection of Public Places** – If the work involved in the erection or demolition of a building:
- (a) is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or
  - (b) building involves the enclosure of a public place,
- a hoarding or fence must be erected between the work site and the public place.
- If necessary, an awning is to be erected, sufficient to prevent any substance from or in connection with the work falling into the public place. The work site must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place. Any such hoarding, fence or awning is to be removed when the work has been completed.
- (5) **Retaining Walls** - If the soil conditions require it:
- (a) retaining walls must be constructed a minimum of 300mm from any property boundary and ensure all associated drainage and backfill remain wholly within the subject property;
  - (b) where the height of an approved retaining wall exceeds 600mm above or below natural ground level, structural engineering details must be provided to the Principal Certifying Authority, prior to any works commencing on the site. Manufacturers installation details may satisfy this requirement for treated timber products and some dry stacked masonry products;
- Note:** Where Council is nominated as the Principal Certifying Authority, construction of the retaining wall must be inspected at critical stages as nominated in the Mandatory Inspection Notice. Prior to issue of an Occupation Certificate, certification will also be required attesting that the wall has been built in accordance with the relevant standard.
- (c) adequate provisions must be made for surface and subsurface drainage of retaining walls and all water collected must be diverted to, and connected to a stormwater disposal system within the property boundaries;
  - (d) retaining walls shall not be erected within easements; and
  - (e) where retaining walls are not constructed immediately after excavation, the excavation must be suitable shored or supported in accordance with the recommendations of a Practising structural engineer.
- (6) **Excavation and Proximity to Roadway** – All excavations and backfilling associated with the erection of the building must be executed safely and in accordance with appropriate professional standards. All excavations must be properly guarded and protected to prevent them from being dangerous to life or property.

No excavation shall occur within the zone of influence of the roadway.

- (7) **Connect Downpipes** – All roofwater must be connected to the approved roofwater disposal system immediately after the roofing material has been fixed to the framing members. The Principal Certifying Authority (PCA) must not permit construction works beyond the frame inspection stage until this work has been carried out.
- (8) **Excavation and Backfilling** – All excavations and backfilling associated with the erection or demolition of a building must be executed safely and in accordance with appropriate professional standards. All excavations associated with the erection or demolition of a building must be properly guarded and protected to prevent them from being dangerous to life or property.
- (9) **Civil Engineering Inspections** - Where Council has been nominated as the Principal Certifying Authority, inspections by Council's Engineer are required to be carried out at the following stages of construction:
  - (a) prior to installation of sediment and erosion control measures;
  - (b) prior to backfilling pipelines and subsoil drains;
  - (c) prior to casting of pits and other concrete structures, including kerb and gutter, roads, accessways, aprons, pathways and footways, vehicle crossings, dish crossings and pathway steps;
  - (d) proof roller test of subgrade and sub-base;
  - (e) roller test of completed pavement prior to placement of wearing course;
  - (f) prior to backfilling public utility crossings in road reserves;
  - (g) prior to placement of asphaltic concrete;
  - (h) final inspection after all works are completed and "Work As Executed" plans, including work on public land, have been submitted to Council.

Where Council is not nominated as the Principal Certifying Authority, documentary evidence in the form of Compliance Certificates stating that all work has been carried out in accordance with Camden Council's Development Control Plan 2011 and Engineering Specifications must be submitted to Council prior to the issue of the Subdivision/Occupation Certificate.

- (10) **Fill Quality** – Any fill material brought in for the construction of the development must only contain uncontaminated soil, clay, shale or rock. No effluent, garbage or trade waste, including building or demolition waste must be included in the fill. The extent and depth of filling must only occur in accordance with the approved plans and any other conditions of the Development Consent. Evidence of the certification of the fill as uncontaminated shall be provided to the Principal Certifying Authority.
- (11) **Required Bollard** – A bollard is required at the entrance to the shared area adjacent to the disabled parking spaces in accordance with AS2890.6.
- (12) **Construction Requirements for Salinity Protection** - That all buildings and infrastructure to be constructed on the premises shall be in accordance with the Salinity Management Plan lot 6 DP 242250, lot 100 DP 851222 and Part lot 101 DP 851222, Irvine Street Elderslie, prepared by GeoEnviro Consultancy Pty Ltd Report ref JE05277A-r4 dated September 2006.
- (13) **Environmental Requirement** – All activities associated with the development must be carried out within the development, and must be carried out in an

environmentally satisfactory manner as defined under section 95 of the Protection of the Environment Operation Act 1997.

- (14) **Construction Noise Levels** - Noise levels emitted during construction works shall be restricted to comply with the construction noise control guidelines set out in Chapter 171 of the NSW EPA's Environmental Noise Control Manual. This manual recommends:

Construction period of 4 weeks and under:

The L10 level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 20 dB(A).

Construction period greater than 4 weeks:

The L10 level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 10 dB(A).

### 5.0 - Prior To Issue Of Occupation Certificate

The following conditions of consent shall be complied with prior to the issue of an Occupation Certificate.

- (1) **Street Trees, Their Tree Root Barrier Guards, Protective Guards and Bollards** - During any earthworks and development works relating to this Consent, the Applicant is advised:
- (a) That any nature strip street trees, their tree guards, protective bollards, garden bed surrounds or root barrier installation which are disturbed, relocated, removed, or damaged must be successfully restored at the time the damage or disturbance occurred.
  - (b) Any repairs, relocations, reinstallations or replacements needed to the street trees, bollards, garden bed surrounds, tree guards or existing root guard barriers, are to be completed with the same type, species, plant maturity, materials and initial installation standards and the works and successful establishment of the trees carried out prior to the issue of the Subdivision/Occupation Certificate.
  - (c) If any repairs, relocations or reinstallations occur or are required then an inspection must be arranged with Council's Landscape Development Officer, to determine that the Street Trees and any protective or installation measures have been restored correctly and some degree of reestablishment has occurred.
  - (d) The inspection must occur prior to the issue of the Occupation Certificate.
- (2) **Installation of Street Trees and Their Protective Guards and Bollards** - The Applicant is advised that if any nature strip street trees are to be repaired, reinstalled or relocated as a result of any earthworks or construction works applicable to this Consent then the following installation details and specifications must apply:

All street trees are to have well constructed tree guard protection installed. A minimum requirement is the installation of at least 3 bollards per street tree. The bollards are to be installed approximately 1m from the main stem of the tree. The bollards are to be sourced in minimum 1.8m length, which will allow for 1.2m above ground exposure and .6m buried support. The bollards are to be timber (or other acceptable composite material) and a minimum 150mm x 150mm width. Timber bollards are to be a durability minimum of H4 CCA.

All street trees are to have root barrier installation to the kerb.

- (3) **Works as Executed Plan** - Prior to the Occupation Certificate being issued, a works-as-executed plan must be submitted to the Principal Certifying Authority in accordance with Camden Council's current Engineering Construction Specifications.
- (4) **Footpath Crossing Construction** - Prior to the issue of any Occupation Certificate a footpath crossing must be constructed in accordance with Camden Council's issued footpath crossing information.
- (5) **Directional Traffic Flow Signs** - The southern driveway must be used for ingress purposes only and the northern driveway for egress purposes only. Both driveways must be suitably signposted and directional arrows painted on the internal roadway prior to the Occupation Certificate being issued. Sign/s shall be maintained in good repair at all times.
- (6) **Acoustic Fence** - a 1.5m high Perspex fence with a minimum mass of 15kg/m<sup>2</sup> (12 mm thick) shall run the length of Folkes Street and around into Higgins Ave to the gate access adjacent to the carparking area.
- (7) **North Eastern Boundary Fence** - The north eastern boundary fence shall be constructed of a timber paling fence lapped and capped with a minimum 35mm overlap of planks, 3 horizontal support rails and have no gaps.
- (8) **North Western Boundary Fence** – The existing timber lapped and capped boundary fence on the northern boundary shall be assessed to ensure there are no gaps between the fence and the ground.

Where gaps are located, they are to be sealed in accordance with the Noise Assessment prepared by Renzo Tonin & Associates Pty Ltd (Revision 1) dated 28 May 2012.

- (9) **Acoustic Compliance Report** - Prior to the issue of the Occupation Certificate a Compliance Report prepared by an independent acoustic consultant shall be submitted and approved by the Principal Certifying Authority certifying that:
  - (a) the cumulative affect of all mechanical plant operating at the premises does not exceed 43dB(A) when measured within any residential property boundary.
  - (b) that all noise attenuation materials used for the mitigation of noise (such as acoustic fences) is compliant with the conditions contained within this development consent.

For any non-compliance, the Acoustic Compliance Report must make recommendations for compliance or further attenuation of noise sources and these recommendations will be enforced by Council at the cost of the owner / occupier.

The owner / occupiers must then provide a supplementary Acoustic Report to the Principal Certifying Authority certifying that all compliance works have been completed and that noise levels comply with the above criteria.

- (10) **Compliance Letter** - Where the Consent Authority is not the Principal Certifying Authority (PCA) an additional inspection of the commercial kitchen must be undertaken by the Consent Authority (involving an Environmental Health Officer from the Consent Authority) prior to the issuing of an Occupation Certificate. A letter is to be issued from the Consent Authority certifying that the kitchen complies with the Food Codes and Regulations.

**Note:** Failure to comply with Council's Food Premises Code, the Food Act 2003 and the Food Regulations 2010 (incorporating the Food Standards Code), at final inspection stage prior to OC, will result in refusal to operate and possible issue of Improvement Notices to the proprietor. Any improvements to the kitchen due to non-compliance will be at the applicant's expense.

- (11) **Damaged Assets** – Any work and public utility relocation within a public place shall incur no cost to Council.
- (12) **Footpath Paving** - Council's standard concrete footpath paving must be constructed by the developer at no cost to Council for the full road frontage of the property Higgins Avenue and Folkes Street prior to the Occupation Certificate being issued.

The area of the footway not paved must be topsoiled and turfed. Any necessary transition to the existing footpath beyond the boundary of this property must be completed by the developer at no cost to Council.

Additional pram ramp crossings are to be constructed on the corner of Higgins Avenue and Folkes Street. Also an additional pram ramp crossing is to be constructed on Higgins Avenue, at the existing kerb and gutter area designated for the ramp crossing opposite Thornton Road prior to the issue of an Occupation Certificate

## 6.0 - Operational Conditions

The following conditions of consent are operational conditions applying to the development.

- (1) **Occupation Certificate** – An Occupation Certificate must be issued by the Principal Certifying Authority (PCA) prior to occupation or use of the development. In issuing an Occupation Certificate, the PCA must be satisfied that the requirements of Section 109H of the *Environmental Planning and Assessment Act 1979* have been satisfied.

The PCA must submit a copy of the Occupation Certificate to Camden Council (along with the prescribed lodgement fee) within two (2) days

from the date of determination and include all relevant documents and certificates that are relied upon in issuing the certificate.

The use or occupation of the approved development must not commence until such time as all conditions of this development consent have been complied with.

- (2) **Offensive Noise** - The use and occupation of the premises including all plant and equipment must not give rise to any offensive noise within the meaning of the *Protection of the Environment Operations Act, 1997*.
- (3) **Liquid Wastes** - All liquid wastes other than stormwater generated on the premises must be discharged to the sewer in accordance with the requirements of Sydney Water.
- (4) **Noise** - noise from vehicles entering or leaving the child care centre shall not exceed 43dB(A) Laeq (15 minute) when measured within any residential property boundary.
- (5) **Children at External Play** – Noise emitted from activities associated with the outdoor playground activities shall not exceed the Laeq (15 minute) 48 dB(A) when assessed within any residential property boundary.
- (6) **Amplified Music** – The use of amplified music in outdoor areas of the centre is prohibited.
- (7) **Maximum Number of Children at Playground 1** – A maximum of 20 children in playground 1 will be allowed to occupy and participate in external play at anyone time.
- (8) **Maximum Number of Children at Playground 2** – A maximum of 16 children in playground 2 will be allowed to occupy and participate in external play at anyone time.
- (9) **Mechanical Plant Noise Restriction** – The noise level from the combined use and operation of mechanical plant must not exceed 43dB(A) LAeq 15 minutes when measured at the nearest residential boundary.
- (10) **Mechanical Plant Noise Restriction** - The use and operation of all mechanical plant shall be restricted to only operate between the hours of 7.00am-6.00pm Monday – Friday.
- (11) **Hours of Operation** - The hours of operation for the approved landuse are Monday to Friday, 7.00am until 6.00pm.

All vehicle movements, deliveries and any other operations associated with the use of the premises must be restricted to approved hours of operation. Any alteration to these hours will require the prior approval of the Consent Authority.

- (12) **General Requirements** – The storage of goods and materials must be confined within the building. At no time must goods, materials or advertising signs be displayed or placed within the designated car parking spaces, landscaped areas or road reserve.

- (13) **Commercial Waste Contract** - The applicant shall enter into a commercial contract for the collection of trade waste and recycling. A copy of this agreement shall be held on the premises at all times.
- (14) **Amenity** - The business shall be conducted and patrons controlled at all times so that no interference occurs to the amenity of the area, the footpath, adjoining occupations and residential or business premises.
- (15) **Ancillary Office Area** - The use of the office area shall be ancillary to the use of the premises, at all times.
- (16) **Noise Management Plan** - A noise management plan shall be prepared and implemented within one (1) month of the commencement of the childcare operation. The management plan shall include:
- (a) Ensure children are supervised at all times to minimise noise generated by children;
  - (b) Install a contact phone number at the front of the centre so that any complaints regarding centre operation can be made; and
  - (c) Implement a complaint handling procedure. If a noise complaint is received the complaint should be recorded on a Complaint form. The complaint form should list:
    - (i) The name and address of the complainant (if provided).
    - (ii) The time and date the complaint was received.
    - (iii) The nature of the complaint and the time and date the noise was heard.
    - (iv) The name of the employee who received the complaint.
    - (v) Actions taken to investigate the complaint, and a summary of the results of the investigation.
    - (vi) Indicate what was occurring at the time the noise was heard, if possible.
    - (vii) Required remedial action.
    - (viii) Summary of feedback to the complainant.
- (17) **Register of Complaints** - A permanent register of complaints shall be held on the premises, which shall be reviewed monthly by staff to ensure all complaints are being responded to. All complaints received shall be reported to management with initial action/investigation commencing within 7 days. The complainant should also be notified of the results and actions arising from the investigation.

#### END OF CONDITIONS

#### RECOMMENDED

**That Council approve Development Application 1522/2011 for a child care centre at No 45A Folkes Street (Lot 2053, DP 1109169), Elderslie subject to the draft development consent conditions shown above.**

#### ATTACHMENTS

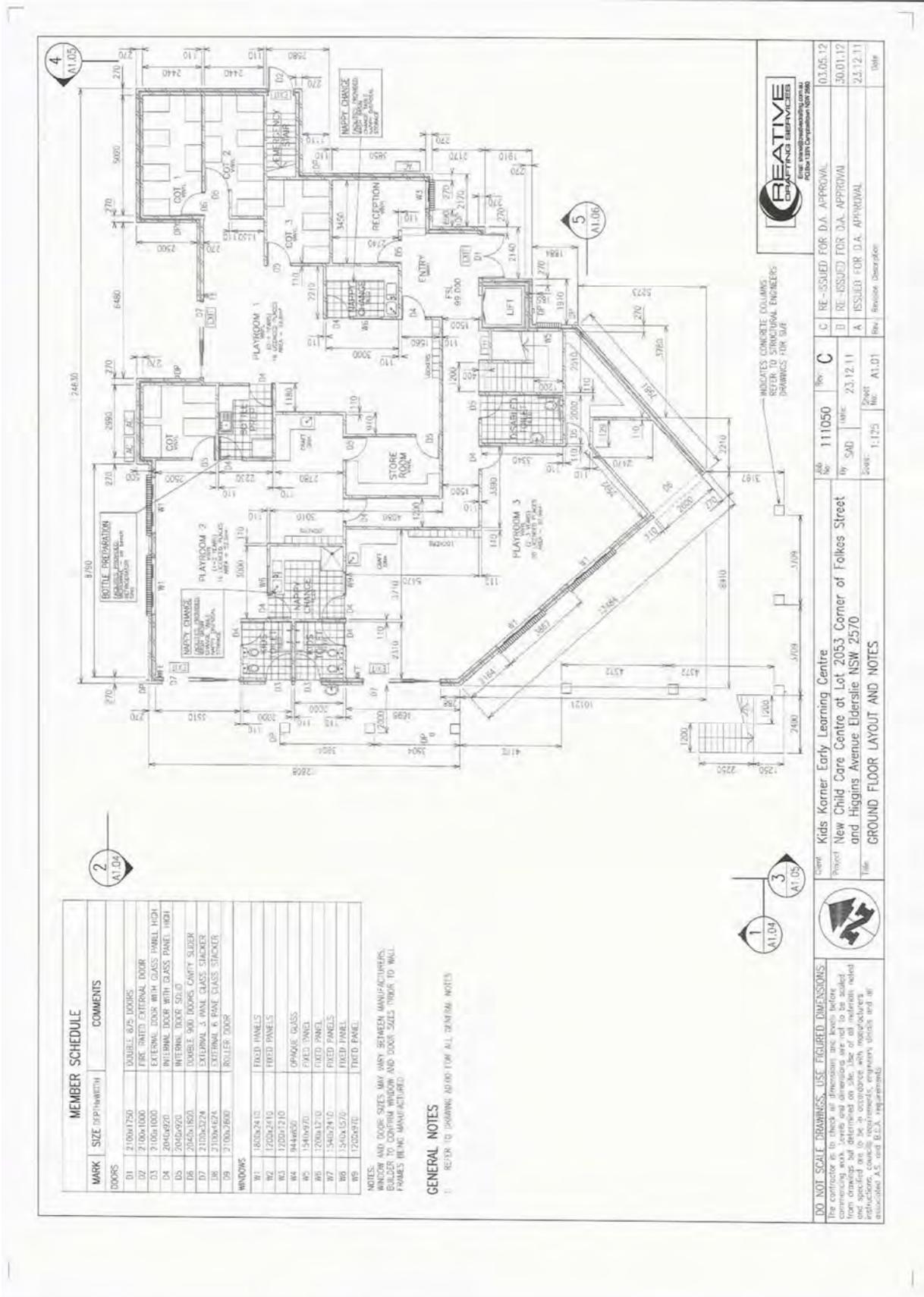
## ORD03

1. Proposed plans
2. Extract Elderslie Masterplan
3. Submissions - *Supporting Document*



ORD03

Attachment 1



MEMBER SCHEDULE	
MARK	SIZE (DEPTH)XWIDTH
<b>DOORS</b>	
D1	2100x1750
D2	2100x1000
D3	2100x1000
D4	2040x920
D5	2040x920
D6	2040x1820
D7	2100x1224
D8	2100x1624
D9	2100x2600
<b>WINDOWS</b>	
W1	1800x2410
W2	1200x2410
W3	1200x1210
W4	1440x650
W5	1400x920
W6	2000x1700
W7	1500x2410
W8	1200x1210
W9	1200x920

NOTES:  
 WINDOW AND DOOR SIZES MAY VARY BETWEEN MANUFACTURERS.  
 WINDOW MANUFACTURER AND DOOR SIZES TO BE TO WALL.  
 FRAMES BEING MANUFACTURED.

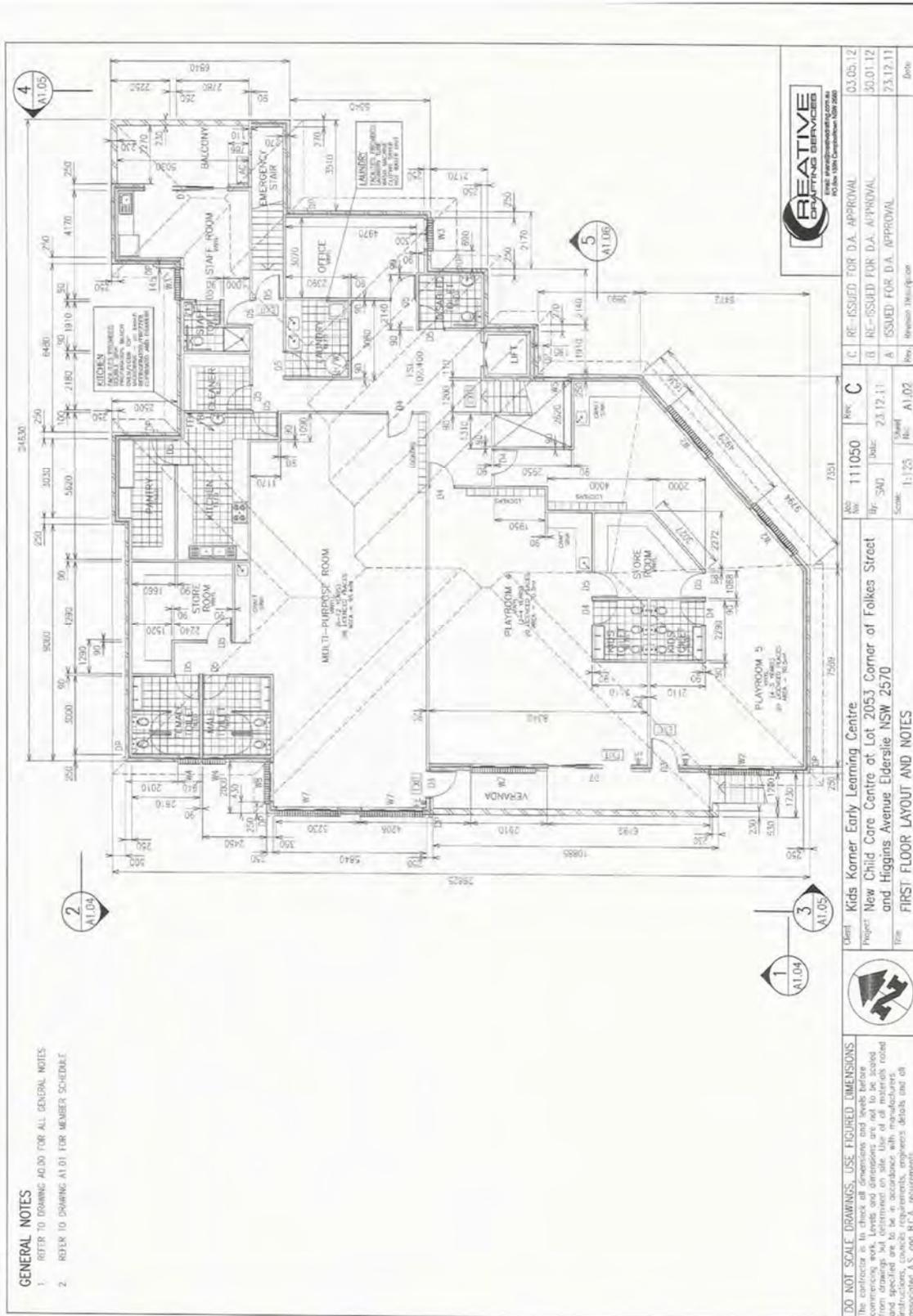
**GENERAL NOTES**

- 1. REFER TO DRAWING ABOVE FOR ALL GENERAL NOTES



INDICATES CONCRETE COLUMNS REFER TO STRUCTURAL ENGINEERS DRAWINGS FOR SIZE

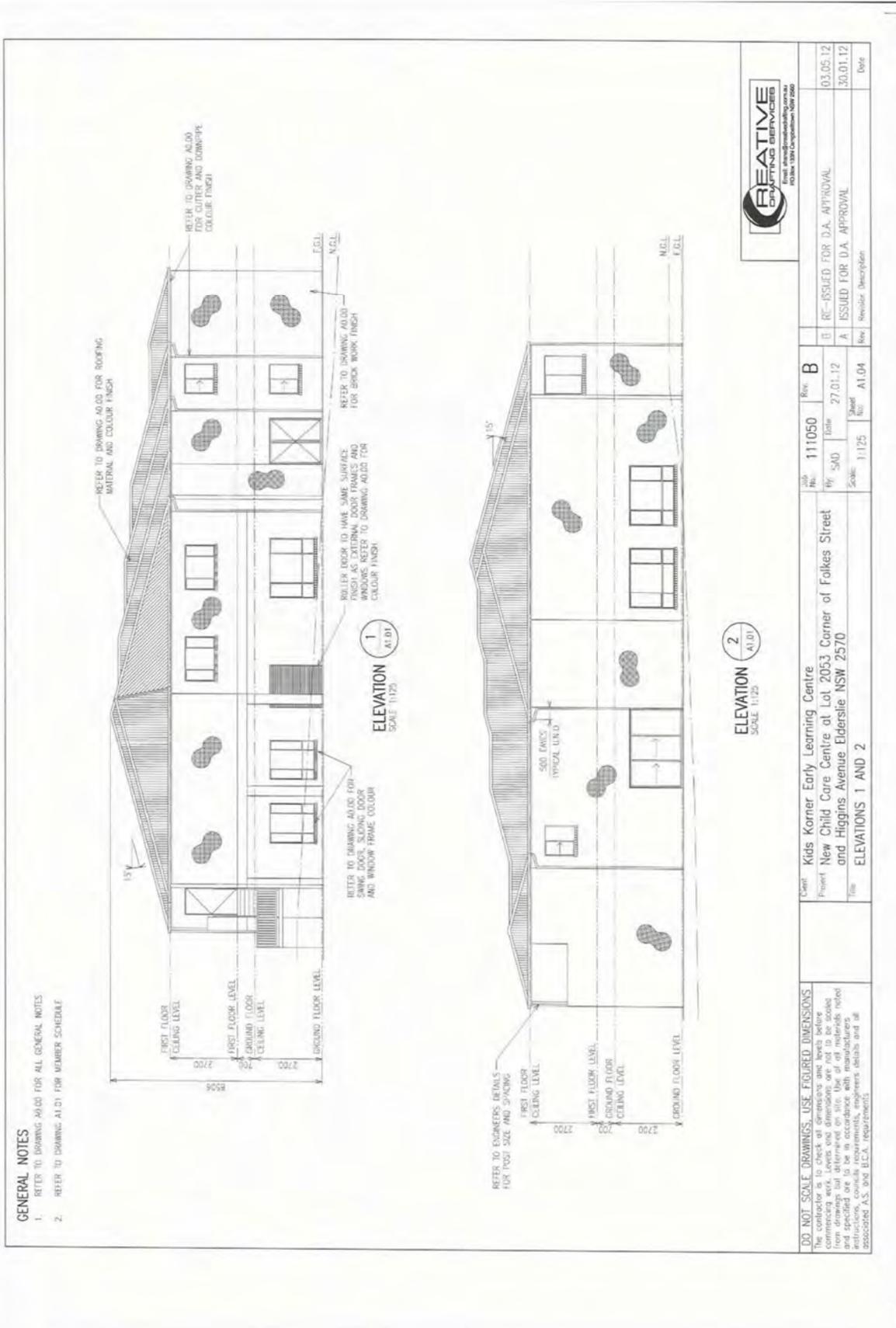
<p>Client: Kids Korner Early Learning Centre                  Project: New Child Care Centre at Lot 2053 Corner of Folkes Street and Higgins Avenue Elderslie NSW 2570                  Title: GROUND FLOOR LAYOUT AND NOTES</p>		<p>Rev: 111050                  By: SMD                  Date: 23.12.11                  Scale: 1:125</p>	<p>Rev: C                  RE-ISSUED FOR D.A. APPROVAL                  RE-ISSUED FOR D.A. APPROVAL                  ISSUED FOR D.A. APPROVAL</p>	<p>Date: 03.05.12                  30.01.12                  24.12.11</p>
<p>DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS.                  The contractor is to check all dimensions and levels before commencing work. Levels and alignments are not to be scaled from drawings but determined on site. Use of all materials, noted in the schedule of materials, must be in accordance with the manufacturer's specifications, codes of practice, standards and all applicable A.S. and B.S.A. requirements.</p>		<p>Sheet: 1 of 2                  Title: Revision Description</p>	<p>Rev: A1.01</p>	<p>Date:</p>



Attachment 1

ORD03



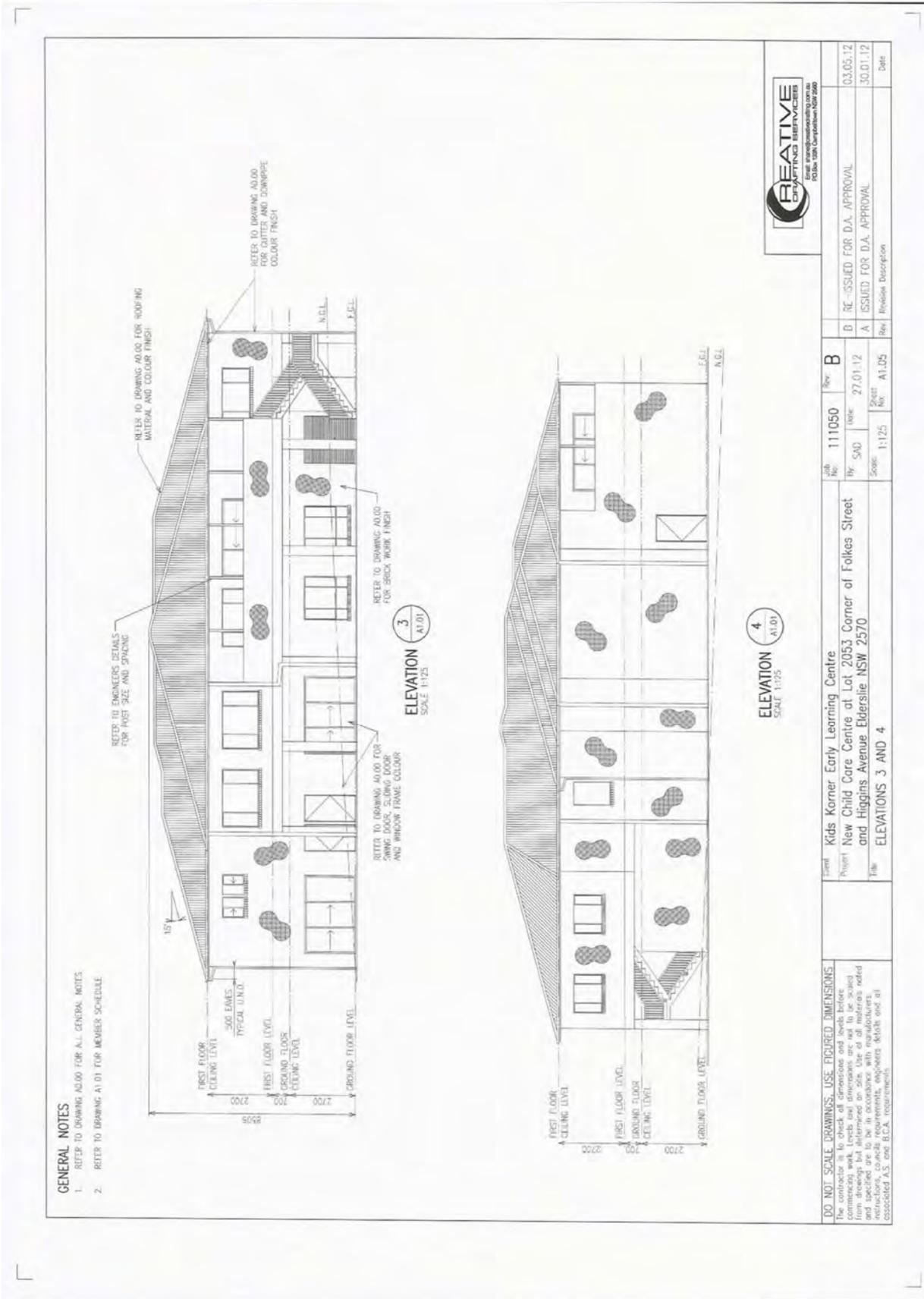


Client: Kids Korner Early Learning Centre Project: New Child Care Centre at Lot 2053 Corner of Folkes Street and Higgins Avenue Elderslie NSW 2570 Title: ELEVATIONS 1 AND 2	Job No: 111050 Rev: B	Date: 27.01.12 Sheet: 1 of 1 Scale: 1:125	Issued For: D.A. APPROVAL Date: 03.05.12
	Rev: B Date: 27.01.12	Issued For: D.A. APPROVAL Date: 30.01.12	Rev: B Date: 03.05.12

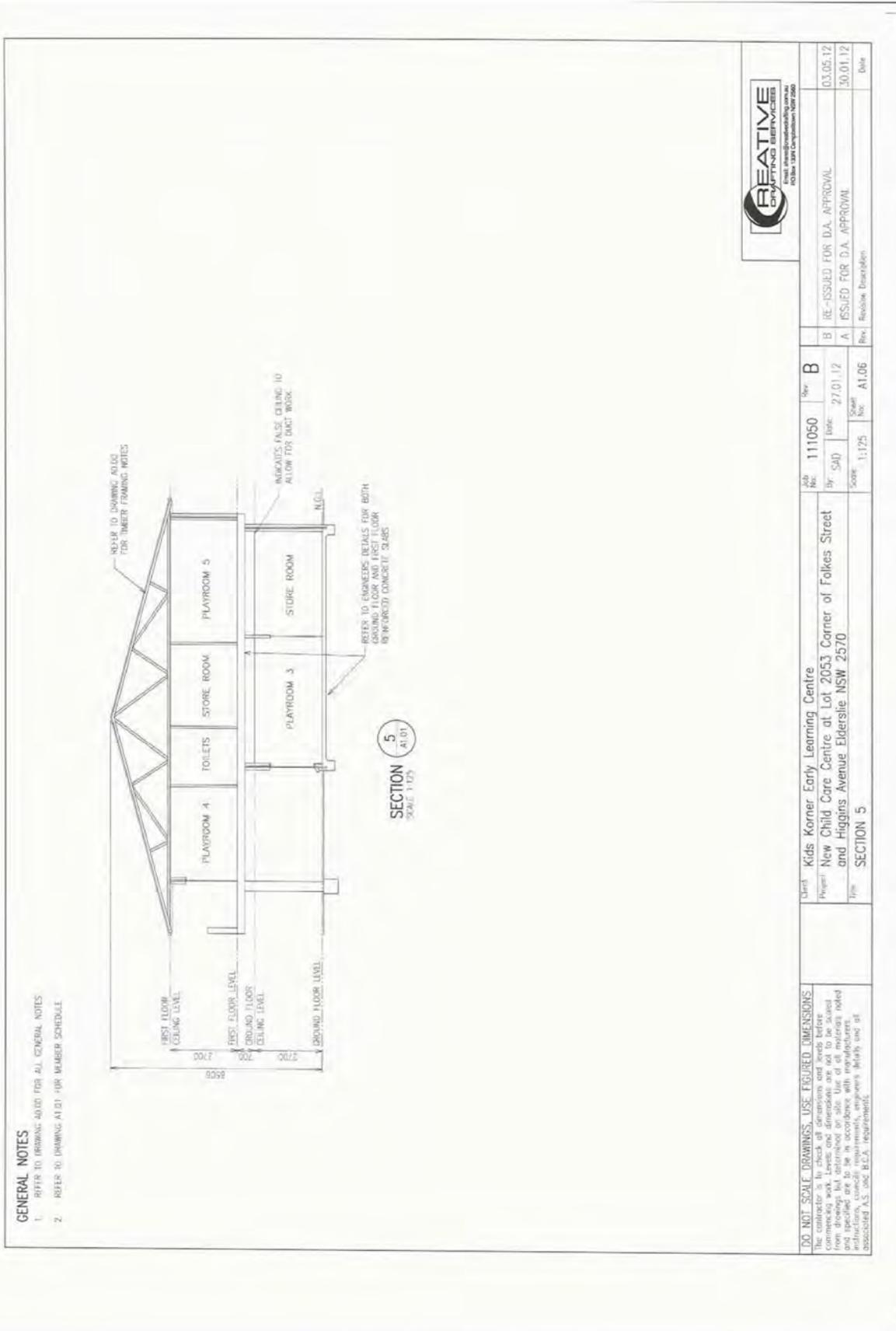
**DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS.**  
 The contractor is to check all dimensions and levels before commencing work. Levels and dimensions are not to be scaled from drawings but determined on site. Use of materials noted and specified are to be in accordance with manufacturers and suppliers' details and all associated A.S. and B.C.A. requirements.

ORD03

Attachment 1



Project Kids Korner Early Learning Centre New Child Care Centre at Lot 2053 Corner of Folkes Street and Higgins Avenue Eiderslie NSW 2570	Title ELEVATIONS 3 AND 4	Sub No. 111050	Rev. B
		By: S.A.D.	Date: 27.01.12
Scale: 1:125		No. A1.05	Rev. Revision Description
Issue: 03.05.12		D RE-ISSUED FOR D.A. APPROVAL	Date: 30.01.12
Issue: 30.01.12		A ISSUED FOR D.A. APPROVAL	Date:



**GENERAL NOTES**

1. REFER TO DRAWING A1.01 FOR ALL GENERAL NOTES
2. REFER TO DRAWING A1.01 FOR MEMBER SCHEDULE

**DO NOT SCALE DRAWINGS. USE FIGURED DIMENSIONS.**  
 The contractor is to check all dimensions and levels before commencing work. Levels and dimensions are not to be scaled from drawings but obtained on site. Use of all materials noted and specified are to be in accordance with manufacturers and associated A.S. and B.C.A. requirements.



Client	Kids Korner Early Learning Centre	Job No.	111050	Rev	B
Project	New Child Care Centre at Lot 2053 Corner of Folkes Street and Higgins Avenue Elderslie NSW 2570	By	SAD	Date	27.01.12
Type	SECTION 5	Scale	1:125	Rev	A1.06
				Rev	03.05.12
				Rev	30.01.12
				Rev	

ORD03

Attachment 2





## ORDINARY COUNCIL

ORD04

ORD04

**SUBJECT: METS BASEBALL CLUB - REQUEST TO REFUND DA FEES**  
**FROM:** Director, Development and Health  
**BINDER:** Development Applications 2012/DA 517/2012

### PURPOSE OF REPORT

The purpose of this report is to seek Council's determination of a request from the Mets Baseball Club for a refund of development application (DA) and associated fees for the construction of perimeter safety fencing at Catherine Field Reserve at 170 Catherine Fields Road, Catherine Field.

### BACKGROUND

On 30 May 2012, Council received a DA and CC to construct safety fencing at certain areas of the perimeter of the baseball park to improve safety to adjoining properties and the general public.

Council is the owner of the land. The Baseball Club applied to Council for approval to install the fencing as a measure to improve the safety of users of the park.

This request seeks a refund of the DA and associated application fees. The DA (DA 517/2012) was applied for by Jo Wright on behalf of the Mets Baseball Club and was approved under delegated authority on 1 June 2012. The application fees have been paid to Council.

**A copy of the request is provided in the Business Paper supporting documents.**

### MAIN REPORT

On 10 July 2012, Council received a request for a refund of the DA and associated fees. Based on the estimated project value of \$12,265, Council's fees are as listed below:

Fee	Purpose	Amount
Development Application fee	The assessment of the Development Application by Council	\$209.00
Construction Certificate fee	The assessment of the Construction Certificate application by Council	\$390.97
Inspection fee	The assessment of the Occupation Certificate application and the carrying out of 1 inspection by Council	\$248.00 (or \$225.45 ex GST)
Archiving fee	The physical and electronic storage of the applications by Council	\$27.00
		<b>Total = \$874.97*</b>

\* The total cost of fees is \$852.42 (excluding GST)

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At the Council meeting of 13 June 2006, Council considered a report into the waiving of fees for community based projects. At the time, it was determined that all fees associated with the assessment of DAs are payable to Council by the applicant.

### **CONCLUSION**

A request has been received by Council seeking a refund of fees associated with a DA and CC for the construction of perimeter fencing at Catherine Field Reserve. The total amount of those fees is \$874.97 (or \$852.42 excluding GST).

The request is reported to Council as it is a matter for Council to determine.

### **RECOMMENDED**

**A matter for Council, and that the applicant be advised of Council's decision.**

### **ATTACHMENTS**

1. Request for refund - *Supporting Document*



## ORDINARY COUNCIL

ORD05

ORD05

**SUBJECT:** INSTALLATION OF A WOOD FIRE HEATER AT NO 15 (LOT 8008 DP 1002148) KINNEAR STREET, HARRINGTON PARK  
**FROM:** Director, Development and Health  
**BINDER:** Development Applications 2012/ DA 617/2012

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**DA NO:** 617/2012  
**OWNER:** Jack Klusek  
**APPLICANT:** Jack Klusek  
**ZONING:** R2 Low Density Residential

### PURPOSE OF REPORT

The purpose of this report is to seek a determination of a Development Application (DA) for the installation of a wood fire heater for domestic purposes. The DA is referred to Council in accordance with its delegations as there are unresolved issues raised in a submission received from the public.

### SUMMARY OF RECOMMENDATION

It is recommended that Council approve this DA subject to the draft development consent conditions provided at the end of this report.

### BACKGROUND

Council received this DA for the installation of a wood fire heater on 28 June 2012. The DA was notified to surrounding landowners from 3 July to 17 July 2012. During the notification period, one submission was received objecting to the proposal.

On 24 July 2012, Council considered a report regarding open fire and slow combustion wood heaters. At that time, Council resolved to:

- i. adopt a position to permit only slow combustion and open wood fire heaters with a 1 gram per kilogram emission and 65% efficiency rating;*
- ii. notify and provide an update to relevant stakeholders of Council's decision to promote the above standards;*
- iii. develop a robust Local Approvals Policy promoting the above position to be reported back to Council for consideration;*
- iv. provide the above information on Council's website to notify the public of its decision;*
- v. develop an education strategy and comprehensive web page to inform and educate the public of the health effects and proper use of wood fire heaters to be reported back to Council for consideration;*
- vi. write to the relevant State and Federal statutory authorities and Standards Australia advising of the above policy position; and*
- vii. adopt an interim position to support applications that comply with the Australian Standards.*

## THE SITE

The site is described as No. 15 (Lot 8008, DP 1002148) Kinnear Street, Harrington Park. The site is rectangular in shape and has an area of 563.3m<sup>2</sup>. A single storey dwelling currently exists on the subject site.

The surrounding area is predominantly characterised by low density residential dwellings, along with a number of public open spaces. The site is located to the west of the Harrington Parkway and to the north of Royal George Drive.

**A site location map is provided in Attachment 1 at the end of this report.**

## THE PROPOSAL

Development consent is sought for the installation of a wood fire heater for domestic purposes. The applicant has already purchased the heater, but is yet to install it.

The wood fire heater is a Saxon branded freestanding slow combustion heater that has a 1.6 gram (g) per kilogram (kg) emission rating and a 61% efficiency rating.

The heater complies with the Australian Standard which has a maximum of 4 g/kg emission rating.

It is proposed to install the heater in the living room on the western wall of the dwelling, adjacent to No. 17 Kinnear Street.

**A copy of the floor plan is provided in the Business Paper supporting documents.**

## NOTIFICATION

Surrounding neighbours were notified of the DA between 3 July and 17 July 2012 and one submission was received objecting to the proposal.

The submission is addressed under the heading 'Any Submissions' in the assessment section of the report.

**A copy of the submission is provided in the Business Paper supporting documents.**

## PLANNING CONTROLS

The following plans and policies have been considered in the assessment of this DA:

- Camden Local Environmental Plan 2010 (LEP 2010)
- Camden Development Control Plan 2011 (DCP 2011)

## ASSESSMENT

The DA has been assessed in accordance with Section 79C of the *Environmental Planning and Assessment Act 1979*.

The following comments are made in respect of the application.

### **(1)(a)(i) The provisions of any Environmental Planning Instrument**

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## Camden Local Environmental Plan 2010 (LEP)

Under the Camden LEP 2010, the site is zoned R2 Low Density Residential. The proposal is ancillary development to the residential dwelling and is permissible with consent.

The relevant objective of this zone seeks to “minimise conflict between land uses within the zone and land uses within adjoining zones”.

It is considered that, subject to appropriate development consent conditions, the heater can be approved without causing conflict with neighbouring properties or the wider surrounding environment.

Chimneys and flues are excluded from the height definition with the LEP, therefore the proposal complies with height within the LEP.

### **(1)(a)(ii) The provisions of any proposed instrument that is or has been the subject of public consultation under *the Act* and that has been notified to the Consent Authority**

There are no relevant draft environmental planning instruments applicable to this site or development.

### **(1)(a)(iii) The provisions of any Development Control Plan**

The following part of the Camden Development Control Plan 2011 (DCP) are relevant and the proposal has been assessed against:

#### Part B1.17 – Air Quality

Part B1.17 of the DCP states:

*‘open fireplaces and slow combustion stoves/heaters are not encouraged.’*

On 24 July 2012, Council adopted an interim position to support applications that comply with the Australian Standard.

This interim position was adopted whilst Council prepares a Local Approvals Policy that permits wood fire heaters with a 1 gram per kilogram emission and 65% efficiency rating.

Applicants are encouraged to comply with Council’s proposed policy. In this instance, the applicant has already purchased, but not yet installed, the wood fire heater.

The Australian Standard includes a maximum rate of emission of 4 grams per kilogram with no efficiency rating.

The subject heater has a 1.6 g/kg emission rating which is below the 4 g/kg in the Australian Standard and is close to complying with Council’s proposed policy of 1 g/kg emission rating.

The heater has a 61% efficiency rating which is close to complying with Council’s proposed 65% efficiency rating.

To ensure the heater complies with the Australian Standard and to minimise potential impacts, a number of operational conditions are recommended, including:

- fuel used must consist of timber seasoned for at least 12 months. No green wood, wet wood, painted or treated timber, paper or rubbish may be burnt;
- the heater must be operated in accordance with the manufacturer's details;
- the interior of the flue must be inspected for obstructions and cleaned on a regular basis, including before each winter;
- the air flow shall be kept fully open for at least the first 20 minutes of operation to create the right conditions for the wood to burn completely and cleanly;
- at no stage shall excessive smoke be emitted from the solid fuel heater as defined under the Protection of the Environment Operations Act, 1997;
- no wood chopping is to be undertaken outdoors on the property prior to 8.00am and after 5.00pm on any day; and
- wood shall be stored in a dry place.

**(1)(a)(iia) The provisions of any Planning Agreement**

There are no relevant Planning Agreements applicable to this site or development.

**(1)(a)(iv) The provisions of the Regulations**

The Regulation prescribes several development consent conditions that will be included in any development consent issued for this development.

**(1)(b) The likely impacts of the development**

The likely impacts of the development include:

(a) Environmental impacts

The use of the wood fire heater when operated in accordance with the applicable Australian Standards will not negatively impact the air quality and amenity of neighbouring residents.

The flue and chimney will comply with the Australian Standard and a number of operational conditions have been recommended to ensure there is minimal impact on air quality and amenity for the site and surrounding area.

(b) Health Impacts

As previously discussed, the proposed heater has a 1.6 g/kg emission rating and a 61% efficiency rating, which complies with the Australian Standard and is close to complying with Council's proposed policy of 1 g/kg emission rating and 65% efficiency rating.

Subject to the proposed operational conditions the health impacts will be minimised.

### **(1)(c) The suitability of the site for the development**

The site is considered to be suitable for the proposed development. Conditions of consent will ensure that the proposal complies with the Australian Standard and the likely impacts will be reduced.

### **(1)(d) Any submissions**

The DA was notified to surrounding landowners for a period of 14 days from 3 July to 17 July 2012. During the notification period, one submission was received objecting to the proposal. The issues raised in the submission are:

1. *The issue of washing smelling of smoke.*

*Officer comment:*

The wood fire heater complies with the Australian Standard and a number of operational conditions are recommended to minimise odour impacts.

2. *We moved to Camden because it is pollution free.*

*Officer comment:*

South West Sydney experiences high levels of air pollution in comparison to the remainder of Sydney because of geography meteorology.

Council has adopted a position to encourage the use of the most efficient wood fired heaters. Whilst the proposed heater does not comply with Council's preferred requirements in relation to emission and efficiency ratings, it is well below the Australian Standard.

3. *The inability to open windows.*

*Officer comment:*

The heater complies with the Australian Standard and a number of operational conditions have been included to minimise impacts on adjoining properties.

4. *Why does the owner need a wood fire heater when he has solar panels on their roof and an air conditioner?*

*Officer comment:*

Wood fired heaters are a legal product available at various retail outlets. The proposal DA complies with Council's interim position to support applications that comply with the Australian Standard.

### **(1)(e) The public interest**

The proposed heater has an emission rate significantly lower than that specified in the Australian Standard which will reduce the potential impacts on the public. Subject to a number of operational conditions, the wood fire heater can be operated with minimal impact on surrounding properties or the environment.

## CONCLUSION

Council has received a DA for a wood fire heater on this site. The DA has been assessed in accordance with Section 79C of the *Environmental Planning and Assessment Act 1979* and the one submission received has been considered.

It is recommended that this DA be approved subject to the draft development consent conditions shown below.

## DRAFT CONDITIONS OF CONSENT

### 1.0 - General Requirements

The following conditions of consent are general conditions applying to the development.

- (1) **Development in Accordance with Plans** – The development is to be in accordance with plans and documents listed below, except as otherwise provided by the conditions of this consent:

Plan / Development No.	Description	Prepared by	Dated
Installation Certification by A1 Transformations No. 1343	Saxon – Blackwood Wood Heater	Saxon – Park-Tec Engineering	undated
Location plan	Floor plan, Elevations	Jack Klusek	undated

Where there is an inconsistency between the approved plans/documentation and the conditions of this consent, the conditions of this consent override the approved plans/documentation to the extent of the inconsistency.

- (2) **Building Code of Australia** - All works must be carried out in accordance with the requirements of the *Building Code of Australia*.
- (3) **Certificate of Compliance** - The solid fuel heater must be manufactured in accordance with Australian Standard 4012 - 1999 and Australian Standard 4013 - 1999 and have a current Certificate of Compliance issued by the Environmental Protection Authority demonstrating that the solid fuel heater meets the performance standards.
- (4) **Compliance with installation Standards** – The solid fuel heater shall be installed in accordance with Part 3.7.3.5 of the *Building Code of Australia* and AS2819 2001.

The flue height must comply with AS2819 Part 4.9 and Figure 4.9.

### 2.0 - Construction Certificate Requirements

The following conditions of consent shall be complied with prior to the issue of a Construction Certificate.

Nil.

### 3.0 - Prior To Works Commencing

The following conditions of consent shall be complied with prior to any works commencing on the development site.

- (1) **Erection of Signs** – Shall be undertaken in accordance with Clause 98A of the *Environmental Planning and Assessment Regulation 2000*.
- (2) **Notice of Commencement of Work and Appointment of Principal Certifying Authority** – Notice in the manner required by Section 81A of the *Environmental Planning and Assessment Act 1979* and clauses 103 and 104 of the *Environmental Planning and Assessment Regulation 2000* shall be lodged with Camden Council at least two (2) days prior to commencing works. The notice shall include details relating to any Construction Certificate issued by a certifying authority, the appointed Principal Certifying Authority (PCA), and the nominated 'principal contractor' for the building or subdivision works.
- (3) **Construction Certificate Before Work Commences** - This development consent does not allow site works, building or demolition works to commence, nor does it imply that the plans approved as part of the development consent comply with the specific requirements of *Building Code of Australia*. Works must only take place after a Construction Certificate has been issued, and a Principal Certifying Authority (PCA) has been appointed.

### 4.0 - During Construction

The following conditions of consent shall be complied with during the construction phase of the development.

- (1) **Hours of Work** – The hours for all construction and demolition work are restricted to between:
  - (a) 7.00am and 6.00pm, Monday to Friday (inclusive);
  - (b) 7.00am to 4.00pm on Saturday (if construction noise is inaudible to adjoining residential properties), otherwise 8.00am to 4.00pm;
  - (c) work on Sunday and Public Holidays is prohibited.

### 5.0 - Prior To Issue Of Occupation Certificate

The following conditions of consent shall be complied with prior to the issue of an Occupation Certificate.

- (1) **Certification of Installation** - A Certificate of Compliance shall be submitted to the Principal Certifying Authority prior to the issue of an Occupation Certificate. This certificate must be issued by a suitably qualified person and verify that the solid fuel heater as installed, complies with Australian Standard 2918-2001 - Domestic Solid Fuel Burning Appliances – Installation, and the NSW EPA publication titled Environmental Guidelines for Selecting, Installing and Operating Domestic Solid Fuel Heaters, dated August 1999.
- (2) **Occupation Certificate** – An Occupation Certificate must be issued by the Principal Certifying Authority (PCA) prior to occupation or use of the development. In issuing an Occupation Certificate, the PCA must be satisfied that the requirements of Section 109H of the *Environmental Planning and Assessment Act 1979* have been satisfied.

The PCA must submit a copy of the Occupation Certificate to Camden Council (along with the prescribed lodgement fee) within two (2) days from the date of determination and include all relevant documents and certificates that are relied upon in issuing the certificate.

The use or occupation of the approved development must not commence until such time as all conditions of this development consent have been complied with.

### 6.0 - Operational Conditions

The following conditions of consent are operational conditions applying to the development.

- (1) **Operational Conditions** - The following conditions of consent are operational conditions applying to the development.
  - (a) **Fuel Types** - The fuel used must consist of timber seasoned for at least 12 months. No green wood, wet wood, painted or treated timber, paper or rubbish may be burnt in the heater.
  - (b) **Operation/Use** - The solid fuel heater must be operated in accordance with the manufacturer's instruction and achieve an emission level in accordance with ASNZ4013.
  - (c) **Cleaning** - The interior of the flue must be inspected for obstructions and cleaned on a regular basis, including before the commencement of each winter.
  - (d) **Air flow** - The air flow shall be kept fully open for at least the first 20 minutes of operation to create the right conditions for the wood to burn completely and cleanly. The air control shall be kept fully open for 5 minutes before and 15-20 minutes after adding logs.
  - (e) **No Excessive Smoke** - At no stage shall excessive smoke be emitted from the solid fuel heater as defined under the *Protection of the Environment Operations Act, 1997*.
  - (f) **Wood Chopping** - No wood chopping is to be undertaken outdoors on the property prior to 8.00am and after 5.00pm on any day.
  - (g) **Wood Storage** – wood shall be stored in a dry place.

**END OF CONDITIONS**

### RECOMMENDED

**That Council approve Development Application 617/2012 for the installation of a wood fire burner at No 15 (Lot 8008, DP 1002148) Kinnear Street, Harrington Park, subject to the draft Development Consent Conditions shown above.**

### ATTACHMENTS

1. Location plan
2. Floor plan - *Supporting Document*
3. Submission - *Supporting Document*

**ORD05**





## ORDINARY COUNCIL

ORD06

ORD06

**SUBJECT:** DETACHED PRINCIPAL AND SECONDARY DWELLING DEVELOPMENT AND STRATA SUBDIVISION AT NO 2 (LOT 1468 DP 1153635) DUFFY AVENUE, GREGORY HILLS  
**FROM:** Director, Development and Health  
**BINDER:** Development Applications 2012/DA603/2012

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**DA NO:** 603/2012  
**OWNER:** Trustees of the Marist Brothers, C/- Dart West Developments  
**APPLICANT:** Fairmont Homes NSW Pty Ltd  
**ZONING:** R1 – General Residential

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### PURPOSE OF REPORT

The purpose of this report is to seek Council's determination of a Development Application (DA) for the construction of a two storey principal dwelling and detached two storey secondary dwelling and associated strata subdivision.

The DA is referred to Council in accordance with its delegations as there remain unresolved issues in a submission received from the public.

### SUMMARY OF RECOMMENDATION

It is recommended that Council approve the DA subject to the draft development consent conditions provided at the end of this report.

### BACKGROUND

The DA was lodged with Council on 26 June 2012. The DA was publicly notified between 29 June 2012 and 13 July 2012. One submission was received during the notification period.

This development type (being principal and secondary dwellings and associated strata subdivision) has been approved and constructed previously in Gregory Hills.

The DA has been assessed and is referred to Council for determination.

### THE SITE

The site is known as No 2 (Lot 1468 DP 1153635) Duffy Avenue, Gregory Hills, and is on the corner of Donovan Boulevard. The site area is 632.8m<sup>2</sup> and is part of the newly released Gregory Hills residential area. **A location plan is provided at the end of this report.**

### THE PROPOSAL

Development consent is sought to construct a four bedroom two storey principal dwelling and detached two storey two bedroom (60m<sup>2</sup>) secondary dwelling and associated strata subdivision. The secondary dwelling configuration is also known as a

Studio/Fonzie Flat development, and is termed as such in the Turner Road Precinct Development Control Plan.

Both the principal and secondary dwelling will be constructed as composite brick veneer/lightweight clad dwellings with a tiled roof on a concrete ground floor slab. The principal dwelling is a two storey dwelling and faces Duffy Avenue. The secondary dwelling is also two storey, located above a three car garage that fronts Donovan Boulevard.

The principal dwelling is setback 3.5m (from verandah) to Duffy Avenue, with the front façade being at a 4.5m setback. The corner setback to Donovan Boulevard is 3.0m.

The secondary dwelling is setback a distance of 4m to Donovan Boulevard (from verandah) while the front façade/garages are setback 5.5m.

The principal dwelling proposes a minimum northern side setback of 2.7m, while the secondary dwelling is setback 8.5m. The setback of the secondary dwelling to the eastern property boundary (which is also the rear boundary of the site) is 4m. A separation distance of 2m applies between both the principal and secondary dwelling.

**A copy of the site plan and elevations is provided at the end of this report. A copy of the floor plans is provided in Business Paper supporting documents.**

#### **NOTIFICATION**

Surrounding neighbours were notified of the DA between 29 June 2012 and 13 July 2012. One submission was received objecting to the proposal.

The submission is assessed in the “Any submissions” part of the “Assessment” section of this report.

**A copy of the submission is provided with the Business Paper supporting documents.**

#### **PLANNING CONTROLS**

The following plans and policies have been considered in the assessment of this application:

- State Environmental Planning Policy (Sydney Region Growth Centres) 2006.
- Turner Road Precinct DCP 2007.

#### **ASSESSMENT**

The DA has been assessed in accordance with Section 79C of the *Environmental Planning and Assessment Act, 1979*.

The following comments are made with respect to the critical aspects of the application.

#### **(1)(a) (i) the provisions of any environmental planning instrument**

State Environmental Planning Policy (Sydney Region Growth Centres) 2006

The environmental planning instrument applying to the allotment is the *State Environmental Planning Policy (Sydney Region Growth Centres) 2006* (the SEPP). The land under this SEPP is zoned R1 General Residential.

Secondary dwellings are permitted under the R1 General Residential zoning.

Appendix 1 of the SEPP applies to the South West Growth Centres precincts of Oran Park and Turner Road. The following relevant development standards or clauses in Appendix 1 of the SEPP apply to the development.

*Clause 2.6 – Subdivision – consent requirements*

The proposed development seeks the strata subdivision of the principal and secondary dwelling development.

Clause 2.6 advises that consent is generally not required for the strata subdivision of this type of development. This however does not preclude the seeking of consent for strata subdivision concurrently with the DA.

*Clause 4.3 – Height of buildings*

The proposed development complies with the maximum height of buildings provision, which is 9.5m for this area (maximum building height is less than 8m).

There are no other relevant development standards or clauses applying to the site.

**(1)(a) (ii) the provisions of any draft environmental planning instrument**

There is no relevant draft environmental planning instrument applying to the land.

**(1)(a) (iii) the provisions of any development control plan**

Turner Road Precinct DCP 2007

*7.1 – 7.10 Residential Development*

The proposal has been assessed against Clauses 7.1 – 7.10 which provide for controls related to the principal and secondary dwelling including setbacks and private open space, and the proposal fully complies, as amended.

Part of the assessment of the application required the increase in the rear setback of the secondary dwelling (as measured to the eastern property boundary) from 1m to the minimum 4m as required by the DCP. Amended plans complying with this control have been provided.

*7.11 Studios/Fonzie Flats*

Table 17 of Section 7.11 provides for specific controls relating to Studio/Fonzie Flat developments in Turner Road.

This section of the DCP identifies two differing types of Fonzie Flats, being Type 1 and Type 2 studios. The development proposes the 'Type 2 Studio' configuration.

A summary of these controls as provided for in Table 17 are as follows:

TYPE 2 STUDIO	COMPLIANCE / COMMENTS
Maximum floor area 60m <sup>2</sup> , excluding balcony, car space and stairs, as measured to internal face of external walls.	✓ Complies – 60m <sup>2</sup> proposed.
One additional dedicated on-site car parking space. Car parking space to be located in behind building façade line of principal dwelling. No stacked configuration.	✓ Complies – One dedicated space for secondary dwelling and two for principal dwelling.
Private open space of 8m <sup>2</sup> balcony accessed directly off living plus a 5m <sup>2</sup> ground level service yard.	✓ Complies – Balcony and service yard complied with.
Studio to be located over garage of the principal dwelling.	✓ Complies – Studio located over garages.
Strata title subdivision only from the principal dwelling or dwellings on the land.	✓ Complies – Strata subdivision proposed.
Access to studio to be separate from principal dwelling and is to front public street, lane or shared private accessway.	✓ Complies – Separate access to studio. Studio faces and is accessed off Donovan Boulevard.
Provision for separate services (mail and garbage). On site garbage storage to not be visible.	✓ Complies – Separate services to be provided. Bin storage available within yard areas of both principal and secondary dwelling.
BASIX for each dwelling.	✓ Complies – BASIX certificate provided for each dwelling.

The proposed secondary dwelling is considered to comply with all the relevant requirements of Section 7.11 of the DCP.

### 8.1 Visual and Acoustic privacy

Section 8.1 provides for specific visual and acoustic controls. A summary of these controls are as follows:

PRIVACY	COMPLIANCE/COMMENTS
Direct overlooking of main habitable areas and private open spaces should be minimised.	✓ Neighbouring main habitable areas and private open spaces are located at suitable distances.
Habitable room windows with direct sightline to habitable room windows in adjacent dwellings within 9m are to have privacy controls (eg. privacy screens, increased sill heights).	<p>✓ Upper floor windows of secondary dwelling facing northern neighbour are at a distance of 8.5m to property boundary and more than 9m from neighbouring dwelling windows. Meals window is also a highlight window.</p> <p>✓ Upper floor of secondary dwelling has no windows facing the eastern property boundary.</p>

	✓ Upper floor of principal dwelling has only bedroom windows (Bedroom 3 window is at a distance of 7.5m to northern property boundary).
Acoustic controls between floors and walls.	✓ Compliance with the Building Code of Australia is required for the proposed development.

**(1)(a) (iia) the provisions of any planning agreements**

There are no planning agreements relating to this proposal.

**(1)(a) (iv) the provisions of the regulations**

The Regulations do not specify any matters that are applicable to this development.

**(1)(b) the likely impacts of the development**

Section 79C requires Council to consider the likely impact of a development, including environmental impacts on both the natural and built environments, and the social and economic impacts in the locality.

These impacts are considered to be satisfactory, as the development is an acceptable land use which is permitted within the Gregory Hills area.

The development will have minimal environmental impacts on both the natural and built environments, and the social impacts of a proposed development are considered to be of an acceptable nature.

**(1)(c) the suitability of the site for the development**

The site is considered to be suitable for the development.

Vehicular access for the development is proposed from Donovan Boulevard. A restriction as to the user on the land title was originally imposed by Dart West Developments Pty Ltd that restricted vehicular access to Donovan Boulevard. This restriction was not a Council imposed restriction required as part of the original subdivision of the land.

Written confirmation was requested and received from Dart West Developments Pty Ltd confirming they had no objection to allowing vehicular access off Donovan Boulevard. Council is the authority empowered to release, vary or modify this restriction under the 88b instrument applying to the land.

The site is burdened by acoustic restrictions relating to future traffic and road noise. Compliance with acoustic controls are required as part of the Construction Certificate assessment for the proposal.

There are no factors associated with the site that preclude the intended development.

**(1)(d) any submissions received**

This DA was publicly notified between 29 June and 13 July 2012. One submission letter was received from an adjoining owner. The issues raised in the submission are as follows:

1. Objection to Type 2 studios over Type 1 studios and strata subdivision.

*Officer comment:*

The Turner Road Precinct DCP 2007 defines two types of studios (or secondary dwellings) being Type 1 and Type 2 studios. Both studios are structures located above garages (and hence the term 'Fonzie Flat') with the main differences being that Type 2 studios are larger structures (60m<sup>2</sup> instead of 40m<sup>2</sup>), requiring one parking space, and being constructed generally as separate dwellings (separate access, mail, garbage collection, and yard areas). Type 2 studios are also allowed to be strata subdivided, while Type 1 studios are not.

In providing comments in relation to the objection that the development is a Type 2 studio instead of a Type 1 studio, Council is bound to assess the application based on the applicable planning controls that restrict such development.

An assessment of the development against these development controls has revealed that the proposed Type 2 studio complies with all of the controls that are applicable.

2. The lot size being created with the subdivision is not in keeping with surrounding lot sizes.

*Officer comment:*

The Turner Road Precinct DCP 2007 allows Type 2 Studios to be strata subdivided with each building being capable of being sold separately from the other.

The Turner Road Precinct DCP 2007 allows the strata subdivision of Type 2 Studio development. In addition, under Clause 2.6 of *State Environmental Planning Policy (Sydney Region Growth Centres) 2006*, strata subdivision is permitted without consent where the building has been designed or approved for occupation as a single unit.

The strata subdivision size of the secondary dwelling will be smaller than the surrounding Torrens Title land sizes. As strata subdivision of this type of development is permissible (and permissible without consent), this is not a matter that would be out of character with the area or the future character of the area and surrounding allotments.

#### **(1)(e) the public interest**

Overall, this development is considered to be within the public interest. The proposed development represents the planned and orderly development of the site and will not result in any unacceptable impacts.

#### **CONCLUSION**

Council has received a DA for the construction of a two storey principal dwelling and detached two storey secondary dwelling and associated strata subdivision at No 2 (Lot 1468) Duffy Avenue, Gregory Hills. The application has been publicly notified and the neighbouring owner's submission has been considered in this report.

The DA has been assessed in accordance with the provisions of Section 79C of the *Environmental Planning and Assessment Act, 1979*. The proposed development is permissible and complies with the relevant planning controls.

This DA is therefore recommended to Council for approval, subject to the draft development consent conditions shown below.

**DRAFT CONDITIONS OF CONSENT**

**1.0 - General Requirements**

The following conditions of consent are general conditions applying to the development.

- (1) **Development in Accordance with Plans** – The development is to be in accordance with plans and documents listed below, except as otherwise provided by the conditions of this consent:

Plan / Development No.	Description	Prepared by	Dated
Sheets 1-9, (Un-numbered)	Architectural Plan	Sydney Design & Developments Pty Ltd	Issue C dated 9/08/12
Sheets 1 of 1, (Un-numbered)	Site analysis	Sydney Design & Developments Pty Ltd	Issue C dated 9/08/12
Sheets 1/3 to 3/3, (Un-numbered)	Shadow diagrams	Sydney Design & Developments Pty Ltd	Issue C dated 9/08/12
Sheets 1/1, (Un-numbered)	Strata plan	Sydney Design & Developments Pty Ltd	Issue C dated 9/08/12

Where there is an inconsistency between the approved plans/documentation and the conditions of this consent, the conditions of this consent override the approved plans/documentation to the extent of the inconsistency.

- (2) **Building Code Of Australia** - All works must be carried out in accordance with the requirements of the *Building Code of Australia*.
- (3) **Strata Plan of Subdivision** – Section 37 and 37A of the *Strata Schemes (Freehold Development) Act, 1973* require an application to be submitted to Camden Council or an accredited certifier for approval prior to the issue of the certified Strata Plan of Subdivision.

The applicant will be required to submit documentary evidence that the property has been developed in accordance with the plans approved by Development Consent 603/2012 and of compliance with the relevant conditions of consent, prior to the issuing of a Strata Plan of Subdivision.

**Note:** A final Strata Plan of Subdivision shall be prepared to a quality suitable for lodgement with the NSW Land & Property Information.

- (4) **Geotechnical Classification** - The piers/slab/footings shall be designed and certified by a practising structural engineer and shall take into consideration the geotechnical classification applicable to the site.
- (5) **Fencing** – All fencing for acoustic purposes, as nominated in the 88b instrument applying to the land, shall be of a solid material without holes (lapped and capped timber or Colorbond) and are to be at least 1.8 metres high.

## 2.0 - Construction Certificate Requirements

The following conditions of consent shall be complied with prior to the issue of a Construction Certificate.

- (1) **Electrical Services** - Prior to the issue of a Construction Certificate, a written clearance is to be obtained from Endeavour Energy stating that electrical services have been made available to the development, or that arrangements have been entered into for the provision of services to the development. In the event that a padmounted substation is necessary to service the development, Camden Council shall be consulted over the proposed location of the substation before the Construction Certificate for the development is issued, as the location of the substation may impact on other services and building, driveway or landscape design already approved by Council.
- (2) **Acoustic Construction Measures** – Amended plans or other supporting details shall be prepared for assessment and approval by the certifying authority for the Construction Certificate showing compliance with the acoustic requirements for the site.

In this regard an addendum to the report prepared by “Acoustic Logic Consultancy” Report Reference 2007588.5/0108A/R3/TA dated 1 August 2011 shall be provided that references the use of light-weight external walls in addition to the use of masonry walls.

All dwelling construction requirements and attenuation treatments (including window/door glazing, acoustic seals, external doors, ceiling insulation, wall and ceiling construction) for the dwelling shall comply with the acoustic report.

Note – Where the 88b instrument applying to the land is modified or varied to require compliance with another acoustic report at time of Construction Certificate application, or if an amended report is provided, compliance with this amended report shall occur.

- (3) **Salinity** – The proposed dwellings, landscaping and associated works for the dwellings are to be constructed in accordance with the requirements of the Salinity Management Plan prepared by “Douglas Partners” Project 40741.02-1 dated December 2007. Details shall accompany the Construction Certificate application.
- (4) **Section 94 Contributions** – Pursuant to Oran Park and Turner Road Precincts Section 94 Contributions Plan adopted in February 2008, contributions shown in the following table (showing the infrastructure type and respective amount) must be paid to Council.

Infrastructure Type	Monetary Amount (a)
Open space and recreation - land	\$4,445.00
Open space and recreation – works	\$5,024.00
Open space and recreation – project management	\$111.00
<b>Open Space and recreation – sub total</b>	<b>\$9,580.00</b>
Community facilities – land	\$57.00
Community facilities – works	\$858.00
Community facilities – project management	\$19.00
<b>Community facilities – sub total</b>	<b>\$934.00</b>
<b>Total</b>	<b>\$10,514.00</b>

**Monetary Amount.** The monetary contribution specified in the Monetary Amount column of the above table must be paid to Council prior to the issue of a Construction Certificate. The monetary contributions must be indexed by the methods set out in clause 2.14 of the Contributions Plan at the date of payment.

At the sole discretion of Council the monetary contributions may be offset by works in kind. Such works cannot commence until an agreement is made with Council pursuant to the Contributions Plan. If such agreement is to be undertaken, it must be signed prior to the release of a Construction Certificate.

### 3.0 - Prior To Works Commencing

The following conditions of consent shall be complied with prior to any works commencing on the development site.

- (1) **Sydney Water Approval** – Prior to works commencing, the approved development plans must also be approved by Sydney Water.
- (2) **Erection of Signs** – Shall be undertaken in accordance with Clause 98A of the *Environmental Planning and Assessment Regulation 2000*.
- (3) **Toilet Facilities** - Toilet facilities must be available or provided at the work site before works begin and must be maintained until the works are completed at a ratio of one toilet plus one toilet for every 20 persons employed at the site.

Each toilet must:

- (a) be a standard flushing toilet connected to a public sewer, or
  - (b) have an on-site effluent disposal system approved under the *Local Government Act 1993*, or
  - (c) be a temporary chemical closet approved under the *Local Government Act 1993*.
- (4) **Notice of Commencement of Work and Appointment of Principal Certifying Authority** – Notice in the manner required by Section 81A of the *Environmental Planning and Assessment Act 1979* and clauses 103 and 104 of the *Environmental Planning and Assessment Regulation 2000* shall be lodged with Camden Council at least two (2) days prior to commencing works. The notice shall include details relating to any Construction Certificate issued by a certifying authority, the appointed Principal Certifying Authority (PCA), and the nominated 'principal contractor' for the building or subdivision works.

- (5) **Construction Certificate Before Work Commences** - This development consent does not allow site works, building or demolition works to commence, nor does it imply that the plans approved as part of the development consent comply with the specific requirements of *Building Code of Australia*. Works must only take place after a Construction Certificate has been issued, and a Principal Certifying Authority (PCA) has been appointed.
- (6) **Soil Erosion And Sediment Control** - Soil erosion and sediment controls must be implemented prior to works commencing on the site.

Soil erosion and sediment control measures must be maintained during construction works and must only be removed upon completion of the project when all landscaping and disturbed surfaces have been stabilised (for example, with site turfing, paving or re-vegetation).

Where a soil erosion and sediment control plan (or details on a specific plan) has been approved with the development consent, these measures must be implemented in accordance with the approved plans. In situations where no plans or details have been approved with the development consent, site soil erosion and sediment controls must still be implemented where there is a risk of pollution occurring.

Provide a stabilised entry/exit point. The access should be a minimum of 2.5m wide and extend from the kerb to the building line. The access should consist of aggregate at 30-40mm in size.

Vehicle access is to be controlled so as to prevent tracking of sediment onto adjoining roadways, particularly during wet weather or when the site has been affected by wet weather.

#### 4.0 - During Construction

The following conditions of consent shall be complied with during the construction phase of the development.

- (1) **Fill Quality** – Any fill material brought in for the construction of the development must only contain uncontaminated soil, clay, shale or rock. No effluent, garbage or trade waste, including building or demolition waste, must be included in the fill. The extent and depth of filling must only occur in accordance with the approved plans and any other conditions of the Development Consent. Evidence of the certification of the fill as uncontaminated shall be provided to the Principal Certifying Authority.
- (2) **Works By Owner** - Where a portion of the building works do not form part of a building contract with the principal contractor (builder) and are required to be completed by the owner, such works must be scheduled by the owner so that all works coincide with the completion of the main building being erected by the principal contractor.
- (3) **Survey Report (Peg Out)** - The building must be set out by a registered Land Surveyor. A Survey Report detailing the siting of the building in relation to the allotment boundaries shall be submitted to the Principal Certifying Authority (PCA) prior to the placement of any concrete.

- (4) **Building Platform** - This approval restricts excavation or fill for the purposes of creating a building platform. The building platform shall not exceed 2m from the external walls of the building. Where the external walls are within 2m of any property boundary, no parallel fill is permitted and a deepened edge beam to natural ground level must be used.
- (5) **Retaining Walls** - If the soil conditions require it:
- (a) retaining walls associated with the erection or demolition of a building or other approved methods of preventing movement of the soil must be provided, and
  - (b) retaining walls must be constructed a minimum of 300mm from any property boundary to ensure all associated drainage and backfill remain wholly within the subject property.

The following restrictions apply to any retaining wall erected within the allotment boundaries:

- (a) where the height of an approved retaining wall exceeds 600mm above or below natural ground level, structural engineering details must be provided to the Principal Certifying Authority, prior to any works commencing on the site. Manufacturers' installation details may satisfy this requirement for treated timber products and some dry stacked masonry products;  
**Note:** Where Councils is nominated as the Principal Certifying Authority, construction of the retaining wall must be inspected at critical stages as nominated in the Mandatory Inspection Notice. Prior to issue of an Occupation Certificate, certification will also be required attesting that the wall has been built in accordance with the relevant standard.
  - (b) adequate provisions must be made for surface and subsurface drainage of retaining walls and all water collected must be diverted to, and connected to, a stormwater disposal system within the property boundaries;
  - (c) retaining walls shall not be erected within drainage easements;
  - (d) retaining walls shall not be erected in any other easement present on the land without the approval of the relevant authority benefited by the easement or entitled to release or vary the restrictions applying to the easement (electrical easement and the like), or if the erection of the retaining wall makes the purpose of the easement inconvenient or redundant (such as easements for support and maintenance).
- (6) **Hours of Work** – The hours for all construction and demolition work are restricted to between:
- (a) 7.00am and 6.00pm, Monday to Friday (inclusive);
  - (b) 7.00am to 4.00pm on Saturday (if construction noise is inaudible to adjoining residential properties), otherwise 8.00am to 4.00pm;
  - (c) work on Sunday and Public Holidays is prohibited.
- (7) **Site Management** – To safeguard the local amenity, reduce noise nuisance and to prevent environmental pollution during the construction period, the following practices are to be implemented:

ORD06

- (a) the delivery of material shall only be carried out between the hours of 7.00am and 6.00pm, Monday to Friday, and between 8.00am and 4.00pm on Saturdays;
  - (b) stockpiles of topsoil, sand, aggregate, spoil or other material shall be kept clear of any drainage path, easement, natural watercourse, kerb or road surface and shall have measures in place to prevent the movement of such material off the site;
  - (c) builder's operations such as brick cutting, washing tools, concreting and bricklaying shall be confined to the building allotment. All pollutants from these activities shall be contained on site and disposed of in an appropriate manner;
  - (d) waste must not be burnt or buried on site, nor should wind-blown rubbish be allowed to leave the site. All waste must be disposed of at an approved Waste Disposal Depot;
  - (e) a waste control container shall be located on the development site.
- (8) **Footpath Levels** - The ground levels of the footpath area within the road reserve (between the boundary of the subject site to the kerb and gutter) must not be altered (by cut or fill) as a consequence of building design and/or construction.
- (9) **Surface Drainage** – To prevent surface water from entering the building:
- (a) the floor level for slab on ground construction shall be a minimum of 150mm above finished ground level for habitable rooms;
  - (b) seepage and surface water shall be collected and diverted clear of the building by a sub-surface/surface drainage system;
  - (c) the control of surface water drainage shall in all respects comply with the *Building Code of Australia (Class 1 and Class 10 Buildings)*;
  - (d) where a rainwater tank is required on the site, all surface water drainage lines shall be connected to the outlet overflow drainage line from the rainwater tank.
- (10) **Shoring and Adequacy of Adjoining Property** - Shall be in accordance with Clause 98E of the *Environmental Planning and Assessment Regulation 2000*.
- (11) **Protection of Public Places** – If the work involved in the erection or demolition of a building:
- (a) is likely to cause pedestrian or vehicular traffic in a public place to be obstructed or rendered inconvenient, or
  - (b) building involves the enclosure of a public place,

a hoarding or fence must be erected between the work site and the public place.

If necessary, an awning is to be erected, sufficient to prevent any substance from or in connection with the work falling into the public place. The work site

must be kept lit between sunset and sunrise if it is likely to be hazardous to persons in the public place. Any such hoarding, fence or awning is to be removed when the work has been completed.

- (12) **Roofwater to Street** - The roof of the subject building(s) shall be provided with guttering and down pipes and all drainage lines, including stormwater drainage lines from other areas and overflows from rainwater tanks, conveyed to the street gutter.

Connection to the street gutter shall only occur at the existing drainage outlet point in the street gutter. New connections (or a new connection for the secondary dwelling) that require the rectification of the street gutter shall only occur with the prior approval of Camden Council.

All roofwater must be connected to the approved roofwater disposal system immediately after the roofing material has been fixed to the framing members. The Principal Certifying Authority (PCA) must not permit construction works beyond the frame inspection stage until this work has been carried out.

- (13) **BASIX Certificate** – Under clause 97A of the *Environmental Planning & Assessment Regulation 2000*, it is a condition of this development consent that all the commitments listed in each relevant BASIX Certificate for the development are fulfilled.

In this condition:

- (a) relevant BASIX Certificate means:
- (i) a BASIX Certificate that was applicable to the development when this development consent was granted (or, if the development consent is modified under Section 96 of the Act, a BASIX Certificate that is applicable to the development when this development consent is modified); or
  - (ii) if a replacement BASIX Certificate accompanies any subsequent application for a Construction Certificate, the replacement BASIX Certificate; and
- (b) BASIX Certificate has the meaning given to that term in the *Environmental Planning & Assessment Regulation 2000*.
- (14) **Survey Report (Completion)** - A survey report prepared by a registered Land Surveyor shall be provided upon completion of the building. The survey report shall be submitted to the Principal Certifying Authority (PCA) upon completion of the building and prior to the issue of an Occupation Certificate.

### 5.0 - Prior To Issue Of Occupation Certificate

The following conditions of consent shall be complied with prior to the issue of an Occupation Certificate.

- (1) **Occupation Certificate** – An Occupation Certificate must be issued by the Principal Certifying Authority (PCA) prior to occupation or use of the development. In issuing an Occupation Certificate, the PCA must be satisfied that the requirements of Section 109H of the *Environmental Planning and Assessment Act 1979* have been satisfied.

The PCA must submit a copy of the Occupation Certificate to Camden Council (along with the prescribed lodgement fee) within two (2) days from the date of

determination and include all relevant documents and certificates that are relied upon in issuing the certificate.

The use or occupation of the approved development must not commence until such time as all conditions of this development consent have been complied with.

- (2) **Component Certificates** - Where Camden Council is appointed as the Principal Certifying Authority (PCA) for the development, the following component certificates, as relevant to the development, shall be provided prior to the issued of a Final Occupation Certificate:
- (a) Insulation installation certificates.
  - (b) Termite management system installation certificates.
  - (c) Smoke alarm installation certificate from installing licensed electrician.
  - (d) Survey certificate(s), prepared by a registered land surveyor, certifying that the building has been correctly and wholly located upon the subject allotment.
  - (e) Certification attesting that retaining walls have been constructed in accordance with Engineer's details or manufacturer's specifications as applicable.
  - (f) All certificates or information relating to BASIX compliance for the development.
  - (g) An 'Approval to Operate a Sewage Management System' issued by Camden Council (for areas that are not serviced by a Sydney Water sewer).
  - (h) A certificate certifying that the wet areas have been waterproofed in accordance with the requirements of the *Building Code of Australia*.
  - (i) All certificates relating to salinity, as required by conditions of the development consent.
  - (j) Any other certificates relating to the development (for example, engineering certification for foundations, piers, reinforcing steel or hydraulic certification for all stormwater drainage works).

Where the appointed PCA is not Camden Council, the matters listed in this condition should be regarded as advisory only.

**Note:** The above certification does not override any requirements of the *Environmental Planning and Assessment Act, 1979* with respect to any required critical stage inspections.

- (3) **Footpath Crossing Construction** – Prior to use or occupation of the development, a footpath crossing and new kerb layback must be constructed in accordance with the Development Consent, approved plans and Camden Council's issued footpath crossing information.

- (4) **Sydney Water Clearance** – Prior to the issue of an Occupation Certificate a Section 73 Compliance Certificate under the *Sydney Water Act 1994* must be obtained from Sydney Water and submitted to the Principal Certifying Authority.

### 6.0 - Operational Conditions

The following conditions of consent are operational conditions applying to the development.

- (1) **Residential Air Conditioning Units** - The operation of the approved air conditioning units must operate at all times so:
- (a) as to be inaudible in a habitable room during the hours of 10.00pm to 7.00am on weekdays and 10.00pm to 8.00am on weekends and public holidays; and
  - (b) as to emit a sound pressure level when measured at the boundary of any other residential property, at a time other than those specified in (a) above, which exceeds the background (LA90, 15 minutes) by more than 5dB(A). The source noise level must be measured as a LAeq 15 minute.
  - (c) as not to discharge any condensate or moisture onto the ground surface of the premises or into stormwater drainage system in contravention of the requirements of the Protection of the Environment Operations Act, 1997.
- (2) **Driveways and Street Trees** – Approval is granted for the removal of the street tree at the front of the site in the area of the driveway. The removal of this street tree shall only occur with the approval and supervision of Dart West Developments Pty Ltd. The street tree shall be relocated on the site to an area suitable to Dart West Developments Pty Ltd prior to the issue of a Final Occupation Certificate.

### END OF CONDITIONS

### RECOMMENDED

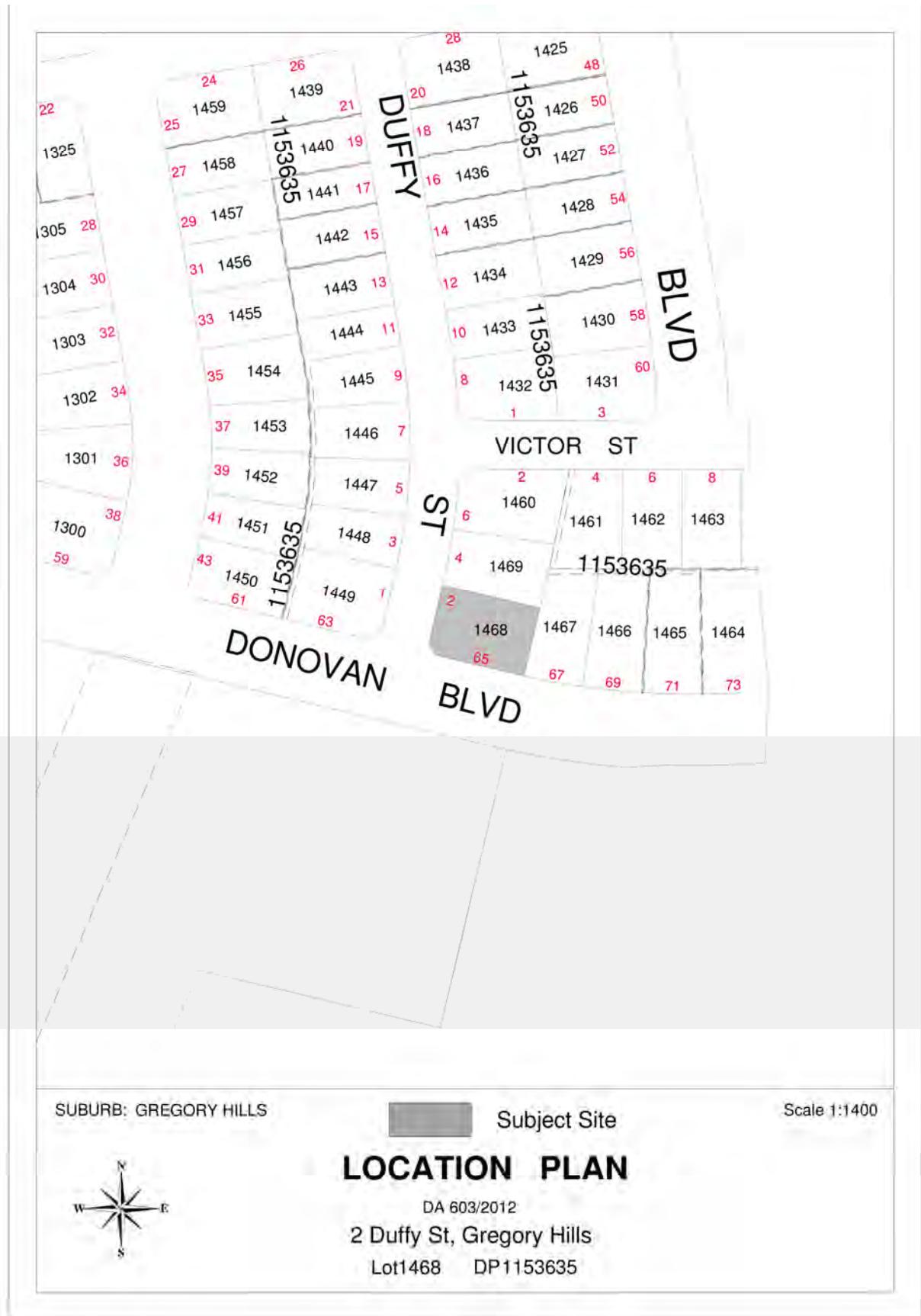
**That Council approve Development Application 603/2012 for the construction of a detached principal and secondary dwelling development and strata subdivision at No 2 (Lot 1468 DP 1153635) Duffy Avenue, Gregory Hills, subject to the draft Development Consent conditions shown above.**

### ATTACHMENTS

1. Location Plan
2. Proposed Plans
3. Floor Plans - *Supporting Document*
4. Submission - *Supporting Document*

ORD06

Attachment 1

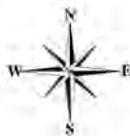


SUBURB: GREGORY HILLS



Subject Site

Scale 1:1400



# LOCATION PLAN

DA 603/2012  
 2 Duffy St, Gregory Hills  
 Lot1468 DP1153635





RESIDENTIAL DUAL OCCUPANCY & MEDIUM DENSITY SPECIALIST - QUALITY & SERVICE - WHAT ELSE IS THERE? ▲

1468-A  
1468-B

REAR ELEVATION - north (house & garage)

1468-B

SIDE ELEVATION - east (garage)

1468-B

SIDE ELEVATION - west (garage)

REAR ELEVATION - north (house & garage)

SIDE ELEVATION - east (garage)

SIDE ELEVATION - west (garage)

SEE ACOUSTIC INFORMATION ON SHEET 3

DESIGN & DRAFTING SERVICES ▲ PHONE 0407224593 ▲

<p><b>General Notes</b></p> <p>All dimensions to be provided unless otherwise indicated. All work to be carried out in accordance with applicable requirements. Copyright to these drawings is the property of Sydney Design &amp; Development Pty Ltd. These plans shall not be used in any other form without the written permission of Sydney Design &amp; Development Pty Ltd.</p>	<p><b>Project Details</b></p> <p>Design : Custom</p> <p>Style : ELEVATIONS</p>	<p><b>BUILDER:</b></p> <p><b>Fairmont Homes</b> Id (02)46281777 Fax (02)46281377 NSW PTY LTD 6/4-15-2716 E-Mail: tom@fairmontnsw.com.au</p>	<p><b>PROPOSED RESIDENCE AT</b> LOT 1468 CNR DUFFY ST &amp; DONOVAN BOULEVARD GREGORY HILLS FOR FAIRMONT HOMES</p>	<p><b>DESIGN BY:</b></p> <p><b>SYDNEY DESIGN &amp; DEVELOPMENT PTY LTD</b> 15/2716 Donovans Boulevard Phone: 0407 224 593 Email: sydneydesign@bigpond.com</p>	<p><b>FIRST DRAWN:</b> SD DS 12 <b>DATE:</b> 07.08.12 <b>SCALE:</b> 1 : 100 <b>COUNCIL:</b> CAMDEN <b>ISSUE:</b> C <b>SHEET:</b> 7 OF 9</p>
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ORD07

## ORDINARY COUNCIL

ORD07

**SUBJECT:** ELECTRONIC HOUSING PROJECT GRANT FUNDING  
**FROM:** Director, Development and Health  
**BINDER:** Development & Building Controls/E-Housing Project

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### PURPOSE OF REPORT

To seek Council acceptance of Department of Planning and Infrastructure (DPI) funding of \$29,931.82 for costs associated with implementing the NSW Electronic Housing Code (EHC) project.

### BACKGROUND

The EHC project is an online system developed by the DPI for the electronic lodgement of Complying Development Certificate applications. The system has been developed to assist local industry professionals and the community understand the parameters surrounding complying residential development. The system was launched by the Minister for Planning and Infrastructure on 28 October 2011 and is currently operational in 10 Local Government areas.

Since its initial release, Council has expressed continued interest and support for the roll out of the EHC and in June 2012 a funding request to help implement the system was submitted to the EHC Project Management Office.

### MAIN REPORT

In July 2012, the DPI advised that funding to assist with the purchasing of software and computer equipment, staff training and upgrades to Council's existing land and property information had been approved to a total of **\$29,931.82**.

In order for Council to receive the full extent of this funding, all activities associated with the implementation of the EHC must be completed by 28 September 2012.

In accordance with the DP&I's correspondence, Council must endorse and sign off on the agreement before the funding is released.

### CONCLUSION

Council has been advised by the DPI that it is eligible for a grant of \$29,931.82 to be allocated for the implementation of the EHC system. The commencement of the EHC at Camden will allow for online access to fast tracked housing approvals, providing benefits of certainty and clarity to home owners and developers about complying development.

### RECOMMENDED

**That Council:**

- i. accept the DPI funding of \$29,931.82 (excluding GST) for software and hardware, staff training and upgrades to property information required to**



- 
- implement the Electronic Housing Code; and
- ii. authorise the relevant documentation to be completed under Council Seal as necessary.

**ORD07**



ORD08

## ORDINARY COUNCIL

ORD08

**SUBJECT:** STAGED SUBDIVISION (3 STAGES) TO CREATE RESIDENTIAL LOTS, 1 RESIDUE LOT AND 1 RIPARIAN CORRIDOR LOT, AND CONSTRUCTION OF ROADS, DRAINAGE, LANDSCAPING AND ASSOCIATED SITE WORKS AT NO 65 (LOT 1, DP 612821) HILDER STREET, ELDERSLIE

**FROM:** Director, Development and Health

**BINDER:** Development Applications 2011/ DA 1387/2011

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**DA NO:** 1387/2011

**OWNER:** Corfield Developments Pty Ltd

**APPLICANT:** Saxons Property Group C/- Corfield Developments Pty Ltd

**ZONING:** R1 General Residential

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### PURPOSE OF REPORT

The purpose of this report is to seek Council's determination of a Development Application (DA) for a residential subdivision on this site. The DA is referred to Council in accordance with its delegations due to unresolved issues received from the public and variations to Camden Development Control Plan 2011.

### SUMMARY OF RECOMMENDATION

It is recommended that Council approve this DA subject to the draft deferred development consent conditions provided at the end of this report.

### BACKGROUND

This DA was lodged with Council on 24 November 2011. Following a preliminary assessment the applicant was requested to provide additional information including engineering and landscaping plans, salinity/contamination assessments, road cross section plans and a heritage impact statement. Following further discussions with the applicant, this information was submitted in April 2012.

The DA was publicly notified for 30 days between 11 April and 11 May 2012. Sixteen submissions were received as a result of this notification (all objecting to the proposal), with nine of these being in the form of a pro-forma letter. The submissions raised concerns about the proposed lot sizes and lot widths being too small, adverse traffic and safety impacts arising from the overall density of the development and impacts on the surrounding heritage properties.

Following assessment by Council officers, the applicant was requested to modify the development to comply with Council's controls and address the concerns raised in the submissions. The applicant amended the proposal, including reducing the number of residential lots from 84 to 73 lots.

The amended plans were renotified between 9 and 16 August 2012 and five new submissions were received (all objecting to the proposal), with two of these being in the form of the same pro-forma letter. Some of the new submissions were received from residents who had previously objected to the proposal.

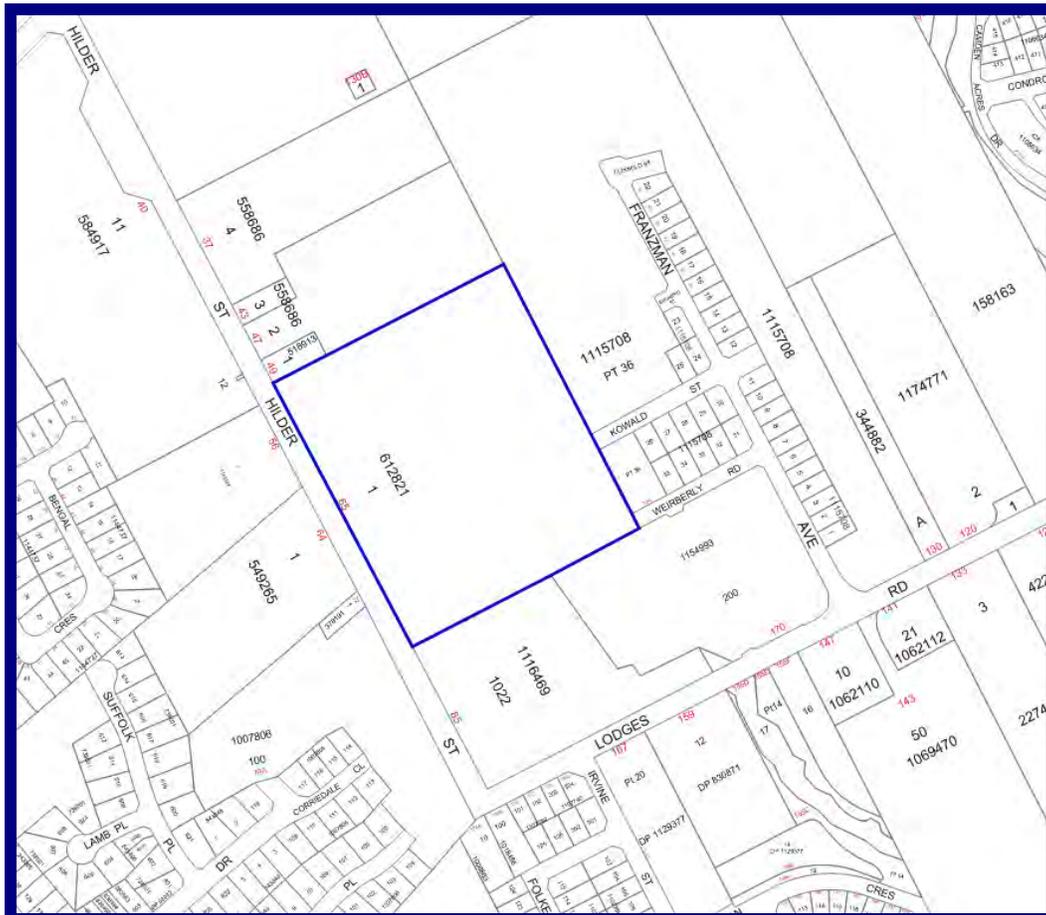
The proposal and all submissions received have been assessed and the DA is referred to Council for determination.

**THE SITE**

This site is located on the eastern side of Hilder Street in Elderslie. The site is rectangular in shape, has an area of approximately 6ha, is currently vacant and slopes from both the western front and eastern rear boundaries towards the riparian corridor running through the middle of the site, known as the “Oxley Rivulet”.

The surrounding area is characterised by a mixture of residential and recreational land uses, with the developing Elderslie Urban Release Area to the east, Elderslie Public School to the south east, the existing portion of Elderslie to the south and west, Elderslie High School to the west and the public recreation areas known as Harrington Green and Kirkham Park to the north west and north.

A site location plan is provided in **Figure 1** below.



**FIGURE 1: SITE LOCATION PLAN**

**THE PROPOSAL**

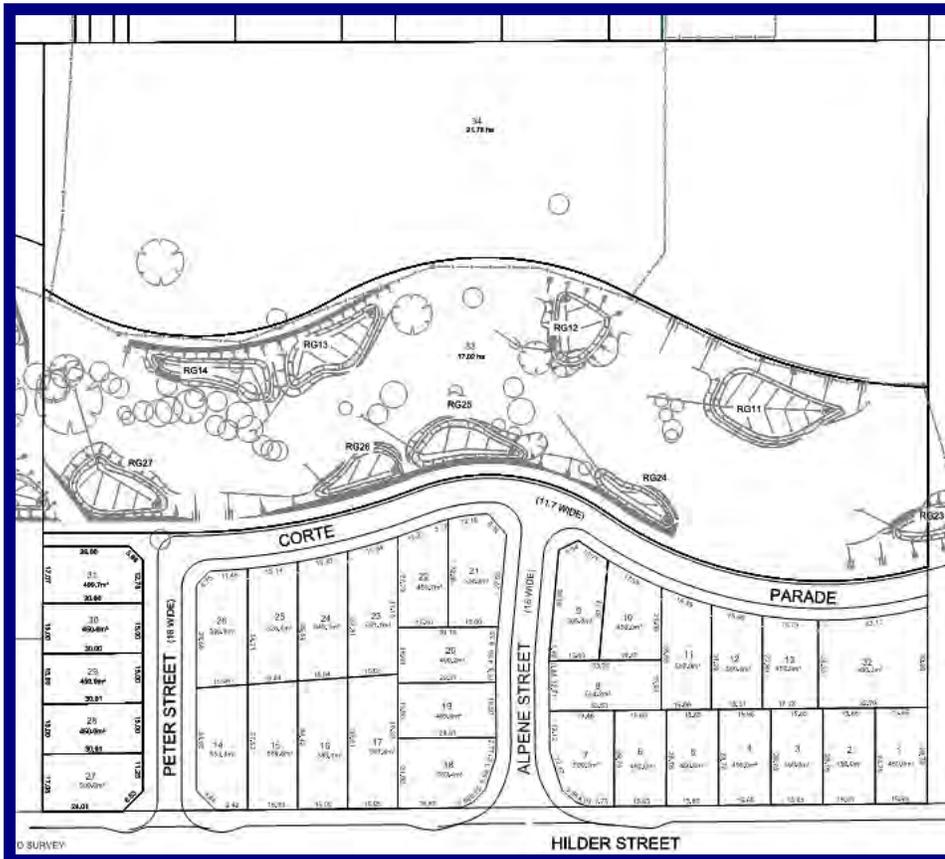
Development consent is sought for the following development:

1. a staged subdivision (3 stages) to create 73 residential lots, with site areas ranging between 303m<sup>2</sup> to 597.8m<sup>2</sup>, 1 residue lot with an area of 494m<sup>2</sup> (lot 241) and one public open space lot (riparian corridor) with an area of 1.702ha;
2. construction of roads, drainage, services and landscaping; and
3. removal of 3 mature trees and various shrubs/vegetation.

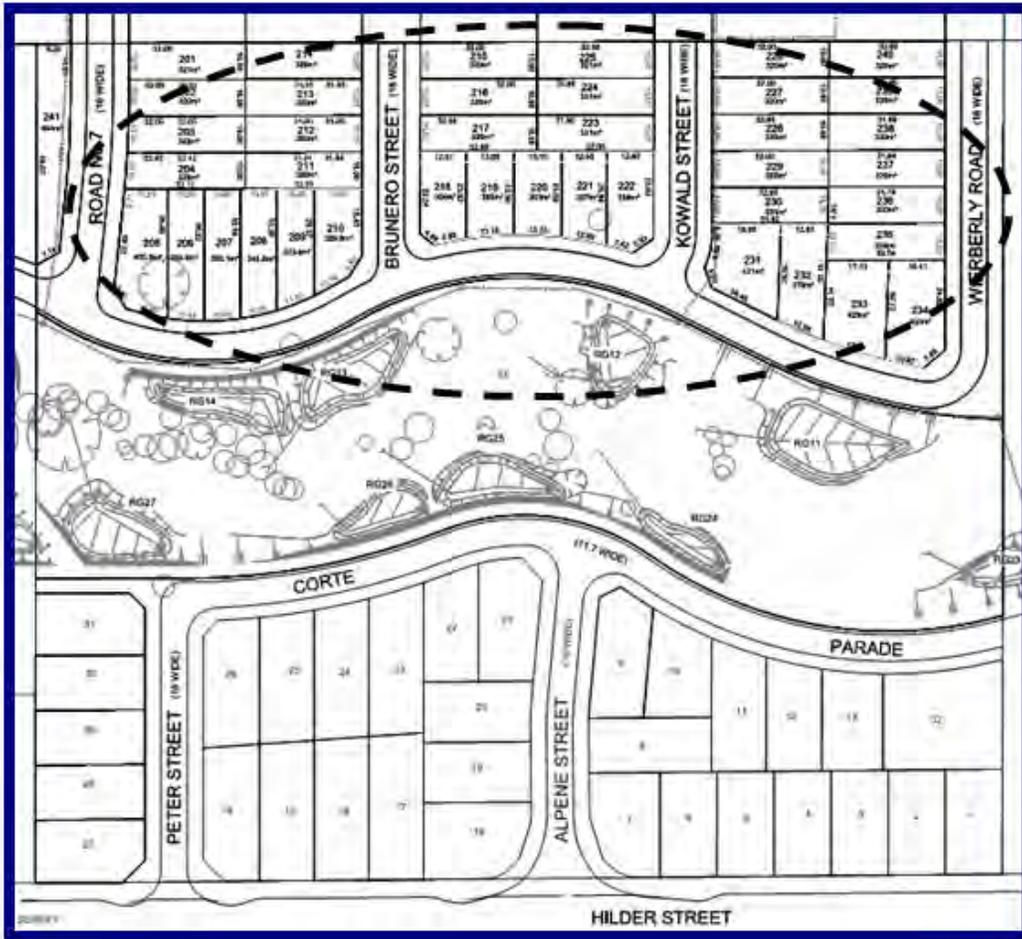
The proposal involves the construction of temporary detention basins within the riparian corridor (proposed lot 33) during the construction of Stages 1 and 2. Following the completion of subdivision works in these stages, the corridor will be embellished with structured rain gardens and vegetation, as approved under Development Consent 1025/2003.

It is a recommended development consent condition that the permanent drainage works approved under DA 1025/2003 be constructed and installed prior to the issue of a Subdivision Certificate for Stage 2 (and the subsequent dedication of proposed lot 33 to Council).

A copy of the proposed plans is provided in **Figures 2, 3** and **4** below.

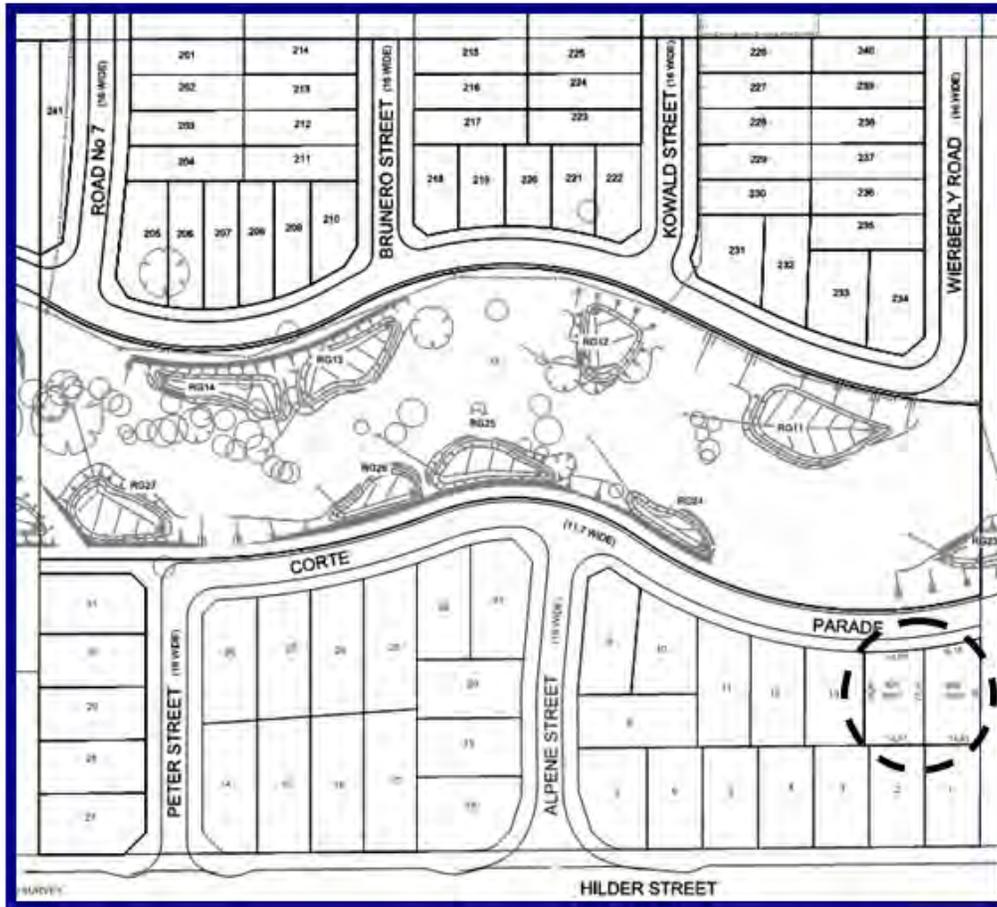


**FIGURE 2: STAGE 1**



**FIGURE 3: STAGE 2**

**ORD08**



**FIGURE 4: STAGE 3**

The proposal includes variations to the Elderslie Master Plan within the Camden DCP. These variations have been assessed in the “Assessment” section of this report. It is recommended that the variations to the Master Plan be supported in part (in relation to the average lot size), and not supported in part (in relation to the portion of Stage 2 located within Area 3 of the Master Plan).

It is recommended that a Deferred Commencement Consent be granted for this development, with an operational consent granted subject to the submission of a modified plan for Stage 2 which demonstrates compliance with the Master Plan in relation to minimum lot sizes and lot widths and provision of a rear lane.

**A copy of the Elderslie Master Plan is provided at the end of this report.**

The proposed residential lots will be the subject of future DAs or complying development certificates. These applications will need to comply with the site specific development controls in the DCP which address design and siting, etc.

**NOTIFICATION**

As this development is classed as Nominated Integrated Development, pursuant to the Environmental Planning and Assessment Regulations 2000, the DA was publicly notified for 30 days between 11 April and 11 May 2012. Notification letters were sent

to surrounding properties and an advertisement was also placed in the local press. Sixteen submissions were received by Council as a result of this notification (all objecting to the proposal), with nine of these being in the form of a pro-forma letter.

Following assessment by Council officers, the applicant was requested to modify the development to comply with Council's controls and address the concerns raised in the submissions. The amended proposal was notified between 9 and 16 August 2012 and five new submissions were received (all objecting to the proposal), with two of these being in the form of the same pro-forma letter previously submitted. Some of the new submissions were received from residents who had previously objected to the proposal.

The issues raised in the submissions are assessed in the "1(d) Any Submissions" section of this report.

**Copies of the submissions are provided with the Business Paper supporting documents.**

### **PLANNING CONTROLS**

The following are relevant planning controls that have been considered in the assessment of this application:

1. State Environmental Planning Policy No. 55 – Remediation of Land
2. Deemed State Environmental Planning Policy No. 20 – Hawkesbury/Nepean River
3. Camden Local Environmental Plan 2010
4. Camden Development Control Plan 2011

### **ASSESSMENT**

The DA has been assessed in accordance with Section 79C of the *Environmental Planning and Assessment Act, 1979*.

The following comments are made with respect to the critical aspects of the application.

#### **(1)(a) (i) the provisions of any environmental planning instrument**

##### **State Environmental Planning Policy No 55 – Remediation of Land (SEPP)**

The SEPP requires Council to be satisfied that the site is suitable for its intended use (in terms of contamination) prior to granting development consent. The applicant submitted a phase 1 contamination assessment prepared in 2007, which identified potential contamination from the removal of two dwellings and some stockpiles on the site. The applicant was requested to confirm that the results found in 2007 were the same as the current conditions in 2012.

An updated contamination report was submitted to Council on 15 August 2012 which confirmed that the site can be made suitable subject to testing of the areas where the previous dwellings were removed and testing of the stockpiles. It is a recommended development consent condition that the development be carried out in accordance with the updated contamination report. Should any contamination be identified, remedial works will be undertaken and a clearance certificate issued by a qualified consultant prior to the issue of a Construction Certificate for this development. Subject to this occurring, the site will be made suitable for its intended residential use.

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## Deemed State Environmental Planning Policy No 20 – Hawkesbury/Nepean River

It is considered that the aims and objectives of this policy will not be prejudiced by this development and that there will be no detrimental impacts upon the Hawkesbury /Nepean River system as a result of it. Water pollution control devices will be provided as part of the development.

The proposal requires works within 40m of a watercourse and is therefore classed as Nominated Integrated Development. The application was referred to the NSW Office of Water (NOW), who provided General Terms of Approval, compliance with which is a recommended development consent condition. In order to obtain a Controlled Activity Approval (CAA), a vegetation management plan, erosion and sediment control plan and soil and water management plan are required to be submitted to NOW. These protection methods will further protect the river system from the proposed subdivision works.

A previous development consent (1025/2003) approved trunk drainage works within the riparian corridor (proposed lot 33), including the construction of nine rain gardens. It is a recommended development consent condition that these works be completed prior to the issue of a Subdivision Certificate for Stage 2 (when the majority of construction works will be complete). These works will also assist in the protection of the Hawkesbury/Nepean River system from any pollution caused by runoff from the completed subdivision.

### Camden Local Environmental Plan 2010 (LEP)

#### *Permissibility*

The proposed development is defined as a “subdivision” of land and is permissible with development consent in the applicable R1 General Residential zone.

#### *Zone Objectives*

In terms of the proposed development’s consistency with the zone objectives, the relevant objectives of this zone include “to provide for the housing needs of the community...”, “to provide for a variety of housing types and densities...”, “to allow for educational, recreational, community and religious activities that support the wellbeing of the community...” and “to minimise conflict between land uses within the zone and land uses within adjoining zones”.

The proposal is generally compliant with these objectives. The development is for a residential subdivision which will provide a range of lot sizes and a variety of possible housing types. The riparian corridor will provide recreational opportunities for local residents in terms of walking or cycling past the area, as well as scenic views for lots adjacent to the corridor. The development has been assessed and it is not considered that it will have any unacceptable environmental impacts upon any land uses in adjoining zones.

#### *Minimum Lot Sizes*

Pursuant to the LEP’s Clause 4.1 – “Minimum subdivision lot size”, the proposed subdivision will comply with the minimum lot size of 300m<sup>2</sup>, as the smallest lot proposed is lot 220, with an area of 303m<sup>2</sup>.

### *Tree Preservation*

Pursuant to the LEP's Clause 5.9 – "Preservation of trees or vegetation", the proposed subdivision will require the removal of approximately three mature trees (greater than 3m high). The DA was amended to seek consent for the removal of these trees and Council staff assessed this request and recommended approval.

### *Heritage*

Pursuant to the LEP's Clause 5.10(5) – "Heritage assessment", the proposed subdivision is located within the vicinity of three local heritage items, being a house at 43 Hilder Street (I106), a house at 49 Hilder Street (I107) and "Hilsyde" homestead at 56 Hilder Street (I108). The applicant was requested to provide a heritage impact assessment which assessed the impact (if any) of the proposed development on the heritage items concerned.

Council staff have reviewed and support the heritage assessment, which deemed that the proposal would have no impact on view lines identified in the DCP, and noted that building controls should be placed on proposed lots 27 to 31 (inclusive) to minimise impacts on 49 Hilder Street (I107).

Appropriate development consent conditions which restrict the materials and design of fencing and dwellings on lots 27 to 31 are recommended.

### *Flood Planning*

Pursuant to the LEP's Clause 7.1 – "Flood planning", a very small section of the riparian corridor is affected by the 1 in 100 year flood level. Council has assessed the development and is satisfied that the proposal is compliant with the requirements in this clause in that the subdivision is compatible with the flood hazard, will not adversely affect flood behaviour, the environment or result in unsustainable social or economic costs in the event of a flood. There are no residential lots proposed below the 1 in 100 year flood level.

### *Earthworks*

Pursuant to the LEP's Clause 7.4 – "Earthworks", the proposed subdivision requires approximately 43,000 cubic metres of fill to be imported to the site. The development has been assessed and it is considered that the subdivision will not have any detrimental impact on environmental functions and processes, neighbouring uses, cultural or heritage items or features of the surrounding land. The proposed earthworks are assessed further in the "provisions of any Development Control Plan – S79C(1)(a)(iii)" section of this report.

### **(1)(a)(ii) The provisions of any proposed instrument that is or has been the subject of public consultation under the Act and that has been notified to the consent authority**

There are no relevant draft environmental planning instruments that are applicable to this site or development.

### **(1)(a)(iii) The provisions of any Development Control Plan**

The following parts of Camden Development Control Plan 2011 (DCP) are relevant and the proposal has been assessed against:

### Part B1.1 – Erosion and Sedimentation

The proposed works will result in the disturbance of soils on the site. The statement of environmental effects submitted with the DA states that detailed soil and water management plans will be prepared at the Construction Certificate stage of the development.

It is a recommended development consent condition that erosion and sediment control plans are submitted to the Principal Certifying Authority prior to the issue of a Construction Certificate. As discussed previously in this report, erosion and sediment control plans will also be required to be submitted to the NSW Office of Water (to obtain a CAA). It is considered that this will ensure that both the riparian corridor and Council's stormwater system are not adversely affected by erosion and sedimentation.

### Part B1.2 – Earthworks

The proposed development requires approximately 13,000m<sup>3</sup> of fill to complete Stage 1 and approximately 30,000m<sup>3</sup> of fill to complete Stage 2 (there is no fill required for Stage 3).

Council staff have assessed the proposed fill volumes and recommend approval subject to a development consent condition which requires a fill management plan to be submitted to Council prior to the issue of a Construction Certificate for Stage 2. A condition relating to the use of "virgin excavated natural material" is also included in the draft development consent conditions.

### Part B1.3 – Salinity Management

A salinity management plan (SMP) prepared in 2007 was submitted for consideration of this application. Council staff have reviewed this report and recommend approval subject to a development consent condition which requires an updated report (revised to reflect the latest revisions to relevant Australian Standards) to be submitted to Council prior to the issue of a Construction Certificate.

Other conditions are recommended which require all subdivision works (including roads, drainage, infrastructure etc.) to be carried out in accordance with the strategies of the amended SMP. The amended SMP shall also be referenced on the 88B Certificate for each stage to ensure all future dwellings are constructed to withstand the saline conditions identified on the site.

### Part B1.4 – Water Management

Council has previously approved various drainage works in the riparian corridor (including the construction of water sensitive urban design measures such as nine rain gardens), under Development Consent 1025/2003. It is a recommended development consent condition that these works be completed under Development Consent 1025/2003 prior to the issue of a Subdivision Certificate for Stage 2 of this development (Development Consent 1387/2011).

The subject DA may require additional use of the riparian corridor for temporary detention basins for the construction of Stages 1 & 2, until detention basins to the north are completed by other developers. It is recommended that conditions be included in any development consent which require detailed drawings for any temporary basins to be submitted to Council prior to the issue of a Construction Certificate for each stage,

and that the temporary detention basins for each stage be removed and the final rain gardens be constructed by the relevant developer prior to the issue of any Subdivision Certificate for each stage.

#### Part B1.5 – Trees and Vegetation

Three large pine trees and various shrubs are required to be removed as part of this development. The landscape plan submitted with the application details the species of proposed street trees along Hilder Street and along the internal roads within the subdivision.

A vegetation management plan (VMP) for the Oxley Rivulet was prepared for and approved under Development Consent 1025/2003.

Council staff have assessed the proposed tree removal and VMP and recommend approval subject to appropriate development consent conditions.

#### Part B1.6 – Environmentally Sensitive Land

A small part of the riparian corridor is identified as being environmentally sensitive land. Council staff have reviewed the proposal and confirm that additional information may be required to be submitted to Council as part of the Construction Certificate application for the trunk drainage Development Consent 1025/2003, which is separate to this application.

Therefore, upon provision of this information to Council as per the above, it is considered that any impacts from works on environmentally sensitive land will be fully addressed.

#### Part B1.7 – Riparian Corridors

The proposed subdivision works and temporary drainage basins will cause temporary disturbance to the riparian corridor, however the final works (rain gardens) within the drainage corridor have already been considered and approved under Development Consent 1025/2003. CAAs are required from the NSW Office of Water for both the subdivision works required as part of this development, as well as the trunk drainage works approved under Development Consent 1025/2003.

It is considered that these approvals will ensure that there are no adverse impacts from this development on the riparian corridor.

#### Part B1.8 – Environmental and Declared Noxious Weeds

Council staff has reviewed the VMP and submitted with this application and has recommended approval subject to compliance with the recommendations of the VMP.

It is recommended that conditions be imposed which require the developer to ensure machinery does not spread noxious weeds, that regular surveying of the site occurs and new infestations of noxious weeds are reported to Council. No noxious weed waste will be permitted to be mulched and spread across the site for landscaping or stabilisation of disturbed areas.

#### Part B1.9 – Waste Management Plan for Subdivision

A waste management plan (WMP) has been submitted with this DA. The WMP details the types of material wastes and volumes which will be generated as a result of the development and identifies the methods of disposal.

It is a recommended development consent condition that waste materials generated by the development are disposed of in accordance with the submitted WMP. It is also a recommended development consent condition that appropriate waste bin collection points are provided for each residential lot.

#### Part B1.10 – Bushfire Risk Management

The site is not identified as being bush fire prone, however to ensure the revegetation works approved under Development Consent 1025/2003 for the riparian corridor did not increase the bush fire risk to the proposed lots, the DA was referred to the NSW Rural Fire Service (RFS) for comment.

The RFS reviewed the DA and raised no objections with respect to bush fire matters.

#### Part B1.11 – Flood Hazard Management

As discussed previously in the “LEP’s Clause 7.1 – Flood planning” section of this report, a very small section of the riparian corridor is affected by the 1 in 100 year flood level. As there are no residential lots proposed below the 1 in 100 year flood level, it is considered that the development will not adversely affect flood behaviour, the environment or result in unsustainable social or economic costs in the event of a flood.

#### Part B1.12 – Contaminated and Potentially Contaminated Land Management

As noted previously in the “State Environmental Planning Policy No 55 – Remediation of Land” section of this report, the subject site will be made suitable for its intended use in terms of contamination.

#### Part B1.13 – Mine Subsidence

The site is located within the South Campbelltown Mine Subsidence District and requires approval from the NSW Mine Subsidence Board. An approval from the NSW Mine Subsidence Board was lodged with Council in conjunction with this application.

#### Part B2 – Landscape Design

The natural riparian corridor feature of the site will be maintained and constructed /revegetated as per the previous Development Consent 1025/2003.

Council staff have assessed the application and recommend approval subject to the draft development consent conditions provided at the end of this report.

#### Part B3 – Environmental Heritage

The proposed subdivision is located within the vicinity of three local heritage items, being I106 (house at 43 Hilder Street), I107 (House at 49 Hilder Street) and I108 (“Hilsyde” homestead at 56 Hilder Street). A heritage impact statement (HIS) was submitted with the DA which deemed that the proposal would have no impact on view

lines identified in the DCP, and noted that building controls should be placed on proposed lots 27 to 31 (inclusive) to minimise impacts on 49 Hilder Street (I107).

Council staff have reviewed the proposal and the HIS and have recommended approval subject to appropriate development consent conditions which restrict the materials and design of fencing and dwellings on lots 27 to 31.

#### Part C5 – Subdivision in Urban Release Areas

The proposal is generally compliant with the objectives and controls of Part C5 in that it is generally consistent with the specific Master Plan for Elderslie (discussed ahead in Part C6). The proposed block widths and lengths are compliant with the DCP controls, all being less than 250m long and 70m wide.

#### Part C6.1 – Introduction to the Elderslie Release Area

The proposed subdivision will result in a variety of lot sizes to accommodate single dwelling housing types consistent with the types for “Areas” identified in the Elderslie Master Plan.

#### Part C6.2 – Neighbourhood and Subdivision Design

The proposal is consistent with Part C6.2 in that the smaller lots are designed to be close to the higher amenity area of the riparian corridor. The view corridors listed in chapter B3 of the Master Plan have been assessed and Council staff are satisfied that the proposed development will have no impact upon them.

#### Part C6.3 – Street Network and Design

The proposed location of streets is generally consistent with the Elderslie Master Plan and the widths of the proposed local access roads and riparian edge roads meet the DCP’s width controls for lanes, verges and footpaths.

#### Part C6.4 – Pedestrian and Cycle Network

The proposed subdivision is compliant with Figure C15 – Elderslie Pedestrian/Cycle Network, with 1.4m wide pedestrian paths proposed along internal roads and 2.5m wide cycle paths proposed along both Hilder Street and the riparian corridor edge.

#### Part C6.5 – Public Transport Network

The proposal is compliant with Part C6.5 of the DCP as public transport links in the form of bus routes and stops are available in close vicinity to the development, along Hilder Street and Lodges Road.

#### Part C6.6 – Parks and Open Space

Following completion of the embellishment works in the riparian corridor (approved under Development Consent 1025/2003), proposed lot 33 will be dedicated to Council, although this will not be useable public open space (as its primary function is drainage), the pedestrian and cycle paths adjoining this corridor will provide passive enjoyment of Lot 33 in the form of scenic views.

The site is also located within walking distance from two sports grounds within the Elderslie Release area, being Kirkham Park and Harrington Green.

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## Variations to the Elderslie Master Plan (Part C6 of the Camden DCP 2010)

### *Stage 1 (32 residential lots) and Stage 3 (1 additional lot):*

Stages 1 and 3 are located within Area 3 of the Elderslie Master Plan, which requires lot sizes of 450m<sup>2</sup> +, lot widths of 15 – 18m and an average lot size of 525m<sup>2</sup>.

The 33 lots proposed within Stages 1 and 3 comply with the Master Plan in respect to the lot size and width requirements. However the average lot size of Stages 1 and 3 is 495m<sup>2</sup> and not 525m<sup>2</sup> as required in Area 3.

### *Stage 2 (40 residential lots):*

Stage 2 is partially located in Area 2 and partially located in Area 3 of the Elderslie Master Plan.

The majority of Stage 2 is located within Area 2, which requires lot sizes of 300 – 450m<sup>2</sup>, lot widths of 8 – 15m and an average lot size of 375m<sup>2</sup>.

The lots proposed in Area 2 of Stage 2 comply with the Master Plan in respect to the lot size and width requirement however the average lot size is 343m<sup>2</sup> and not 375m<sup>2</sup> as required in Area 2.

Approximately 10 lots in Stage 2 are located within Area 3, which requires lot sizes of 450m<sup>2</sup> +, lot widths of 15 – 18m and an average lot size of 525m<sup>2</sup>. The lots proposed in Area 3 of Stage 2 do not meet the lot size, lot width or average lot size requirement. In addition, the Elderslie Master Plan indicates a rear lane between Areas 2 and 3 in Stage 2.

## Assessment of DCP Variations and Recommendations

The applicant has stated that the proposed lot sizes for the development are suitable for the subject site due to its proximity to local transport routes (Hilder Street) and the high amenity area of the Oxley Riparian corridor. The statement of environmental effects also states that the intention of the subdivision is to create lots for detached housing, which require a minimum lot size of 300m<sup>2</sup> pursuant to the DCP for this housing type.

Whilst the principle of higher densities close to transport routes and open space areas is supported, the variations to the minimum lot sizes prescribed in the Elderslie Master Plan are not supported. Having regard to the context of the surrounding development, the subject lots should comply with the minimum lot sizes prescribed to ensure an orderly progression of lot sizes towards the existing residential lots.

There are no dwellings proposed by this application. The DCP does specify particular housing types for lots of certain sizes; however it is noted that the prescribed dwelling types and lot sizes are directly aligned to the prescribed Areas of the Master Plan. Therefore, compliance with the minimum lot sizes prescribed in Areas 2 and 3 is required to ensure that the future dwellings type for these areas prescribed by the DCP can be achieved.

It is recommended that a Deferred Commencement Consent be granted for this development, with an operational consent granted subject to the submission of a modified plan for Stage 2 which demonstrates compliance with the Master Plan in

relation to minimum lot sizes and lot widths and provision of a rear lane. This modification is likely to result in a reduction in the overall lot yield for this subdivision.

The general area within Stage 2 requiring modification is identified in red in **Figure 5** below.



**FIGURE 5: STAGE 2 AREA OF NON-COMPLIANCE**

Following these amendments only one DCP variation will remain, being a variation to the average lot sizes for Stages 1 to 3.

This variation is considered supportable in this instance as following the above modifications to the development all of the proposed lots will meet the required minimum lot sizes and widths, therefore providing sufficient site area for future dwellings. In addition, the proposal provides a range of lot sizes from 303 m<sup>2</sup> to 597 m<sup>2</sup>.

It is noted that the average lot size requirement is intended to be achieved across the entire Elderslie release area and it is difficult to achieve compliance with each individual subdivision proposal. Furthermore, Council has previously supported variations to the average lot size requirement, both in respect to applications that are above and below the average lot size requirement, as shown in the table below.

Table 1: Average Lot Size variations recently approved by Council in Elderslie

DA	Average Lot Size Under or Over	Council Meeting Determined
1542/2010	17.4m <sup>2</sup> under 525m <sup>2</sup> average required	25/10/11
1543/2010	17.4m <sup>2</sup> under 525m <sup>2</sup> average required	25/10/11
1426/2011	74m <sup>2</sup> over 375m <sup>2</sup> average required; and 157m <sup>2</sup> over 525m <sup>2</sup> average required	22/5/12
474/2012	37.9m <sup>2</sup> over 375m <sup>2</sup> average required	10/7/12

**(1)(a)(iia) The provisions of any Planning Agreement**

There are no relevant planning agreements applicable to this site or development.

**(1)(a)(iv) The provisions of the Regulations**

The Regulations prescribe several development consent conditions that will be included in any development consent issued for this development.

The public notification required by the Regulations for Nominated Integrated Development has been carried out.

**(1)(b) The likely impacts of the development**

The likely impacts of this development include:

1. Safer by design considerations/security issues.

Council has considered the safety of the riparian corridor for residents of the proposed subdivision. The embellishment works approved under Development Consent 1025/2003 do not include public footpaths or cycling tracks within the corridor itself, as it's primary function is for drainage. Residents would be discouraged from entering the corridor due to the steep rock embankment and bicycle fence erected along the corridor.

The 2.5m wide pedestrian and cycling paths proposed adjacent to the corridor in the roads proposed to be named "Corte Parade" (Stages 1 and 3) and "Weirberly Road" (Stage 2) will be illuminated at night by street lights and overlooked by dwellings, which will provide passive surveillance of these public thoroughfares. It is therefore considered that the design of the embellishment works approved under Development Consent 1025/2003 and proposed subdivision layout will ensure that the pedestrian and cycling paths along the corridor are safe for residents.

**(1)(c) The suitability of the site for the development**

The site is suitable for the proposed development in that it provides lot sizes appropriate for future housing with good access to public transport paths and in close proximity to the Elderslie Neighbourhood Centre.

The proposal fits in with the locality in terms of its ability for future dwellings to conform to the relevant development controls, and the site attributes make it conducive to the development in relation to the connection of utility services and infrastructure.

Therefore it is considered that this site is suitable for the proposed development.

### (1)(d) Any submissions

As a result of public notification, sixteen submissions were received (all objecting to the proposal), with nine of these being in the form of a pro-forma letter. Following this re-notification, five new submissions were received (all objecting to the proposal), with two of these being in the same pro-forma letter previously submitted.

The following is a list of the issues raised and an assessment of them, however it is noted that since the public notification, the applicant has amended the development to try and address some of the issues raised:

1. The size of the blocks and the street frontages are far too small and do not meet the DCPs average block size of 525m<sup>2</sup>.

*Officer Comment:*

The plans originally submitted with this application did not meet the DCP controls for minimum lot size, average lot size, or minimum widths. Following the initial notification period, the plans were amended to comply with the minimum lot size and lot width controls for Stages 1 and 3.

As assessed previously in the DCP assessment section of this report, Council officers have assessed the relevant variations and have recommended that the plans be amended accordingly as part of a Deferred Commencement Consent to ensure compliance with the minimum lot size and required lot width controls, and required street network connections.

The remaining variations to the average lot size controls are considered to be acceptable, based on the minimum lot size controls becoming compliant in accordance with the above modifications.

2. If Council approves this application, future developers will demand small lot sizes and street frontages.

*Officer Comment:*

Following the recommended modifications, the resultant lot sizes will be consistent with the minimum lot sizes required for Areas 2 and 3 in the Elderslie Master Plan, which has been in Council's Development Control Plan since 2006.

Future applications would also be required to comply with the DCP and Council would only consider variations to the Master Plan where the applicant could demonstrate that the proposed development is consistent with the objectives and desired future character of the release area. Significant variations to the Master Plan may also require an amendment of the DCP.

3. Smaller lots will result in more residents and an increase in cars/traffic, particularly at the Lodges Road/Franzman Avenue entrance.

*Officer Comment:*

Following the recommended modifications, the proposal will be made consistent with the minimum lot sizes and road layout and widths prescribed by the DCP. The overall road network has been designed to cater for density targets in the Elderslie release area.

4. Small lots will lead to high density housing (such as town houses). Smaller lot widths will not be able to accommodate double garages or the amount of cars that most families will own. There may also be an increase in accidents with people reversing out of driveways and cars being parked in the road. Children will no longer be able to play outside safely.

*Officer Comment:*

The DCP prescribes a range of lot sizes to accommodate a variety of housing forms and densities. Areas 2 and 3 of the Elderslie Master Plan are identified as being a “small lot housing form to accommodate smaller single dwellings”, as opposed to Area 1 and the multi-dwelling housing site, which is for higher density living (duplexes or larger).

The DCP requires a minimum lot size of 600m<sup>2</sup> for dual occupancies and the largest lot proposed by this application is 597.8m<sup>2</sup>, not meeting this requirement. Regardless, any applications for dual occupancies or multi dwelling housing would be subject to future DAs and the DCPs controls for these housing types (including parking and private open space).

It is noted that future dwellings on lots with smaller widths (such as the lots proposed in Stage 2) may be restricted to a single garage. These lots will provide a suitable housing stock for particular demographic groups such as small families, elderly couples or single residents.

Additionally, upon the provision of a rear laneway in Stage 2, many of the lots in Area 2 will be provided with rear access to a garage as well as have waste collected from the laneway, helping to protect the amenity of the roads aligned with the riparian corridor in Stage 2.

It is the responsibility of both parents and road users<sup>2</sup> to supervise their children and ensure their safety.

5. The mature “open” feel to the estate (created by larger lots and wide frontages) will be lost and an “uneven” and “untidy” look to the road will be created. The proportions of the estate will be ruined and it will become like a “concrete jungle”.

*Officer Comment:*

The DCP prescribes a range of lot sizes to encourage a variety of housing forms and types. Whilst some of the surrounding area has been developed to include slightly larger lots, following the recommended modifications, the proposed development will comply with the DCP’s minimum lot size controls for this area and will provide an acceptable level of variation to the existing streetscapes.

6. Council has previously made developers increase lot sizes in the area to preserve what was originally created.

*Officer Comment:*

It is noted that a number of separate DAs for subdivision in the surrounding area received objections due to the applications not meeting the minimum lot sizes prescribed in the DCP. There have been instances where the lot sizes were increased to comply with the DCP.

In this instance, Council staff have recommended that the proposed plans be modified to comply with the DCP's minimum lot size controls. This approach is consistent to the way other DAs have been requested to be amended to comply with minimum lot size controls.

7. The developers promised that the estate would be small, quiet and would consist of like housing blocks around 520m<sup>2</sup>.

*Officer Comment:*

Following the recommended modifications, the proposed lot sizes will be consistent with the requirements for Areas 2 and 3 in the Elderslie Master Plan, which has been in Council's Development Control Plan since 2006.

8. The value of existing homes in the estate will be decreased as small lots and/or townhouses will open the market for renters who do not take as much care of their properties. Values will also decrease as the area will turn into a "slum" due to overcrowding.

*Officer Comment:*

The potential loss of property values is not an issue that can be considered as part of this assessment. Following the recommended modifications, the proposal will achieve an acceptable level of density, as designed in the Elderslie Master Plan.

9. The small size of the blocks proposed and construction of the development in general will have an impact on the heritage item (cottage) at 49 Hilder Street, Elderslie. Double storey homes on the lots along the northern boundary of Stage 1 will intrude on their privacy. The development is also out of character with the other two heritage properties located in close proximity to the site.

*Officer Comment:*

Council officers have reviewed the heritage impact statement submitted with the application and have recommended 88B Instrument restrictions which limit the design and materials of dwellings and fences on lots 27 to 30 (adjoining 49 Hilder Street). The proposed development has been assessed and was found to be consistent with the Elderslie Master Plan and the desired character of the area. Council staff have do not consider that the proposed lot configurations will have any unreasonable impacts on the privacy of any other surrounding heritage properties.

10. With so many homes being built, the development in general will increase noise and crime in the area.

*Officer Comment:*

Following the recommended modifications, the proposed development will be consistent with the Elderslie Master Plan and will contribute to the overall density targets for the area. Council staff have assessed the proposal and do not consider that the proposed development will unreasonably increase noise or crime in the area.

11. The laneway proposed in Stage 1 is unnecessary and could be an opportunity for criminals to access surrounding properties.

*Officer Comment:*

This application no longer seeks consent for any laneways within Stage 1 and the plans have been amended to reflect this.

**(1)(e) The public interest**

It is considered that the public interest will be positively served by the proposed subdivision as it is generally consistent with the relevant LEP and the desired future character of the Elderslie release area. Following the recommended modifications (required by a Deferred Commencement Consent), the development will not result in any unacceptable impacts upon the surrounding environment or adjoining land owners.

**CONCLUSION**

Council has received a DA for a residential subdivision at 65 Hilder Street in Elderslie.

The DA has been assessed in accordance with Section 79C of the *Environmental Planning and Assessment Act 1979* and the submissions received have been considered.

The applicant has sought some variations to the Elderslie Master Plan in terms of average lot sizes, minimum lot sizes, minimum lot widths and the proposed street network. Following the completion of the recommended modifications (required by a Deferred Commencement Consent), it is considered that the development is acceptable on the basis that although it is inconsistent with the adopted DCP in terms of average lot sizes, it is consistent with the LEP and will be consistent with the DCP's minimum lot size controls and the desired future character of the area, and can be carried out without significantly impacting on the surrounding area.

This DA is for subdivision creating additional residential lots. Following the recommended modifications (required by a Deferred Commencement Consent), the proposed lot sizes and road design will be consistent with the Master Plan for the Elderslie Release Area. The impacts of the development on the surrounding heritage items have been addressed and found to be acceptable subject to development restrictions on particular lots.

Consequently it is recommended that Council approve this DA subject to the draft development consent conditions provided below.

**DRAFT CONDITIONS OF CONSENT**

The conditions of **Schedule A** are as follows:

- (1) **Amendments to Proposed Development** - The following amendments are required to be incorporated into the design of Stage 2 and must be submitted to Camden Council prior to the issue of an operational development consent:
  - Stage 2 must be amended to ensure all of the proposed lots fully comply with the minimum lot size and lot width controls prescribed by the Elderslie Master Plan (Camden Development Control Plan 2011).

- A laneway must be added to the east of lots 205-210 in Stage 2, in accordance with the Elderslie Master Plan (Camden Development Control Plan 2011). This laneway must be designed in accordance with Council's Engineering Specifications and must be one way in a northerly direction. Appropriate signage and line marking as necessary must also be provided to facilitate this.

The conditions specified in **Schedule B** are as follows:

**1.0 - General Requirements**

- (1) **Development in Accordance with Plans** – The development is to be in accordance with plans and documents listed below, except as otherwise provided by the conditions of this consent:

Plan / Development No.	Description	Prepared by	Dated
08078SP2 – Rev G	Staging Pan – Stage 1	JMD Development Consultants	6 June 2012
08078SP2 – Rev G	Staging Pan – Stage 2	JMD Development Consultants	6 June 2012
08078SP2 – Rev G	Staging Pan – Stage 3	JMD Development Consultants	6 June 2012
08078 E3 – Rev A	Cover Sheet	JMD Development Consultants	13 March 2012
08078 E3 – Rev A	General Plan	JMD Development Consultants	13 March 2012
08078 E3 – Rev A	Road Longitudinal Sections & Typical Section (Peter, Alpene & Corte)	JMD Development Consultants	13 March 2012
08078 E3 – Rev A	Road Longitudinal Sections & Typical Section (Road No. 2)	JMD Development Consultants	13 March 2012
08078 E3 – Rev A	Road Longitudinal Sections & Typical Section (Road No. 7, Brunero & Kowald)	JMD Development Consultants	13 March 2012
08078LS1 – Rev A	Landscape Plan	JMD Development Consultants	29 Feb 2012

Where there is an inconsistency between the approved plans/documentation and the conditions of this consent, the conditions of this consent override the approved plans/documentation to the extent of the inconsistency.

- (2) **General Terms of Approval** – The development must be carried out in accordance with the following General Terms of Approval from Authorities, including:
- (a) NSW Office of Water General Terms of Approval dated 16 April 2012; and
  - (b) Mine Subsidence Board concurrence for Stages 1 to 3, dated 13 August 2012.

- (3) **Advertising Signs Application** - Outdoor advertising structures require prior development consent. A development application must be submitted and approval granted by the Consent Authority (ie Camden Council) prior to the erection of any advertising signs.
- (4) **Landscaping Maintenance and Establishment Period for the Public Open Space Road Verge Areas and Nature Strip Installed Street Trees** - Commencing from the Date of Practical Completion (DPC), the Applicant will have the establishment and maintenance responsibility for all the landscaping in the road verge and nature strip areas and for the street trees installed.

The 12 month maintenance and establishment period includes (but not limited to) the Applicant's responsibility for the establishment, care, repair and replacement if applicable, of all street trees relating to this Consent.

The Date of Practical Completion (DPC) is taken to mean completion of all civil works, soil preparation and treatment, initial weed control, successful completion of all planting, turfing, tree guard installation and street tree installation.

It is the Applicant's responsibility to arrange a site inspection with the Principal Certifying Authority (PCA), upon initial completion of the landscaping works, to determine and agree upon an appropriate DPC.

At the completion of the 12 month maintenance and establishment period, the road verge and nature strip landscaping works, including the street trees, must comply with the Consent and Construction Certificate approved Landscaping Plans.

- (5) **Waterfront/Riparian Areas Landscaping Maintenance and Establishment Period** - All Waterfront Landscaping works and areas, associated with this Consent, are to be installed, rehabilitated, established and maintained as per the Vegetation Management Plan (VMP), Consent Conditioned amendments Weed Eradication & Management Plan and lodged Landscaping Plans applicable to this Consent. (lodged Landscaping Plans, drwg Nos L00 to L05, Issue B, dated 27/9/2005, prepared by Australian Wetlands, Project No 03527).

The Applicant will be responsible for the administration, successful implementation, monitoring, reporting and successful establishment of the Waterfront Areas Rehabilitation and Landscaping Maintenance and Establishment strategies.

The maintenance and establishment period will be for 24 months, or till such time as all of the Waterfront rehabilitation and landscaping works have been successfully installed and successfully established. The commencement of the 24 month maintenance and establishment period will be from the Date of Practical Completion (DPC).

Practical Completion is taken to mean completion of all civil works, soil preparation and treatment, initial weed control, rehabilitation works and completion of all planting, turf installation, installation of erosion controls and mulching.

The DPC is that date when the Applicant, the Office of NSW Water (Dept. of NOW) and the Principal Certifying Authority agree that the Waterfront Landscaping works have been satisfactorily completed.

Completed Waterfront works for the DPC must be as per the Consent and Construction Certificate (CC) approved Landscaping Plans, Controlled Activity Approval and the General Terms of Approval, Consent Conditions, Vegetation Management Plans (VMP's) and Weed Eradication Management Plans applying to this Consent and Construction Certificate (CC).

It is the Applicant's responsibility to arrange a site inspection with the Principal Certifying Authority and the Office of NSW Water (Dept of NOW), upon initial completion of the Waterfront works, to determine and agree upon, an appropriate DPC.

At the completion of the 24 month maintenance and establishment period, all areas of the Waterfront works shall have signs of healthy and vigorous growth. Any plantings, or other areas of revegetation or rehabilitation that are in a state of decline, damaged or missing are to be replaced and established to a healthy, safe and vigorous condition.

The Applicant will be responsible for any ongoing maintenance responsibility for the subject Waterfront areas until such time as the Waterfront works comply with the approved Landscaping Plans, Weed Eradication Plan, Consent Conditions, Controlled Activity Approval and applicable VMP.

- (6) **Landscaping Installation, Establishment and Maintenance Costs** - The applicant will pay for all costs involved with the landscaping and Waterfront rehabilitation works and their installation, establishment and maintenance expenditure. The costs involved will include, but not limited to, such items as electricity costs and water usage.
- (7) **Protect Existing Vegetation and Natural Landscape Features** - Approval must be sought from Council prior to the removal, pruning, impact upon or any disturbance of the existing vegetation and natural landscape features, other than any existing vegetation and/or natural landscape feature authorised for removal, pruning, impact upon or disturbance by this Consent.

The following procedures shall be strictly observed:

- (a) no additional works or access/parking routes, transecting any protected vegetation shall be undertaken without Council approval;
  - (b) pedestrian and vehicular access within and through any protected vegetation shall be restricted to Council approved access routes.
- (8) **Noxious and Environmental Weed Control** - Noxious and environmental weed control must be carried out in accordance with the Vegetation Management Plan prepared by Australian Wetlands, dated November 2005 and the Weed Eradication and Management Plan (WEMP) prepared by Joy Hafey dated April 2005.

In addition to the VMP and WEMP:

- The applicant must fully and continuously suppress and destroy, by appropriate means, any other noxious or environmentally invasive weed

infestations that occur during or after subdivision and prior to sale of new lots. New infestations must be reported to Council.

- As per the requirements of the Noxious Weeds Act 1993, the applicant must also ensure at all times any machinery, vehicles or other equipment entering or leaving the site must be cleaned and free from any noxious weed material, to prevent the spread of noxious weeds to or from the property.
  - Maintenance work is to be carried out, involving regular surveys to determine if any species are becoming established through time. Any noxious or environmental weed infestations that occur during subdivision, and prior to sale of the new lots, must be reported to Council and fully and continuously suppressed and destroyed, by appropriate means.
- (9) **Noxious Weeds** - All noxious weeds identified on the site must be disposed of in accordance with the Noxious Weeds Act 1993. No noxious weeds green waste is permitted to be mulched and reused on site for stabilisation of disturbed or landscaping areas.
- (10) **Design and Construction Standards** - All proposed civil and structural engineering work associated with the development must be designed and constructed strictly in accordance with: -
- (a) Camden Council's current Engineering Specifications; and
  - (b) Camden Council's Development Control Plan 2011

It should be noted that designs for line marking and regulatory signage associated with any proposed public road within this subdivision MUST be submitted to and approved by the Roads and Maritime Services, Camden Council prior to the issue of any Construction Certificate.

- (11) **Special Infrastructure Contribution** – Payment of a special infrastructure contribution is to be made in accordance with the Environmental Planning and Assessment (Special Infrastructure Contribution - Western Sydney Growth Areas) Determination 2011 (as in force when this consent becomes operative).

## 2.0 - Construction Certificate Requirements

The following conditions of consent shall be complied with prior to the issue of a Construction Certificate.

- (1) **Detailed Landscaping Plans** - Prior to the issue of the Construction Certificate, detailed Landscaping Plans prepared by a qualified Landscape Architect or qualified Landscape Design Ecologist, must be submitted with the Construction Certificate application and must be in accordance with Camden Council's current Engineering Design Specifications and will include the following items.

The following items and amendments required must be clearly shown and detailed in the amended Landscaping Plans prepared for the Construction Certificate issue:

- (a) Nature Strip Street Trees:
- (i) The proposed streetscape planting of 14 *Magnolia grandifolia* trees to Hilder St, as proposed in the concept Landscaping Plan, must be amended in the detailed Landscaping Plan to show the smaller growing cultivated varieties only of the *Magnolia grandifolia* (eg 'Exmouth' or 'Little Gem') are installed.
  - (ii) The proposed streetscape planting selection of the 93 large growing and significant lateral spreading *Ulmus parvifolia* 'Todd' must be deleted and replaced with a more appropriate street tree selection for the limited space areas of the Nature Strips applicable to this Consent. Some examples for replacement consideration could be *Lagerstromia*, *Lophostmon confertus*, *Hymenosporum*, *Koelreuteria*, *Acmena*, *Cupaniopsis anarcardiodes*, *Elaeocarpus reticulatus*, the dwarf growing variety only of the cultivated *Eucalyptus*, such as 'Wildfire' or 'Summer Red' or/and the cultivated variety only of the *Ginko biloba* (i.e.the dwarf conical growing habit 'Princeton Sentry') or other appropriate selections.
  - (iii) Clearly detail, show and demonstrate that there will not be any planting's of *Eucalyptus* or *Angophora* varieties, or other very large trees in any Waterfront/Riparian area that forms part of any Road Verge or Nature Strip area. More appropriate selections for these Nature Strip areas that are aligned to the Waterfront areas could be *Melaleuca decora* or *Melaleuca linariifolia* or other such smaller growing tree varieties of The Cumberland Plain Woodland Ecological Community.
  - (iv) Ensure that the necessary Street Tree installation and their proposed establishment schedules are clearly shown in the detailed Landscaping Plans.
  - (v) That all Street Trees have at time of planting, well constructed tree guard protection installed. A minimum requirement is the installation of at least 3 bollards per street tree. The bollards are to be installed approximately 1m from the main stem of the tree. The bollards are to be sourced in minimum 1.8m length, which will allow for 1.2m above ground exposure and .6m buried support. The bollards are to be timber (or other acceptable composite material) and a minimum 150mm x 150mm width. Timber bollards are to be a durability minimum of H4 CCA.
  - (vi) That all the Street Trees are sourced in a minimum 75 litre container size, are not multi-stemmed and can stand alone without the need for staking.
  - (vii) That all the Street Trees are installed with appropriate root barrier guard to the roadside kerb.
- (b) The detailed Landscaping Plans must clearly show that any planting of *Lomandra* varieties will not be installed within 1m of any proposed path or cycleway. Other low growing and non intrusive sub shrubs are to be installed within 1m of any proposed path or cycleway.

- (c) The detailed Landscaping Plans lodged for the issue of the Construction Certificate must include a planting schedule. The planting schedule must clearly detail the planting positioning, species by botanical and common names, quantities, planting sizes and the estimated size of the plant at approximately 12 years maturity. The planting schedule must also clearly show the proposed establishment and maintenance programme to be applied to the installed landscaping.
  - (d) If applicable, the detailed Landscaping Plans must clearly show any proposed road verge estate entry feature, statement feature wall, or entry statement signage. These works are not to be positioned on any public open space areas such as the nature strip, waterfront/riparian areas or other Council maintained area. Any entry statement wall or entry feature is to be positioned wholly within the boundaries of private open space areas.
- (2) **Protection for Existing Trees and Other Landscape Features On-site** - The protection of existing trees and other landscape features, other than any existing trees and natural landscape features authorised for removal, pruning, impact upon or disturbance by this Consent, must be carried out as specified in the Australian Standard AS 4970-2009 Protection of Trees on Development Sites.

All initial procedures for the protection of existing trees and landscape features as detailed in AS 4970-2009, must be installed prior to the commencement of any earthworks, demolition, excavation or construction works on the development site.

The works and procedures involved with the protection of existing trees and other landscape features are to be carried out by suitable qualified and experienced persons or organisations. This work should only be carried out by a fully insured and qualified Arborist.

Suitable qualifications for an Arborist are to be a minimum standard of Australian Qualification Framework (AQF) Level 3 in Arboriculture for the actual carrying out of tree works and AQF Level 5 in Arboriculture for Hazard, Tree Health and Risk Assessments and Reports.

- (3) **Waterfront Construction Works** - A Construction Certificate will not be issued over any part of the site that requires a Controlled Activity Approval (CAA) issued by NSW Office of Water (NOW) until a copy of the CAA has been provided to the Consent Authority (ie, Camden Council).
- (4) **Waste Bin Collection** – A waste bin collection point for each residence must be shown on the plans prior to the issue of A Construction Certificate. This area is to be 3m long x 0.9m wide and allow 3.9m clear vertical space to allow for the truck lifting arm.

The plans must also indicate that the waste bin collection point is clear from the positioning of driveways, tree plantings (or tree canopies), street lighting or other fixtures.

All turning heads, including the temporary turning head proposed in Stage 1, are to be constructed in accordance with the dimensions contained within Council's Engineering Specification.

- (5) **Stormwater Disposal** - Stormwater runoff from the whole development must be properly collected and discharged to the Council drainage system. Surface discharge across the footpath to the road gutter is not permitted. Provision must be made to cater for existing stormwater overland flow from adjoining properties.
- (6) **Easement Creation** - Where the disposal of drainage involves the provision of drains across land owned by others and is not within a watercourse, drainage easements must be provided. The width of such drainage easements must be in accordance with Camden Council's current Engineering Specifications. Documentary evidence of creation of the easement/s must be submitted to Council (for information purposes) prior to the issue of a Construction Certificate.

The easement must be obtained over downstream properties and such easement must be registered with the Land and Property Information prior to the release of the Subdivision Certificate or issue of an Occupation Certificate.

- (7) **Inter-Allotment Drainage Construction** – Inter-allotment drainage lines must be installed in accordance with Camden Council's current Engineering Specifications. Inter-allotment drains must be installed after Sydney Water sewerage lines have been installed, where sewer is proposed adjacent to inter-allotment drains.
- (8) **Civil Engineering Plans** - Indicating drainage, roads, accessways, earthworks, pavement design, details of linemarking and traffic management details must be prepared strictly in accordance with the relevant Development Control Plan and Engineering Specifications, and are to be submitted for approval to the Principal Certifying Authority prior to the Construction Certificate being issued.

**Note:**

- (a) Under the *Roads Act 1993*, only the Council can issue a Construction Certificate for works within an existing road reserve.
  - (b) Under section 109E of the *Environmental Planning and Assessment Act 1997*, Council must be nominated as the Principal Certifying Authority for subdivision work and has the option of undertaking inspection of physical construction works.
- (9) **Environmental Site Management Plan** - An Environmental Site Management Plan must be submitted to the Certifying Authority for approval and inclusion in any application for a Construction Certificate. The plan must be prepared by a suitably qualified person in accordance with AS/NZ ISO 14000 – 2005 and must address, but not be limited to, the following:
    - (a) all matters associated with Council's Erosion and Sediment Control Policy;
    - (b) all matters associated with Occupational Health and Safety;
    - (c) all matters associated with Traffic Management/Control; and

- (d) all other environmental matters associated with the site works such as noise control, dust suppression and the like.
- (10) **Performance Bond** - Prior to the issue of the Construction Certificate, a performance bond of **10% value of works** must be lodged with Camden Council in accordance with Camden Council's Engineering Construction Specifications.
- (11) **Cut and Fill Policy** - Any excavation or filling of any residential building site in excess of 1m cut and 600mm fill must only be carried out in accordance with Council's Development Control Plan 2011. The required details must be submitted to Council prior to the Construction Certificate being issued.
- (12) **Provision of Kerb Outlets** – Where proposed lots grade to an existing/proposed public road, kerb outlets shall be provided in the kerb and gutter adjacent to those lots. Such kerb outlets shall be:
- (a) located within 2m downstream of the prolongation of the lot corner with the lowest reduced level and to the requirements of the Principal Certifying Authority;
  - (b) constructed in accordance with Camden Council's current Engineering Specification/s; and
  - (c) indicated in any design plan submitted to the Certifying Authority for the purposes of obtaining a Construction Certificate.
- (13) **Location of Drainage Pits** – Shall be in accordance with Camden Council's current Engineering Design Specifications and Engineering Construction Specifications.
- (14) **Public Risk Insurance Policy** - Prior to the issue of the Construction Certificate, the owner or contractor is to take out a Public Risk Insurance Policy in accordance with Camden Council's current Engineering Design Specifications.
- (15) **Turning Facilities** – All turning and manoeuvring facilities, including turning heads, cul-de-sac, etc. shall be designed in accordance with the current edition of AS 2890.2 and in accordance with Camden Council's current Engineering Specifications.
- (16) **Design of the Permanent Water Quality Facility** - The design of the water quality facility must be prepared in accordance with the requirements of the Elderslie Water Cycle Master Plan.
- The design must be certified by an Accredited Certifier with civil engineering accreditation and must be submitted to the Certifying Authority for inclusion in any application for a Construction Certificate.
- (17) **Design of "Construction" On-site Detention/Sediment Control Basin** - The design of the "construction" on-site detention/ sediment control basin and water quality facility must be prepared in accordance with the requirements of:

- (a) for sediment control generally, *Managing Urban Stormwater – Soils and Construction*, Volume 1, 4th Edition, March 2004 as produced by Landcom,
- (b) Camden Council's current Engineering Design Specification,
- (c) and must not concentrate final discharge flows from the facility.

The construction of the on-site detention/sediment control basin must contain an impervious layer to provide water harvesting.

The design must be prepared and certified by an Accredited Certifier and must be submitted to the Certifying Authority for inclusion in any application for a Construction Certificate.

- (18) **Temporary Turning Facility** – A temporary turning/manoeuvring facility shall be provided at the end of proposed Corte Parade. The facility shall be designed in accordance with:

- (a) the current edition of AS 2890.2 and more specifically the Heavy Rigid Vehicle (HRV) swept turning path contained within that document; and
- (b) Camden Council's Development Control Plan 2011.

The manoeuvring area within the facility shall incorporate the pavement and wearing course design associated with the adjoining proposed public road and there shall be no kerb and gutter of any type within the facility. Any additional land required to accommodate the facility, adjacent to the proposed public road, shall be provided with such land being dedicated as a temporary public road in accordance with s.9, 39 and 40 of the *Roads Act 1993*.

The status of the facility shall remain as a temporary public road until such time as an alternative facility has been provided and dedicated as either:

- (i) public road, or
- (ii) temporary public road.

- (19) **Damage to Public Infrastructure** – All public infrastructure that adjoins the development site on public land shall be protected from damage during construction works.

Public infrastructure includes roadways, kerb and guttering, footpaths, service authority infrastructure (such as light poles, electricity pillar boxes, telecommunication pits, sewer and water infrastructure), street trees and drainage systems.

The applicant shall advise Council, in writing, of any existing damage to Council property before commencement of the development. Where existing damage is present, a dilapidation survey of Council's assets, including photographs (with evidence of date) and written record, must be prepared by a suitably qualified person and submitted to Council prior to the commencement of construction works.

The applicant shall bear the cost of all restoration works to public property damaged during the course of this development. Any damage to public infrastructure will be required to be reinstated to Council's satisfaction prior to the issue of a Final Occupation Certificate.

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- (20) **Road Design Criteria** - Dimensions and pavement design details for proposed roads must align with the following (measurements are in metres):

Road No.	Road Reserve	Carriageway	Footway	Design E.S.A's	Comments
7	16	7.2	4.4	5 x10 <sup>5</sup>	
Brunero St	16	7.2	4.4	5 x10 <sup>5</sup>	
Kowald St	16	7.2	4.4	5 x10 <sup>5</sup>	
Wierberly Rd	16	7.2	4.4	5 x10 <sup>5</sup>	
Peter St	16	7.2	4.4	5 x10 <sup>5</sup>	
Alpene St	16	7.2	4.4	5 x10 <sup>5</sup>	
2	11.7	7.2	3.5	5 x10 <sup>5</sup>	2.5m cycleway on Basin Side
Corte Parade	11.7	7.2	3.5	5 x10 <sup>5</sup>	2.5m cycleway on Basin Side
Laneway in Stage 2	8.0 wide & Var.	6	1	1 x10 <sup>5</sup>	No footpath

The pavement design/report shall be prepared by a person with experience in the geotechnical aspects of earthworks and endorsed by a Practising Engineer with National Professional Engineering Registration and a Specific Area of Practice in Subdivisional Geotechnics.

Design parameters shall also comply with the provisions of Camden Council's current Engineering Design Specification and be submitted to the Certifying Authority.

- (21) **Connection to Existing Public Roads** - The proposed road construction must connect with the existing public roads. The connection at such locations must be carried out in accordance with the provisions and requirements of Camden Council's issued Public Road Activity (Roadworks) approval. Further, all such work must be completed to the satisfaction of the Roads and Maritime Services, Camden Council, prior to the issue of any Subdivision Certificate.
- (22) **Location of the "Construction" On-site Detention/Sediment Control Basin** - A "construction" on-site detention/sediment control basin must be provided for within the site.
- (23) **Location of Temporary Water Quality Facilities** - A temporary water quality facility must be provided for the site. The facility may be provided in the following locations:
  - (a) within any proposed public road and/or drainage reserve contained within the site,
  - (b) within any proposed residue lot contained within the site,

- (c) within any adjoining property that is privately owned. In this regard appropriate easements, pursuant to s.88B of the *Conveyancing Act 1919*, must be registered by the Department of Lands – Land and Property Information, prior to the issue of any Construction Certificate.
- (24) **Location of Permanent Water Quality Facilities** - A permanent water quality facility must be provided for the site. Such a facility must be located within proposed and/or existing public land.
- (25) **Desilting Dams or Creeks** - A Geotechnical Report must be submitted detailing works required to desilt any existing dams or creek beds in conjunction with the engineering drawings prior to the Construction Certificate being issued. Such report must be prepared by a suitably qualified and experienced Geotechnical Engineer.
- (26) **Fill Management Plan** - The applicant is to submit to Camden Council for review a Fill Management Plan for Stage 2 works that demonstrates how they will conduct filling operations to comply with Council's standard fill condition.
- (27) **Updated Salinity Management Plan** – The findings of the Salinity Management Plan contained in Section 2 of the report titled *Soil Contamination Assessment and Salinity Management Plan, Lot 1 Hilder Street, Elderslie*, prepared by Harvest Scientific Services Pty Ltd, Job Reference 200904, dated 01/05/2007 shall be updated to reflect the changes made to Australian Standards relevant to building in salinity prone environments so that appropriate s.149 Certificate notations can be made.
- (28) **Compliance with Contamination Report Recommendations** - Prior to the issuing of a Construction Certificate, the applicant shall submit for review to Camden Council a report from a suitably qualified consultant confirming the recommendations set out in Table 3 of the report titled "*Review of Site Conditions, Proposed Residential Development, 65 Hilder Street, ELDERSLIE*" prepared by Harvest Scientific Services Pty Ltd, job reference 201357, dated 14 August 2012, have been fully implemented and complied with.
- (29) **Laneway Footpath Crossings** – Footpath crossings connecting the required laneway connecting Brunero and Kowald Streets must be designed in accordance with the provisions of:
- (i) the Heavy Rigid Vehicle (HRV) swept turning path associated with the current edition of AS2890.2; and
  - (ii) Camden Council's current Engineering Design Specification.
- (30) **No Stopping Signage** – Prior to the issue of any Subdivision Certificate 'No Stopping' signage is to be installed in the laneway. The details of such are to be provided on plans submitted for the issue of Construction Certificate. It should be noted that such signage shall be approved by the Roads Authority, Camden Council, prior to installation.

### 3.0 - Prior To Works Commencing

The following conditions of consent shall be complied with prior to any works commencing on the construction site.

- (1) **Stabilised Access Point** - A Stabilised Access Point (SAP) incorporating a truck shaker must be installed and maintained at the construction ingress/egress location prior to the commencement of any work. The provision of the SAP is to prevent dust, dirt and mud from being transported by vehicles from the site. Ingress and egress of the site must be limited to this single access point
- (2) **Construction Certificate Before Work Commences** - This development consent does not allow site works, building or demolition works to commence, nor does it imply that the plans approved as part of the development consent comply with the specific requirements of *Building Code of Australia*. Works must only take place after a Construction Certificate has been issued, and a Principal Certifying Authority (PCA) has been appointed.
- (3) **Notice of Commencement of Work and Appointment of Principal Certifying Authority** – Notice in the manner required by Section 81A of the *Environmental Planning and Assessment Act 1979* and clauses 103 and 104 of the *Environmental Planning and Assessment Regulation 2000* shall be lodged with Camden Council at least two (2) days prior to commencing works. The notice shall include details relating to any Construction Certificate issued by a certifying authority, the appointed Principal Certifying Authority (PCA), and the nominated 'principal contractor' for the building or subdivision works.
- (4) **Site Signage and Contact Numbers** - A sign displaying the contact details of the remediation contractor (and site supervisor if different to remediation contractor) shall be displayed on the site adjacent to the site access. This sign shall be displayed throughout the duration of the remediation works.
- (5) **Community Consultation** - Owners and/or occupants of premises adjoining and across the road from the site must be notified at least two days prior to the commencement of remediation works.
- (6) **Site Security** - The site shall be secured to ensure against unauthorised access by means of an appropriate fence.

#### 4.0 - During Construction

The following conditions of consent shall be complied with during the construction phase.

- (1) **Civil Engineering Inspections** - Where Council has been nominated as the Principal Certifying Authority, inspections by Council's Engineer are required to be carried out at the following stages of construction:
  - (a) prior to installation of sediment and erosion control measures;
  - (b) prior to backfilling pipelines and subsoil drains;
  - (c) prior to casting of pits and other concrete structures, including kerb and gutter, roads, accessways, aprons, pathways and footways, vehicle crossings, dish crossings and pathway steps;
  - (d) proof roller test of subgrade and sub-base;
  - (e) roller test of completed pavement prior to placement of wearing course;
  - (f) prior to backfilling public utility crossings in road reserves;
  - (g) prior to placement of asphaltic concrete;
  - (h) final inspection after all works are completed and "Work As Executed" plans, including work on public land, have been submitted to Council.

Where Council is not nominated as the Principal Certifying Authority, documentary evidence in the form of Compliance Certificates stating that all work has been carried out in accordance with Camden Council's Development Control Plan 2011 and Engineering Specifications must be submitted to Council prior to the issue of the Subdivision/Occupation Certificate.

- (2) **Fencing of the "Construction" On-site Detention/Sediment Control Basin** – Any "construction" on-site detention/ sediment control basin must be enclosed by a 2.1m high security fence of a type approved by the Consent Authority (Camden Council). Any such fence is to be continually maintained and is to remain in place until this facility is removed or reconstructed to a temporary/permanent water quality facility.
- (3) **Fill Material** – For importation and/or placement of any fill material on the subject site, a validation report and sampling location plan for such material must be submitted to and approved by the Principal Certifying Authority.

The validation report and associated sampling location plan must:

- (a) be prepared by a person with experience in the geotechnical aspects of earthworks, and
- (b) be endorsed by a practising Engineer with Specific Area of Practice in Subdivisional Geotechnics, and
- (c) be prepared in accordance with:

For Virgin Excavated Natural Material (VENM):

- (i) the Department of Land and Water Conservation publication "Site investigation for Urban Salinity", and
- (ii) the Department of Environment and Conservation - Contaminated Sites Guidelines "Guidelines for the NSW Site Auditor Scheme (Second Edition) - Soil Investigation Levels for Urban Development Sites in NSW".
- (d) confirm that the fill material:
- (i) provides no unacceptable risk to human health and the environment;
- (ii) is free of contaminants;
- (iii) has had salinity characteristics identified in the report, specifically the aggressiveness of salts to concrete and steel (refer Department of Land and Water Conservation publication "Site investigation for Urban Salinity");
- (iv) is suitable for its intended purpose and land use; and
- (v) has been lawfully obtained.

Sampling of VENM for salinity of fill volumes:

- (e) less than 6000m<sup>3</sup> - 3 sampling locations,
- (f) greater than 6000m<sup>3</sup> - 3 sampling locations with 1 extra location for each additional 2000m<sup>3</sup> or part thereof.

For (e) and (f) a minimum of 1 sample from each sampling location must be provided for assessment.

Sampling of VENM for Contamination and Salinity should be undertaken in accordance with the following table:

Classification of Fill Material	No of Samples Per Volume	Volume of Fill (m <sup>3</sup> )
Virgin Excavated Natural Material	1 (see Note 1)	1000 or part thereof

**Note 1:** Where the volume of each fill classification is less than that required above, a minimum of 2 separate samples from different locations must be taken.

(4) **Site Management (No Nuisance Creation)** - The developer must carry out work at all times in a manner which will not cause a nuisance to owners and occupiers of adjacent properties by the generation of unreasonable noise dust or other activity.

(5) **Hours of Operation** - All remedial work shall be conducted within the following hours:

Construction works shall be restricted to within the hours of 7.00am to 5.00pm, Monday to Friday, and on Saturday within the hours of 8.00am to 4.00pm inclusive, with no work on Sundays and Public Holidays.

Demolition and excavation works shall be restricted to within the hours of 8.00am to 5.00pm, Monday to Friday only. (Excavation work includes the use of any excavation machinery and the use of jackhammers, rock breakers, excavators, loaders and the like, regardless of whether the activities disturb or alter the natural state of the existing ground stratum or are breaking up/removing materials from the site).

The site supervisor and excavator shall display, on-site, their twenty-four (24) hour contact telephone number which is to be clearly visible and legible from any public place adjoining the site.

(6) **Soil and Water Management** - All remedial works shall be conducted in accordance with a Soil and Water Management Plan. A copy of the Plan shall be kept on-site and made available to Council officers on request. All erosion and sediment measures must be maintained in a functional condition throughout the remediation works. Erosion and sediment controls shall be implemented in accordance with the "Managing Urban Stormwater Soils and Construction" manual and Council's policy".

(7) **Noise** - Remediation work shall not give rise to an 'offensive noise' as defined in the *Protection of the Environment Operations Act 1997*.

Remediation work shall comply with the requirement of the NSW Industrial Noise Policy and the Environment Protection Authority' Environmental Noise Manual for the control of construction site noise that specifies that:

- (a) for a cumulative period of exposure to construction activity noise of up to 4 weeks, the Laeq (15 minute) emitted by the works to specific residences should not exceed the LA90 background level by more than 20 dBA;
  - (b) for a cumulative construction noise exposure period of between 4 to 26 weeks, the emitted Laeq (15 minutes) noise level should not exceed the LA90 level by more than 10 dBA;
  - (c) for a cumulative construction noise exposure period greater than 26 weeks, the emitted Laeq (15 minute) noise level should not exceed the LA90 level by more than 5 dBA.
- (8) **Air Quality (Dust and Odours)** - Dust emissions shall be confined within the site boundary.
- (9) **Remediation Works Inspection** - A qualified Environmental Consultant or Scientist will be required to frequently inspect the remediation works to confirm compliance with the RAP that includes all health and safety requirements.
- (10) **Salinity Management Plan** - All proposed construction works that includes earthworks, imported fill, landscaping, buildings, and associated infrastructure proposed to be constructed on the land must be carried out or constructed in accordance with the management strategies as contained within the Salinity Management Plan as contained under Section 2 of the report titled *Soil Contamination Assessment and Salinity Management Plan, Lot 1 Hilder Street, Elderslie*, prepared by Harvest Scientific Services Pty Ltd, Job Reference 200904, dated 01/05/2007.
- (11) **Construction Noise Levels** – Noise levels emitted during Construction works shall be restricted to comply with the construction noise control guidelines set out in Chapter 171 of the NSW EPA’s Environmental Noise Control Manual. This manual recommends;
- Construction period of 4 weeks and under:
- The L10 level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 20 dB(A).
- Construction period greater than 4 weeks:
- The L10 level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 10 dB(A).
- (12) **Dust Control** - Potential dust sources on-site must be minimised through the maintenance of vegetation cover and the use of water sprays to suppress dust from exposed areas during periods of dry and/or windy weather.
- (13) **Unexpected Finds Contingency (General)** - Should any further suspect materials (identified by unusual staining, odour, discolouration or inclusions such as building rubble, asbestos, ash material etc) be encountered during any stage of earthworks/site preparation/ construction, then such works must cease immediately until a qualified Environmental Consultant has been contacted and

has conducted a thorough assessment. In the event that contamination has been identified as a result of this assessment and remediation is required, site works must cease in the vicinity of the contamination and the Consent Authority must be notified immediately.

Where remediation work is required, the Applicant will be required to comply fully with Council's Policy - Management of Contaminated Lands with regard to obtaining consent for the remediation works.

- (14) **Remediation Works** - All works proposed as part of the Remediation Action Plan that includes remediation, excavation, stockpiling, on-site and off-site disposal; and that includes storage, cut, fill, backfilling, compaction, monitoring, validations, site management and security must be undertaken in accordance with the report titled Remediation Action Plan, Oxley and Herbert Rivulets - Riparian Zone, Camden Valley Way, Hilder Street and Camden By-Pass, Elderslie Release Area, prepared by GeoEnviro Consultancy Pty Ltd, reference JE04210A-r2, dated August 2004. .

Any variation or modification to the Remedial Action Plan in terms of compliance work must be requested from the Consent Authority (Camden Council) in writing prior to validation. With regard to remediation work, any proposed variation of works must be approved by the Consent Authority (Camden Council) in writing prior to the works being undertaken.

#### 5.0 - Subdivision Certificate

The following conditions of consent shall be complied with prior to the Council or an Accredited Certifier issuing a Subdivision Certificate.

(1) **Section 94 Contributions – Stage 1:**

- (a) **Section 94 Contributions** - Pursuant to Camden Contributions Plan 2011 adopted in April 2012, a contribution must be paid to Council of \$7,110 per additional lot or dwelling for **Open Space, Recreation & Community Land**.

The contribution must be indexed by the methods set out in Paragraph 2.15.2 of the plan and paid Prior to the issue of a Subdivision Certificate.

The monetary contribution may at the sole discretion of Council be offset by the value of land transferred to Council or by works in kind. Such works cannot commence until an agreement is made with Council pursuant to the Contributions Plan. If such an agreement is to be undertaken, it must be signed prior to the release of a Subdivision Certificate.

- (b) **Section 94 Contributions** - Pursuant to Camden Contributions Plan 2011 adopted in April 2012, a contribution must be paid to Council of \$9,486 per additional lot or dwelling for **Recreation & Community Facilities, Volunteer Emergency Services Facilities and Plan Preparation & Administration Services**.

The contribution must be indexed by the methods set out in Paragraph 2.15.1 of the plan and paid Prior to the issue of a Subdivision Certificate.

- (c) **Section 94 Contributions** - Pursuant to Camden Contributions Plan 2011 adopted in April 2012, a contribution must be paid to Council of \$39,795 per additional lot or dwelling for **Drainage, Roadworks, Traffic Facilities, Open Space Embellishment and Masterplan.**

The contribution must be indexed by the methods set out in Paragraph 2.15.1 of the plan and paid prior to the issue of a Subdivision Certificate.

The monetary contribution for drainage, roadworks, traffic facilities, open space embellishment and Masterplan may at the sole discretion of Council be offset by the value of land transferred to Council or by works in kind. Such works cannot commence until an agreement is made with Council pursuant to the Contributions Plan. If such an agreement is to be undertaken, it must be signed prior to the release of a Subdivision Certificate.

(2) **Section 94 Contributions – Stage 2:**

- (a) **Section 94 Contributions** - Pursuant to Camden Contributions Plan 2011 adopted in April 2012, a contribution must be paid to Council of \$7,110 per additional lot or dwelling for **Open Space, Recreation & Community Land.**

The contribution must be indexed by the methods set out in Paragraph 2.15.2 of the plan and paid Prior to the issue of a Subdivision Certificate.

The monetary contribution may at the sole discretion of Council be offset by the value of land transferred to Council or by works in kind. Such works cannot commence until an agreement is made with Council pursuant to the Contributions Plan. If such an agreement is to be undertaken, it must be signed prior to the release of a Subdivision Certificate.

- (b) **Section 94 Contributions** - Pursuant to Camden Contributions Plan 2011 adopted in April 2012, a contribution must be paid to Council of \$9,486 per additional lot or dwelling for **Recreation & Community Facilities, Volunteer Emergency Services Facilities and Plan Preparation & Administration Services.**

The contribution must be indexed by the methods set out in Paragraph 2.15.1 of the plan and paid Prior to the issue of a Subdivision Certificate.

- (c) **Section 94 Contributions** - Pursuant to Camden Contributions Plan 2011 adopted in April 2012, a contribution must be paid to Council of \$39,795 per additional lot or dwelling for **Drainage, Roadworks, Traffic Facilities, Open Space Embellishment and Masterplan.**

The contribution must be indexed by the methods set out in Paragraph 2.15.1 of the plan and paid prior to the issue of a Subdivision Certificate.

The monetary contribution for drainage, roadworks, traffic facilities, open space embellishment and Masterplan may at the sole discretion of Council be offset by the value of land transferred to Council or by works in kind. Such works cannot commence until an agreement is made with Council pursuant to the Contributions Plan. If such an agreement is to

be undertaken, it must be signed prior to the release of a Subdivision Certificate.

(3) **Section 94 Contributions – Stage 3:**

- (a) **Section 94 Contributions** - Pursuant to Camden Contributions Plan 2011 adopted in April 2012, a contribution must be paid to Council of \$7,110 per additional lot or dwelling for **Open Space, Recreation & Community Land**.

The contribution must be indexed by the methods set out in Paragraph 2.15.2 of the plan and paid Prior to the issue of a Subdivision Certificate.

The monetary contribution may at the sole discretion of Council be offset by the value of land transferred to Council or by works in kind. Such works cannot commence until an agreement is made with Council pursuant to the Contributions Plan. If such an agreement is to be undertaken, it must be signed prior to the release of a Subdivision Certificate.

- (b) **Section 94 Contributions** - Pursuant to Camden Contributions Plan 2011 adopted in April 2012, a contribution must be paid to Council of \$9,486 per additional lot or dwelling for **Recreation & Community Facilities, Volunteer Emergency Services Facilities and Plan Preparation & Administration Services**.

The contribution must be indexed by the methods set out in Paragraph 2.15.1 of the plan and paid Prior to the issue of a Subdivision Certificate.

- (c) **Section 94 Contributions** - Pursuant to Camden Contributions Plan 2011 adopted in April 2012, a contribution must be paid to Council of \$39,795 per additional lot or dwelling for **Drainage, Roadworks, Traffic Facilities, Open Space Embellishment and Masterplan**.

The contribution must be indexed by the methods set out in Paragraph 2.15.1 of the plan and paid prior to the issue of a Subdivision Certificate.

The monetary contribution for drainage, roadworks, traffic facilities, open space embellishment and Masterplan may at the sole discretion of Council be offset by the value of land transferred to Council or by works in kind. Such works cannot commence until an agreement is made with Council pursuant to the Contributions Plan. If such an agreement is to be undertaken, it must be signed prior to the release of a Subdivision Certificate.

- (2) **Section 88b Instrument** - The developer must prepare a Section 88B Instrument for approval by the Principal Certifying Authority which incorporates the following easements and restrictions to user:

- (a) Easement for services.
- (b) Easement to drain water.
- (e) Easement for water quality.

- (f) Restriction as to user of Lots 27 to 31 (inclusive) – The boundary fences of lots 27 to 31 (inclusive) with Lot 2, DP 558686 and Lot 1, DP 518913 are to be a timber paling fence only. Variations (i.e. Colorbond) are not acceptable.
- (g) Restriction as to user of Lot 27:
  - (i) Any dwellings on this lot must be designed to have frontage and address the street frontages of both Hilder Street and the road proposed to be named “Peter Street” on the approved subdivision plan;
  - (ii) Any fence fronting Hilder Street on this lot is to be a low, plain open fence and must return along the boundary of Lot 1, DP 518913 until the front façade of the dwelling located on Lot 1, DP 518913;
  - (iii) Any dwelling façade on this lot addressing Hilder Street must have an asymmetrical appearance, with either a gable or hipped roof or a combination of both, and a verandah; and
  - (iv) Garage and driveway access to the property is only permitted from the road proposed to be named “Peter Street” on the approved subdivision plan.
- (h) Restriction as to user of Lots 27 to 29:
  - (v) Any two storey component of dwellings on these lots is to be positioned predominantly toward the road proposed to be named “Peter Street” on the approved subdivision plan, maintaining a minimum setback of 6m from the boundary adjoining Lot 1, DP 518913; and
  - (vi) Any two storey component of dwellings on these lots is to be coloured in neutral earth tones to blend into the background.
- (i) Public positive covenant, over the proposed lot/s containing the:
  - (I) modified “construction” on-site detention/sediment control basin and water quality facility, and/or
  - (II) permanent water quality facility,for the maintenance, repair and insurance of such a facility.
- (j) Restriction as to user of all lots within Stages 1, 2 and 3 that all proposed construction works that includes earthworks, imported fill, landscaping, buildings, and associated infrastructure proposed to be constructed on the land must be built in accordance with the Salinity Management Plan as contained under Section 2 of the report titled *Soil Contamination Assessment and Salinity Management Plan, Lot 1 Hilder Street, Elderslie*, prepared by Harvest Scientific Services Pty Ltd, Job Reference 200904, dated 01/05/2007. Compliance with the Plan must be demonstrated for each residential development Application.

(3) **Services** - Prior to the issue of any Subdivision Certificate the following service authority certificates/documents must be obtained and submitted to the Principal Certifying Authority for inclusion in any Subdivision Certificate application:

- (a) a certificate pursuant to s.73 of the *Sydney Water Act 1994* stating that both water and sewerage facilities are available to each allotment.

Application for such a certificate must be made through an authorised Water Servicing Co-ordinator.

- (b) a Notification of Arrangements from Endeavour Energy.

- (c) Written advice from an approved telecommunications service provider (Telstra, Optus etc) stating that satisfactory arrangements have been made for the provision of underground telephone plant within the subdivision/development.

(4) **Show Easements on the Plan Of Subdivision** - The developer must acknowledge all existing easements on the final plan of subdivision.

(5) **Show Restrictions on the Plan Of Subdivision** - The developer must acknowledge all existing restrictions on the use of the land on the final plan of subdivision.

(6) **Stormwater Destination** – Prior to the issue of the Subdivision Certificate, pit lintels must be labelled with permanent stencilled signs in accordance with Camden Council's current Engineering Design Specifications.

(7) **Surveyor's Report** - Prior to the issue of the Subdivision Certificate a certificate from a registered surveyor must be submitted to the Certifying Authority, certifying that all drainage lines have been laid within their proposed easements. Certification is also to be provided stating that no services or accessways encroach over the proposed boundary other than as provided for by easements as created by the final plan of subdivision.

(8) **Value of Works** - Prior to release of the Subdivision Certificate, the applicant must submit itemised data and value of civil works for the inclusion in Council's Asset Management System. The applicant can obtain from Council upon request, a template and requirements for asset data collection.

(9) **Bond for Final Layer of Asphaltic Concrete** - Prior to the issue of the Subdivision Certificate the applicant is to lodge a monetary bond with Camden Council for the placement of the final layer of asphaltic concrete wearing course on all proposed public roads within this subdivision.

The bond is to be in the form of cash or an unconditional bank guarantee in favour of Camden Council, and must be equivalent to 130% of the value of the works, including the cost of all reinstatement works, with the estimated cost of such work being determined by reference to Council's current Schedule of Fees and Charges.

The work is to be completed within 5 years from the registration of the Subdivision Certificate/Plan of Subdivision or when Occupation Certificates for

dwellings associated with 80% of the lots created by a subdivision adjoining such road have been issued.

Camden Council reserves the right to claim against the bond at any time.

**Note 1:** An administration fee, in accordance with Council's current Schedule of Fees and Charges, is applicable for the processing of bonds.

**Note 2:** It should be noted that Council will not refund/release the bond until;

- (a) the work has been completed to the requirements of Camden Council, and/or
- (b) where applicable a suitable replacement bond is submitted.

- (10) **Works as Executed Plan** - Prior to the issue of any Subdivision Certificate, a works-as-executed plan in both hard copy and electronic form (.dwg files or equivalent) in accordance with Camden Council's current Engineering Construction Specifications.
- (11) **Final Layer Asphaltic Concrete (Roads)**- The final asphaltic concrete wearing course layer must not be placed on the carriageway of any road until:
  - (a) a Subdivision Certificate has been issued by the Principal Certifying Authority, Camden Council,
  - (b) the Subdivision Certificate/Plan of Subdivision has been registered with the Department of Lands - Land and Property Information,
  - (c) the terms of any bond for such work have been confirmed to be satisfied by the Roads and Maritime Services and Camden Council, and
  - (d) a Public Road Activity (Roadworks) application has been submitted to and approved by the Roads and Maritime Services and Camden Council.
- (12) **Subdivision Certificate Release** - The issue of a Subdivision Certificate is not to occur until all conditions of this consent have been satisfactorily addressed and all engineering works are complete unless otherwise approved in writing by the Principal Certifying Authority.
- (13) **Plot Watercourses** - The developer must chart the natural watercourse on the subdivision.
- (14) **Construction of Permanent Water Quality Facilities** – A permanent water quality facility must be constructed: -
  - (a) in accordance with the approved plans and Elderslie Water Cycle Master Plan,
  - (b) to the requirements of Camden Council,
  - (c) when Occupation Certificates for dwellings associated with 80% of the lots have been issued.

Any earth batters associated with such a facility must be compacted and stabilised to ensure that the integrity of the batters is continually maintained.

- (15) **Permanent Water Quality Facility Operation, Maintenance and Monitoring Manual/s** - Prior to the issue of any Subdivision Certificate, Operation and Maintenance and Monitoring Manual/s for the permanent water quality facilities must be submitted to the Principal Certifying Authority for approval.

The manuals must be prepared by a suitably qualified professional in accordance with the requirements of the water quality criteria contained within the approved Water Cycle Master Plan for Elderslie and must provide detailed information regarding the following:

- (a) vegetation management
- (b) removal of noxious weeds
- (c) replacement of filter medium
- (d) water quality

Sampling - water quality sampling should be undertaken for all relevant Water quality parameters contained within the approved "Water Cycle Master Plan". Samples are to be taken from the inlet point of the "on-site detention / sediment Control Basin" and the outlet point of the "Water Quality Facility".

Frequency - The frequency of sampling for each facility must include quarterly sampling. Where prolonged drought conditions exist and water is unavailable for testing on a quarterly basis then a minimum of 4 samples must be taken (within a 12 month period) when water is available with a minimum of 2 months between sampling periods.

Discussion of sampling results - A comparison of results with respect to the level of compliance with water quality targets/ criteria will be required and include recommendations for corrective action where non-compliance is determined.

In that regard the manual must indicate that water quality sampling and monitoring report/s must be submitted to Camden Council at the commencement of monitoring and six (6) months after the initial sampling.

Methodology for attainment of the required water quality discharge parameters - Methodology/measures are required to ensure that the subject temporary facilities remain functional/operational until such time as they are decommissioned and replaced/reconstructed as a permanent water quality facility.

- (16) **Modified "Construction" On-site Detention/Sediment Control Basin and Water Quality Facility, Operation, Maintenance and Monitoring Manual** - Prior to the completion of the modified "construction" on-site detention/sediment control basin and water quality facility, an Operation, Maintenance and Monitoring Manual must be submitted to the Principal Certifying Authority for approval.

The manual must be prepared by a suitably qualified professional in accordance with the requirements of Managing Urban Stormwater – Soils and Construction, Volume 1, 4th Edition, March 2004 as produced by Landcom and must provide detailed information regarding the following:

- (a) method of desilting
- (b) method of removal of sediment and gross pollutants

- (c) method of removal of noxious weeds.

Water quality sampling should be undertaken for all relevant water quality parameters contained within the approved “Water Cycle Master Plan”. Samples are to be taken from the inlet point of the “on-site detention / sediment Control Basin” and the outlet point of the “Water Quality Facility”.

The frequency of sampling for each facility must include quarterly sampling. Where prolonged drought conditions exist and water is unavailable for testing on a quarterly basis then a minimum of 4 samples must be taken (within a 12 month period) when water is available with a minimum of 2 months between sampling periods.

Water quality sampling and monitoring results/reports are required and must be submitted to the Council within one (1) month after each complete quarterly sampling period.

- (17) **Soil Erosion and Sediment Control Plans** - Soil erosion and sediment control plans must be designed and installed in accordance with Camden Council’s current Engineering Design Specifications.

- (18) **Bond for the Decommissioning of the Modified “Construction” On-site Detention/ Sediment Control Basin and Water Quality Facility** - Prior to the issue of any Subdivision Certificate a bond for:

- (a) the conversion of the modified “construction” on-site detention/sediment control basin and water quality facility to a temporary/permanent water quality facility, and/or
- (b) the removal of the modified “construction” on-site detention/ sediment control basin and water quality facility and reinstatement of the area in accordance with the approved plan must be lodged with Camden Council.

The bond:

- (a) applies only where such a facility is located in existing and/or proposed public land,
- (b) has been determined at an amount of 150% of the total value of works, and
- (c) will be retained by Council until:
  - (i) such works have been completed in accordance with the approved plans and to the requirements of Council,
  - (ii) a permanent water quality facility has been provided in a public infrastructure location approved by Council, and
  - (iii) the completion of such work has been confirmed, in writing, by Council.

- (19) **Modification of the “Construction” On-site Detention/ Sediment Control Basin** – After three (3) months of the registration of the Subdivision

Certificate/Plan of Subdivision by the Department of Lands – Land and Property Information, the “construction” on-site detention/sediment control basin must be modified to include a water quality component.

The water quality component must have the following:

- (a) a filter medium must be included in the design.
  - (b) 50% of the total number of “macrophyte” type plants, the details of which are noted on the approved plans, must be planted within the filter medium area.
- (20) **Street Lighting** - Street lighting must be provided within the subdivision in accordance with the relevant Australian standards, Endeavour Energy approval and the satisfaction of the Principal Certifying Authority. All such work must be complete and operative prior to the issue of the Subdivision Certificate.
- (21) **Services** - All services (water, sewer, electricity, telephone and gas) to all allotments are to be installed and fully operational prior to the subdivision certificate being issued.
- (22) **Street Trees, their tree root barrier guards, protective guards and bollards** - During any earthworks, construction works or other development works relating to this Consent, the Applicant is advised:
- (a) That any nature strip street trees, their tree guards, protective bollards, garden bed surrounds or root barrier installation which are disturbed, relocated, removed, or damaged must be successfully restored at the time the damage or disturbance occurred.
  - (b) Any repairs, relocations, reinstallations or replacements needed to the street trees, bollards, garden bed surrounds, tree guards or existing root guard barriers, are to be completed with the same type, species, plant maturity, materials and initial installation standards and the works and successful establishment of the trees carried out prior to the issue of the Subdivision Certificate.
- (23) **Installation of Street Trees and their protective guards and bollards** -
- (a) The Applicant is advised that all nature strip street trees are to be installed with the following installation requirements.
  - (b) All street trees are to have well constructed tree guard protection installed. A minimum requirement is the installation of at least 3 bollards per street tree. The bollards are to be installed approximately 1m from the main stem of the tree. The bollards are to be sourced in minimum 1.8m length, which will allow for 1.2m above ground exposure and .6m buried support. The bollards are to be timber (or other acceptable composite material) and a minimum 150mm x 150mm width. Timber bollards are to be a durability minimum of H4 CCA.
  - (c) All street trees are to have appropriate root barrier installation to the kerb.

- (d) Prior to the issue of the Subdivision Certificate, any nature strip street trees, their tree guards, protective bollards, garden bed surrounds or root barrier installation which are disturbed, relocated, removed, or damaged must be successfully restored.
  - (e) Any repairs, relocations, installations or replacements needed to the street trees, bollards, garden bed surrounds, tree guards or existing root guard barriers, are to be completed with the same type, species, plant maturity, materials and initial installation standards and the works and successful establishment of the trees carried out prior to the issue of the Subdivision Certificate.
  - (f) All street trees are to be sourced in a minimum 75 litre container size, are not multi-stemmed and can stand alone without the need for staking.
- (24) **Works-As-Executed Plan** - A works as executed plan that identifies the areas requiring remediation and the extent of the works undertaken (that includes any encapsulation work) must be prepared by a registered surveyor and be submitted to the Consent Authority (Camden Council) with the final Site Validation Report.
- (25) **Site Validation Report** – A validation report incorporating a notice of completion must be submitted to the Consent Authority in accordance with the requirements of clause 7.2.4 (a) - (d) and clause 9.1.1 of Council’s adopted policy and clause 17 & 18 of SEPP 55 for the completed remediation works. The notice/s or report/s must confirm that all decontamination and remediation works have been carried out in accordance with the remediation plan and must be submitted to the Consent Authority within 30 days following the completion of the works. The validation report must be reviewed by an Officer of the Environment and Health Branch and be approved in writing prior to the issue of any subdivision certificate applicable to the land covered by the RAP.
- (26) **Permanent Drainage Works** – Prior to the issue of a Subdivision Certificate for “Stage 2” of this development (as identified on the approved plans, and following the completion of “Stage 1”, as identified on the approved plans), the works previously approved within proposed Lot 33 (riparian corridor) as part of Development Consent 1025/2003 must be installed and all required inspections by Council completed.

**END OF CONDITIONS**

**RECOMMENDED**

**That Council approve Development Application 1387/2011 for a residential subdivision at No 65 (Lot 1, DP 612821) Hilder Street, Elderslie as a Deferred Commencement Consent subject to the Schedule A and Schedule B draft development consent conditions shown above.**

ATTACHMENTS

1. Proposed Plans
2. Elderslie Master Plan
3. Submissions - *Supporting Document*



Sheet No.	Date	Description
C	06-06-2012	AMENDMENT TO STAGES 1 AND 3 LOT LAYOUT
F	11-05-2012	AMENDMENT TO STAGING ADDITION OF SHEET 3
B	07-05-2012	AMENDMENTS TO LOTS 16 TO 29
D	02-05-2012	AMENDMENTS TO LOTS 16 TO 29
A	27-10-2011	ORIGINAL ISSUE

Client: CORFIELD	Drawn: AMD	Origin of Levels: PM 45788	Scale: 1:500
Designed by: T.H.	RL: 81.839	MOE SCALE: 25:09-2000	Scale: 1:500
Date of Drawing: 27-10-2011	Date of Survey: 16-06-2006		

Project:	HILDER STREET, ELDERSLIE
Sheet 1 of 3 sheets	
Ref:	0807892
STAGING PLAN - STAGE ONE - SUBDIVISION OF LOT 1 IN DP 612821	
Localities:	ELDERSLIE
L.C.A.:	CANBORN

John W. Day & Associates Pty Ltd	A.S.N. 8801 1977989
Project Engineer:	John W. Day
Project Manager:	John W. Day
Project Designer:	John W. Day
Project Checker:	John W. Day
Project Approver:	John W. Day
Project Engineer:	John W. Day
Project Manager:	John W. Day
Project Designer:	John W. Day
Project Checker:	John W. Day
Project Approver:	John W. Day

Attachment 1

ORD08

Attachment 1

ORD08



Rev	App	Date	Description
C	TH	06-06-2012	AMENDMENT TO STAGES 1 AND 3 LOT LAYOUT
F	TH	11-05-2012	AMENDMENT TO STAGING LOCATION OF SHEET 3
E	TH	07-05-2012	AMENDMENTS TO LOTS 16 TO 29
D	TH	02-05-2012	AMENDMENTS TO LOTS 16 TO 29
A	TH	27-10-2011	ORIGINAL ISSUE

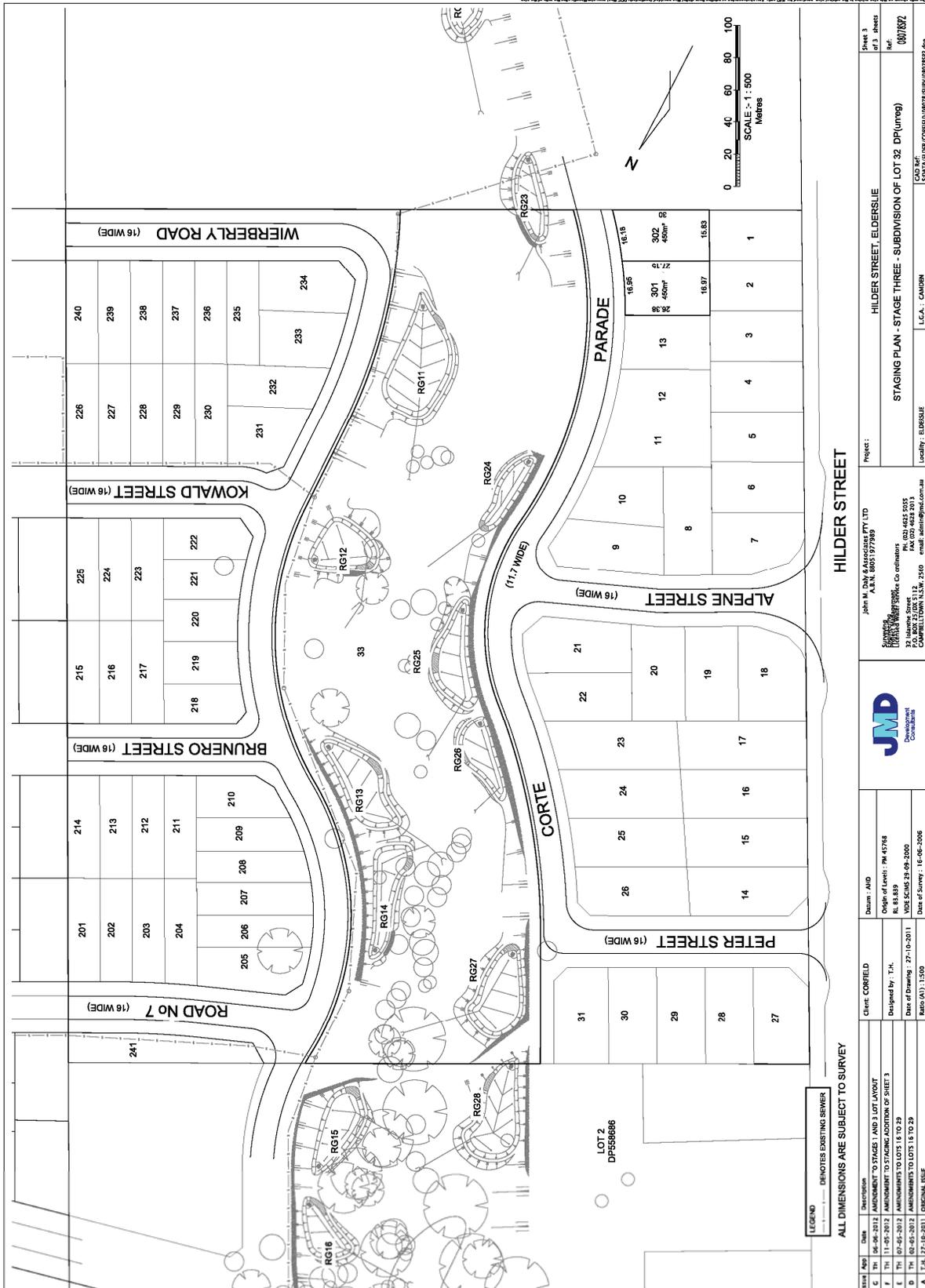
Client:	CORRELD	Drawn:	AND
Designed by:	T.H.	Origin of Layout:	PA 45764
Date of Drawing:	27-10-2011	WGS 84:	29-09-2000
Scale:	1:500	Date of Survey:	16-06-2006

Project:	HILDER STREET, ELDERSLIE
Sheet 2 of 3 sheets	
Ref:	0007892
STAGING PLAN - STAGE TWO - SUBDIVISION OF LOT 34 DP(ung)	
Localty:	ELDERSLIE
Localty:	L.L.C.A. - CAMPA
CAD Ref:	150A\PLANS\CORRELD\0007892\STAG\0007892.dwg

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LEGEND  
 --- DENOTES EXISTING SEWER

ALL DIMENSIONS ARE SUBJECT TO SURVEY

REV	DATE	DESCRIPTION
C	06-06-2012	AMENDMENT TO STAGES 1 AND 3 LOT LAYOUT
F	11-05-2012	AMENDMENT TO STAGING ADDITION OF SHEET 3
E	07-05-2012	AMENDMENTS TO LOTS 16 TO 29
D	02-05-2012	AMENDMENTS TO LOTS 16 TO 29
A	27-10-2011	ORIGINAL ISSUE

Client: CORFIELD	Datum: AMD
Designed by: T.H.	Origin of Levels: PM 45788
Date of Drawing: 27-10-2011	RL: 83.839
Ratio (A1): 1:500	MODE: CAD 23-09-2000
	Date of Survey: 16-06-2006



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Project: HILDER STREET, ELDERNSIE  
 STAGING PLAN - STAGE THREE - SUBDIVISION OF LOT 32 DP (unreg)  
 Locality: ELDERNSIE  
 L.C.A.: CAMBORN

Sheet 3 of 3 sheets  
 Ref: 0807892  
 1:500 Scale  
 SANTA ELISABETH/ELDERSIE/0807892/0807892.dwg

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Attachment 2





## ORDINARY COUNCIL

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**SUBJECT:** CAMDEN DCP AMENDMENTS - SECTION C9 HARRINGTON GROVE  
**FROM:** Director Governance  
**BINDER:** Planning Proposals - Amendment 8

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### PURPOSE OF REPORT

The purpose of this report is to provide feedback to Council on the public exhibition of the draft amendments for Section C9 (Harrington Grove) of the Camden DCP2009.

### BACKGROUND

At its meeting of 10 April 2012 Council resolved to adopt the Harrington Grove Planning Proposal (Amendment 8) and prepare and exhibit a DCP to reflect changes made as a result of the Planning Proposal.

Amendments to Section C9 (Harrington Grove) of the Camden DCP 2009 have been prepared to reflect these changes and were publicly exhibited from 13 June 2012 to 11 July 2012.

### MAIN REPORT

A draft Planning Proposal for Harrington Grove (Amendment 8) was sent to the DPI on 19 April 2012 for the plan to be made. The plan is expected to be gazetted in the next few weeks. As a result of the Planning Proposal, changes to Section C9 of the Camden DCP 2009 were exhibited. These changes included:

- Removal of reference to Precinct O being an equestrian precinct;
- Rewording of objectives of Precinct O to reflect a broader range of lot sizes;
- Changes to various maps to reflect the changes to Precinct J;
- Removal of reference to very large lots in Precinct J; and
- Addition of a control for Precinct I to require a covenant to be placed on lots. The covenant should include: retaining of significant vegetation; revegetation of the northern boundary of each property; and provide that rural type fencing is required for the northern boundary.

### Public Exhibition

The public exhibition of the draft amendments to Section C9 of the Camden DCP 2010 was undertaken from 13 June 2012 to 11 July 2012. The exhibition material was displayed at Narellan and Camden Customer Service Centres and Libraries and on Council's website. A notice of exhibition was also placed in the local paper on 13 June 2012 and 27 June 2012.

During the 28 day public exhibition period of the proposed amendments to Section C9 (Harrington Grove) of the Camden DCP 2009, no submissions were received addressing the exhibited amendments. However a submission was received on behalf of the developer of Harrington Grove.

### Submission to Exhibition

The submission received by DPS (Consultant Planners for the developer of Harrington Grove) is proposing further minor changes to the DCP. These include:

- Updated Harrington Grove DCP maps to include revised lot layouts for Precinct F and G as a result of a Planning Proposal.
- A change to Control 8(c) in C9.4 'Pedestrian and Cycle Network'. The amended control will read as:  
'Pedestrian and cycle share paths are to be provided in accordance with AustRoads Part 14 and locations are shown in Figure C35. These locations are indicative and subject to further detailed survey work and discussions with Council'.
- Changes to the Precinct Setback Table D11 in Part D, Section 2.3.4 of the DCP. Currently the table includes setbacks for Precincts A, B, C, D, E, H and K only. The amendment seeks to include setback provisions for Precincts F, G, I, J, L, M and O.

The revised maps will better reflect the changes resulting from the Planning Proposal. The revised control indicating the pedestrian and cycle paths location is indicative only and will help ensure that a DCP amendment is not required every time detailed survey work is undertaken for sections of the pathways. An amendment to Section D2.3.4 regarding setbacks provides setbacks for the new precincts that are consistent with the constructed areas of Harrington Grove. It is considered that these changes are minor in nature and will not require further exhibition.

The above amendments have been incorporated into the draft DCP Sections 9 and 10 and are **provided in Attachment 1 to this report**.

A DCP cannot be in force if the relevant Planning Proposal is not gazetted. Legal advice has been sought as to the best way to overcome legislative timing requirements for notifying the DCP. It is advised that Council can endorse the amendments and then delegate the decision to the General Manager to adopt the DCP following the gazettal of the Planning Proposal, which is anticipated within the next two months. Once the DCP amendment is adopted it can then be notified in the newspaper, at which time it will come into force.

### CONCLUSION

The exhibited amendments will help ensure that the Planning Proposal changes are reflected in Camden's DCP. The post exhibition amendments will also ensure the Planning Proposal changes are reflected in Camden's DCP, and that changes to the pedestrian and cycle paths location can occur when needed, and that the development is delivered in a consistent way. Because of the minor nature of the post exhibition amendments it is considered that further exhibition is not required.

### RECOMMENDED

**That Council:**

- 
- i. **adopt the amendments to the DCP as outlined in this report subject to the LEP being gazetted; and**
  - ii. **delegate to the General Manager the function of formally approving and publicly notifying the approval of the DCP in accordance with Clause 21 of the EPA Regulation once the Council has accurate knowledge of when the LEP will commence.**

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#### ATTACHMENTS

1. Post Exhibition Draft DCP changes

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Attachment 1

## C9 Harrington Grove

### C9.1 Introduction

Harrington Grove is located to the north of the existing Harrington Park Estate and is adjacent to the rural living allotments to the east of Macquarie Grove Road (Figure C29). The site is largely undeveloped and is bound by Camden Valley Way to the east, Cobbitty Road to the north and Macquarie Grove Road to the west. The Northern Road bisects Harrington Grove into two areas.

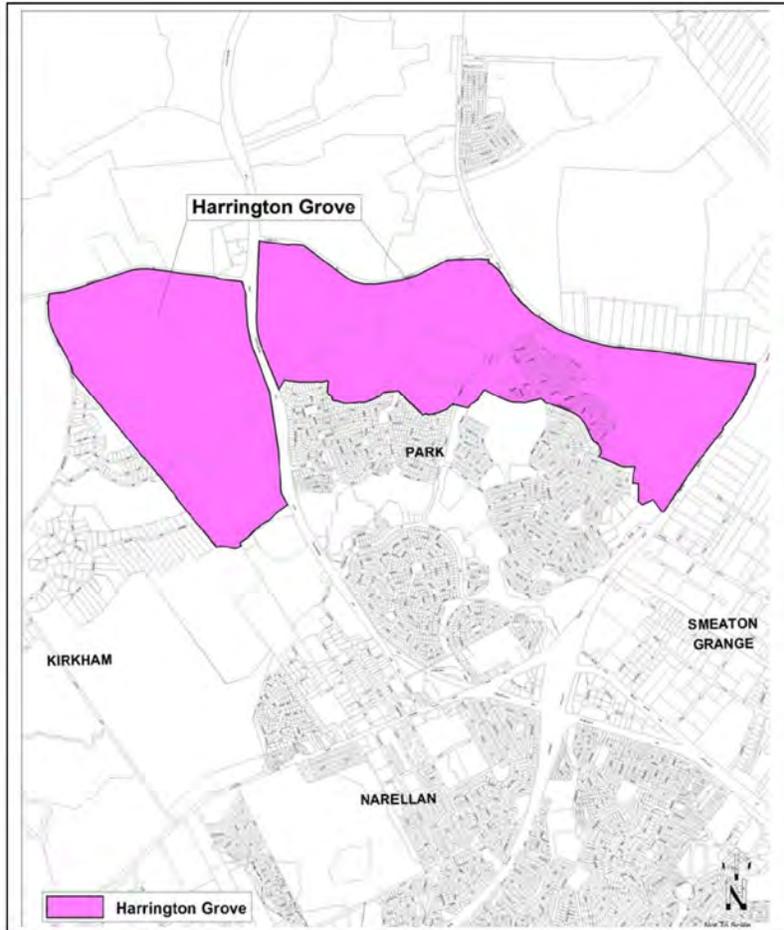


Figure C29 Harrington Grove Site and Location Plan

### Harrington Grove Planning Principles

Harrington Grove will provide a diverse range of environments focused on both urban development and conservation outcomes.

An ecological and open space corridor will be a key feature of the site. The corridor will extend from Macquarie Grove Road through the Orielton Homestead property broadly along the alignment of Cobbitty Creek. It will extend into the north-western section of the main part of the Harrington Park property, before traversing the northern part of that site through to Camden Valley Way. The corridor provides habitat for the conservation of Cumberland Plain Woodland and its associated flora and fauna in a large, contiguous land unit.

Over time, as the place transforms from a mix of bushland and rural pasture, it will progressively become part of a larger regional bio-diversity network, performing the function of an ecological corridor. It will do this by creating linkages to other lands with ecological value. The corridor will also provide recreational opportunities in the form of a walking trail which provides access to key points of visual interest such as hilltops and viewing points for the key heritage items.

A site will also be created at the top of Crear Hill on Harrington Park where a restaurant will be able to be provided. The design and scale of the restaurant and associated facilities such as parking areas will be in keeping with the bushland character of the setting. Particular attention will be paid to minimising the visual impact of any structures in this area.

The existing landscape corridor along Cobbitty Road and Macquarie Grove Road will be substantially preserved. Significant hedging and fence lines will be retained, and views across the landscape will be preserved. Areas of consolidated bushland will be preserved, restored and maintained over time. Appropriate traffic management measures will be implemented within this context.

Harrington Grove and Orielton will also incorporate areas of housing. These will vary in character and scale across the site, and are separately described below.

Areas zoned RI General Residential located in the central part of the Orielton property, and generally on the eastern side of Harrington Grove, will reflect a lower density residential character of detached houses on large lots within a pedestrian friendly environment.

These areas will feature one and two storey dwelling houses on generously sized allotments, with private rear yards and open front gardens. All dwellings will be designed to address the streets and public spaces such as parks, and will be designed to achieve high levels of water and energy efficiency. The design of dwellings will reflect the natural setting of the properties, but will also be identifiably urban in character.

A site will be created within the central portion of Harrington Grove to facilitate the creation of a country club. This facility will provide a range of amenities to residents of Harrington Grove, which may include recreation facilities, meeting rooms, restaurants, bars, gymnasiums, community facilities, child care, associated office space and a sales office and other similar uses.

Native vegetation within parks and drainage lines will be preserved, and generally replicated in the landscaped areas of the residential development area. Plantings will be strongly reflective of the character of the surrounding bushland.

Other areas, zoned E4 Environmental Living, will also incorporate residential dwellings, but in a manner which is more sympathetic to the bushland environment. These dwellings are defined as eco-residential housing. This zone applies to the area to the north of Cobbitty Creek, adjacent to Cobbitty Road, and several areas generally located in the central part of the main Harrington Park site.

These places will be characterised by housing which is less densely developed, and approaching a more rural character. Dwellings and roads will be sensitively located in an effort to preserve as much existing vegetation as possible. Housing designs will be particularly reflective of the bushland settings of these areas, with materials and designs reflecting the need to minimise visual impact and address bushfire risks.

The bushland character of these places will be further enhanced in two discrete areas, located in the north-western and north-eastern corners of the main Harrington Park property. These dwellings will be located within a bushland setting, and materials and colours will reflect the muted tones of that environment. Dwellings will be located in defined building envelopes, and landscaping will be of an unobtrusive nature, relying primarily on existing surrounding vegetation. In the north-eastern corner of Harrington Park, the place will also be characterised by dwellings which generally seek to preserve existing vegetation, reflecting the ecological corridor role that this land plays. In both these locations, setbacks required for bushfire protection will be achieved without the removal of significant stands of existing vegetation.

Land is also set aside to provide curtilages for the two important heritage properties, Harrington Park and Orielton. These properties will remain prominent landmarks within the overall place, and will continue to be conserved in accordance with the approved Conservation Management Plans. Views to and from the homesteads will be preserved, as will their surrounding landscape and associated buildings. Dwellings proposed

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in the areas adjacent to the curtilages set aside for these homesteads will be sympathetic to the heritage significance of these places.

A small area located to the south and west of the Oriellon Homestead will be developed for low density residential purposes. This place will provide opportunities for housing in defined areas above the Narellan Creek flood line. Housing designs will reflect the visual prominence of this area, by using visually unobtrusive colours, and height, scale and mass which seeks to minimise visual impacts.

**Objectives**

1. Facilitate the development of Harrington Grove in a way that is environmentally sensitive and responds positively to the site's heritage and scenic character, while conserving large sections of regionally significant remnant bushland.
2. Provide a viable regionally significant habitat corridor in an east – west direction across the site, that retains the high value remnant Cumberland Plain Woodland and includes riparian corridors.
3. Protect the scenic character and significant views.
4. Provide appropriate curtilages in accordance with the Conservation Management Plans around the areas of heritage significance.
5. Facilitate the ongoing management and conservation of the natural and cultural heritage of the site.
6. Avoid development in areas of high salinity potential, areas with excessive steepness and associated instability.
7. Ensure future residents of the site are able to conveniently access employment, shops, educational, community facilities and recreational opportunities both within the site and in the surrounding area.
8. Ensure that development is staged in a manner which is efficient in terms of infrastructure use and provision.

Attachment 1

### **C9.2 Structure Plan**

The Harrington Grove Indicative Structure Plan has been prepared as a strategic plan to demonstrate the vision for the future development of the subject land (Refer Figure C30). The Indicative Structure Plan was prepared in conjunction with the preparation of the Local Environmental Study and reflects the background studies and Government Agency negotiations.

The Indicative Structure Plan establishes a framework for the urban form and defines the critical components to satisfy the road pattern, land uses, conservation, drainage, transport and social infrastructure requirements. More detailed planning and design is required through the preparation of Precinct Plans prior to Development Applications being considered by Council.

The Indicative Structure Plan illustrates the road network and the proposed intersection locations along The Northern Road, Cobbitty Road and Camden Valley Way. This includes connections to existing roads within Harrington Park. The Indicative Structure Plan also illustrates a general road layout for the residential zoned land.

The Indicative Structure Plan also shows the land use activity across the subject land and the land within public ownership. This includes the area to the north and west of the Orielson Homestead, the land incorporating the southern face of Crear Hill (including Crear Hill) and the regional pedestrian & cycle sharepath traversing the subject land.

#### **Precinct Areas**

The Indicative Structure Plan has been divided into 15 Precincts. For the purpose of clarity, precincts have been grouped into the following Precinct Areas (Refer Figure C31).

1. Development Precincts
  - (a) R1 General Residential
  - (b) E4 Environmental Living
  - (c) R5 Large Lot Residential
2. Environmentally Sensitive Precincts
3. Heritage Homestead Precincts
4. Recreation Precincts



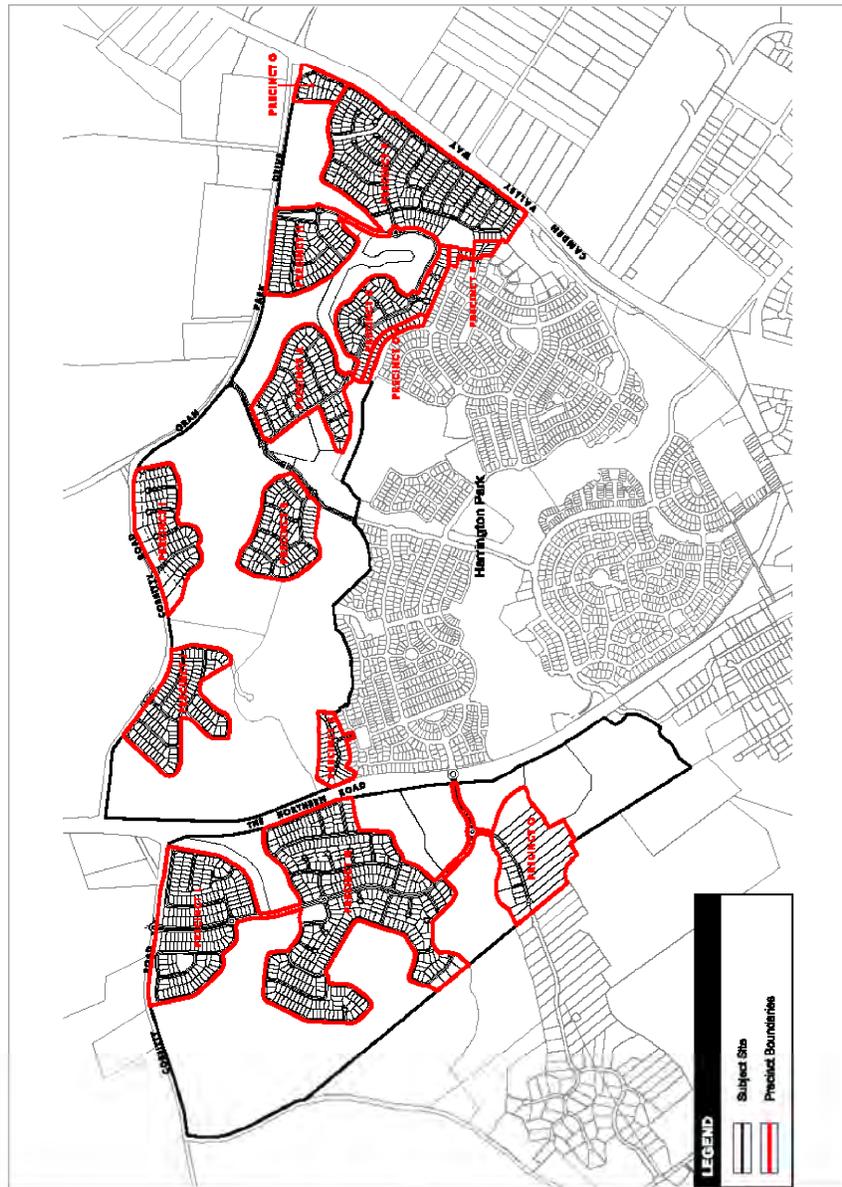


Figure C31 Harrington Grove Structure Plan Precincts

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### C9.3 Street Network and Design

#### Background

This subsection establishes the road hierarchy (Figure C32) for and minimum street cross-sections for Harrington Grove.

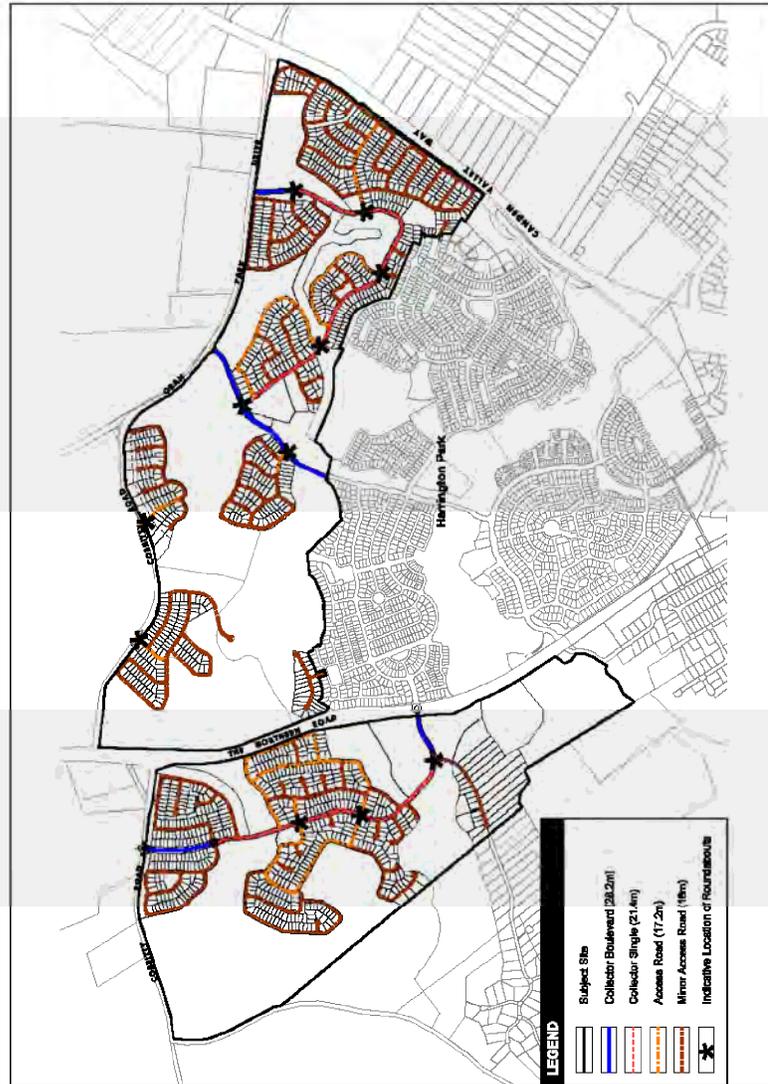
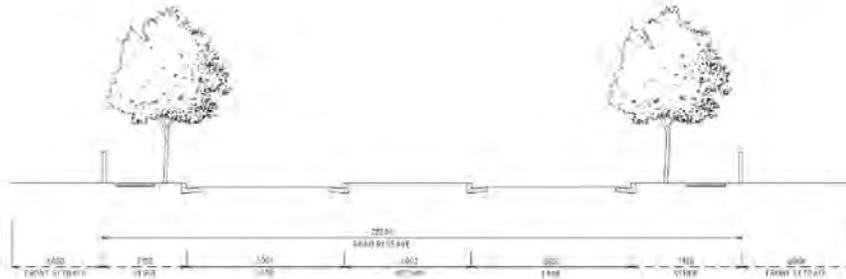


Figure C32 Harrington Grove Indicative Road Hierarchy Plan

**Figure C32.1 Collector Road (Dual Carriageway).**

The Dual Carriageway Collector Road links lesser roads to the major road network. The 28.2m road reserve is adequate to accommodate the road pavement, bus bays, shared paths, median, and landscaping.



**Collector Road (Dual Carriageway)**

*Note: The median may be reduced to 2m within the existing Harrington Parkway road reserve. Harrington Parkway to be constructed in accordance with the provisions detailed in the following section.*

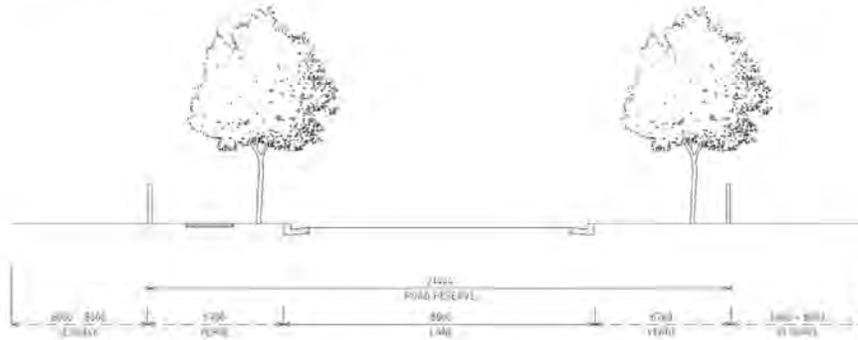
Road Type	Carriageway	Footway Width	Footpath Width	Road Reserve (Minimum)	Design Considerations
Collector Road (Dual Carriageway)	2 x 5m	14.2m total (2 x 7.1m) <ul style="list-style-type: none"> <li>Indented bus bays are to be provided where identified on Figure C36</li> </ul>	2.5m Dual use path (Refer Figure C35 for location of path)	28.2m <ul style="list-style-type: none"> <li>Reserve width may be reduced by reducing the verge width where abutting Community Woodland and open space.</li> </ul>	<ul style="list-style-type: none"> <li>Indented bus bays (2.25m deep).</li> <li>Designed to accommodate traffic flows up to 6,000 vpd.</li> <li>Direct lot access prohibited.</li> <li>Provision of a shared path on at least one side or in adjoining open space.</li> </ul>

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**Figure C32.2 Collector Road (Single Carriageway)**

This road provides through traffic movement and access to residential lots.

The reserve and pavement width caters for two lanes of traffic. The road reserve and pavement width can accommodate a bus service, on-street parking within the pavement area or indented parking bays within the verge area.



**Collector Road (Single Carriageway)**

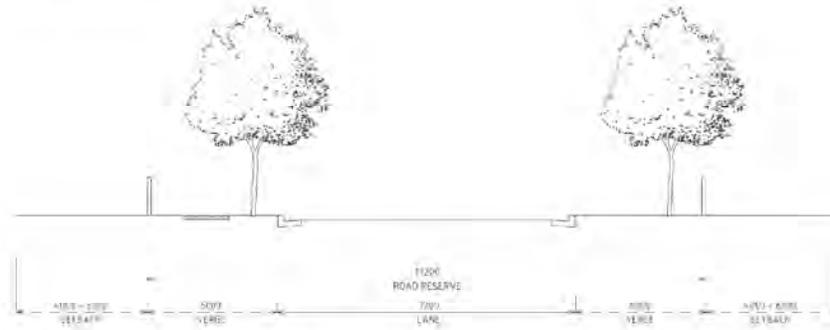
not to scale

Road Type	Carriageway	Footway Width	Footpath Width	Road Reserve (Minimum)	Design Considerations
Collector Road (Single Carriageway)	8m	13.4m total (2 x 6.7m)	2.5m Shared Path  (Refer Figure C35 for location of path)	21.4m	<ul style="list-style-type: none"> <li>No on street cycle lane(s).</li> <li>Provision of a shared path on at least one side.</li> <li>Designed to accommodate traffic flows up to 3,000 vpd.</li> </ul>

Attachment 1

**Figure C32.3 Access Road or Access Place**

This road provides through traffic movement and access to residential lots. Vehicle and bicycle use is shared within the carriageway. The carriageway also provides for two lanes of traffic.



**Access Road or Access Place**

net to scale

*Note: Parking bay locations shown indicatively.*

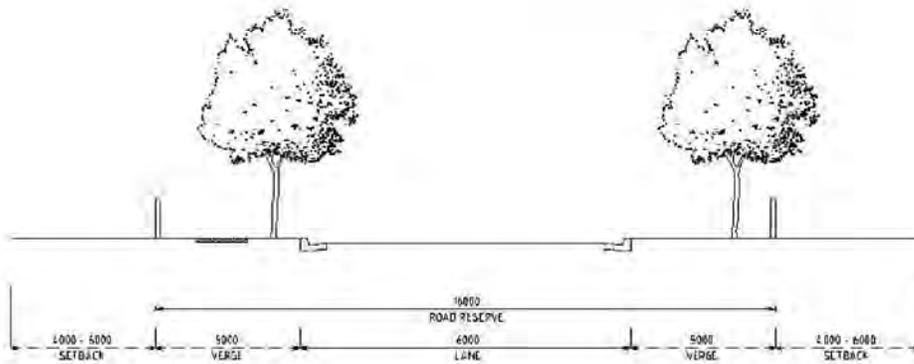
Road Type	Carriageway	Footway Width	Footpath Width	Road Reserve (Minimum)	Design Considerations
Access Road or Access Place	7.2m	10m total (i.e. 5.0-5.0m or 6.0-4.0m) <ul style="list-style-type: none"> <li>• Parking bays are to be provided within the verge as shown in Figure C36</li> <li>• Additional parking bays may be provided in the verge area.</li> </ul>	N/A	17.2m	<ul style="list-style-type: none"> <li>• No cycle lane.</li> <li>• Indented parking bays (2.1m deep).</li> <li>• Designed to accommodate traffic flows up to 1,000 vpd.</li> </ul>

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**Figure C32.4 Minor Access Road or Minor Access Place (Cul-de-sac).**

These roads provide access to residential lots, and are to be designed to take account of the natural contours of the site.

Vehicle and bicycle use is shared within the carriageway. The carriageway width provides for two lanes of traffic and parking.



**Minor Access Road or Minor Access Place (Cul-de-sac)**

not to scale

Road Type	Carriageway	Footway Width	Footpath Width	Road Reserve (Minimum)	Design Considerations
Minor Access Road or Minor Access Place	6m	1.0m total (i.e. 5.0-5.0m or 6.0-4.0m)	1.2m (Refer to Figure C35 for location of path)	1.5m	<ul style="list-style-type: none"> <li>No cycle lane.</li> <li>Site responsive road alignments.</li> <li>Designed to accommodate traffic flows up to 1,000 vpd.</li> </ul>

Attachment 1

**Road Design**

1. Roads are to be designed in accordance with Camden Council Engineering Design Specifications.
2. Pavement design are to be in accordance with 'Ausroads Publication – Pavement Design of Road Pavements' and 'Ausroads Pavement Research Group Publication, Report No. 21 - A Guide to the Design of New Pavements for Light Traffic'
3. Roundabouts are to be provided generally in accordance with the Harrington Grove Indicative Structure Plan. Roundabout are to have a minimal internal radius of 8m, with a minimum pavement width of 3.5m
4. Intersection treatments are required to clearly identify the road hierarchy and to create more defined intersections.
5. Precinct Plans are to define the locations of road intersection thresholds. These are to be constructed of coloured asphalt or paved.
6. The colour of the threshold paving/concrete is to be similar to the road pavement.
7. Traffic islands and slow points are to be constructed of concrete or paving. Extended speed humps (ie. Plateaus) are not to be provided for traffic calming.
8. Road pavement shall be asphalt. Coloured asphalt, concrete or paving bricks may be used to define cycle lanes, car parking spaces or at intersections.
9. The road layout is to be generally in accordance with the Harrington Grove Road Hierarchy Plan (Refer Figure 32)
10. The location of street lights, street tree planting, street furniture, traffic control devices and bus bays are to be identified in Part B.
11. Roads are to be designed to take account of the topography and minimise earthworks.
12. A turning area at the end of proposed culs-de-sac shall be provided generally in accordance with Appendix B "Turning Heads".
13. "T" configuration turning heads are to be designed in accordance with Appendix B "Turning Heads".
14. For road works within areas identified as a salinity hazard, the following is to occur as a minimum
  - (a) Roads should be perpendicular to the contours as much as possible.
  - (b) Minimum disturbance of subsoil
  - (c) Engineering designs incorporating considerations of salinity impacts are required.
  - (d) Subsoil drainage is to be installed along both sides of all roads.

**Road Geometry**

15. On-street and off-road cycleways are to be provided as outlined in Appendix B "Turning Heads".
16. All residential roads (eg. minor collector roads, access road/paths, minor access road/paths, and shareways) are to be designed and sign posted at a minimum of 50kph (ie. traffic management must be considered at the subdivision application, with either road layout or speed reducing devices to produce a traffic environment which reduces traffic speed).
17. Verge widths are to respect the character of the Development Precinct and provide sufficient space for service infrastructure.
18. Where roads are adjacent to public reserves or conservation areas the verge widths are to be a minimum of 1.5 metre, subject to public utilities, bollards and fencing being adequately provided within the road reserve, unless prescribed by an approved Conservation Management Plan, Bushfire Management Plan or Landscape Master Plan.

**Intersections & Junction Spacing**

19. The minimum distance from an access place to a collector road is to be 50 metres if the junction is on the same side of the road or 40 metres if staggered on the opposite side of the road (Refer Figure C33)
20. The minimum distance between collector roads is to be 100 metres if the junction is on the same side or staggered on the opposite side of the road.

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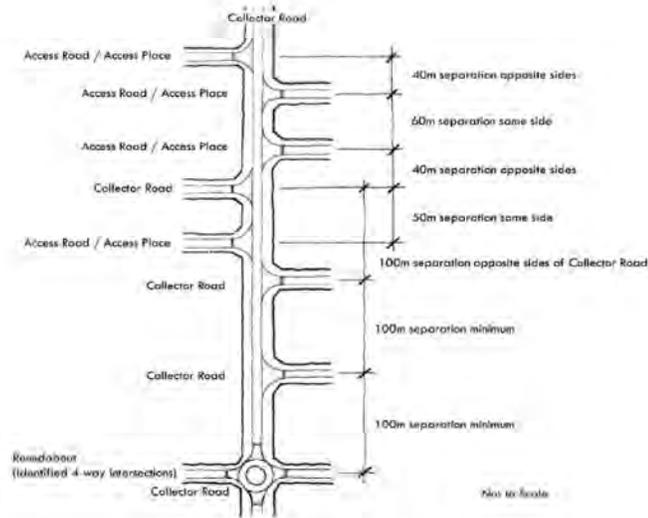


Figure C33 Intersection Spacing

#### Road Materials and Treatments

##### Philosophy

1. The road network for is a safe, permeable road system providing an appropriate level of road access and connectivity both within Harrington Grove and externally to the surrounding district, including the neighbourhood shopping centre at Harrington Park (via Harrington Parkway and Fairwater Drive).
2. The interconnected road network facilitates safe and efficient pedestrian movement throughout Harrington Grove, linking residents to all proposed land uses and residences, including the Local Community and Recreation Centre, public parks and Community Woodland.
3. The road system provides a road interface with the surrounding Community Woodland/public reserve and has been designed to be sympathetic with the natural contours of the precinct.

##### Controls

1. Roundabouts are to be provided in the locations shown on the Road Hierarchy Plan (Figs C32).
2. Intersection treatments are to clearly identify the road hierarchy and create defined intersections through the utilisation of thresholds.
3. Thresholds at intersections (figure C34) are to be provided in the locations identified on the Road Hierarchy Plan (Figure C32). These are to be constructed of coloured asphalt, coloured concrete or stone pavers.
4. Kerb profile and materials may be varied depending on road drainage requirements.
5. Medians, traffic islands and slow points are to be landscaped.

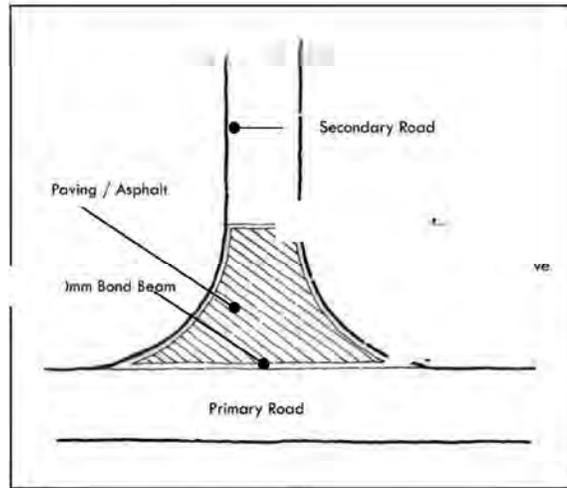


Figure C34 Indicative Threshold Treatment

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Attachment 1

#### C9.4 Pedestrian and Cycle Network

##### Controls

1. Development applications are to provide for the detailed design and location of footpaths and cycleways generally in accordance with the layout provided in Figure C35.
2. The construction material, alignment and use of the pedestrian & cycle sharepath are to be determined by an approved conservation management plan for the conservation area and landscape master plan for the subject land.
3. Pedestrian and cycle sharepath crossings of The Northern Road are only to occur at the Cobbitty Road west intersection for safety reasons.
4. The pedestrian & cycle sharepath is to be a minimum width of 2.5m metres. The width and construction standards should cater for the user types and volumes anticipated as determined by an approved conservation management plan and landscape master plan for the subject land.
5. Lookouts are to be generally provided in locations in accordance with an approved conservation management plan and/or landscape master plan.
6. The construction material and associated public facilities at each lookout are to be in accordance with an approved conservation management plan and landscape master plan for the subject land.
7. The pedestrian & cycle sharepath shall be contained within a 50 metre wide corridor (ie. 25 metres either side of the path).
8. The pedestrian and cycle pathway network is to:
  - (a) provide safe and convenient linkages between open space systems, community facilities, schools and shops, and
  - (b) respond to the topography and achieve appropriate grades for safe and comfortable use where possible.
  - (c) Pedestrian and cycle share paths are to be provided in accordance with AustRoads Part 14 and locations are shown in Figure C35. These locations are indicative and subject to further detailed survey work and discussions with Council.

#### C9.5 Public Transport Network

##### Controls

1. Bus routes are to be generally provided along collector roads as outlined on Figure C36.
2. Bus stops are to be located generally in accordance with Figure C36.
3. Bus shelters and bus embayments are to be provided at every bus stop with timetable information in accordance with Council requirements with details included in the development application.
4. Bus shelters are to be installed at the subdivision stage.

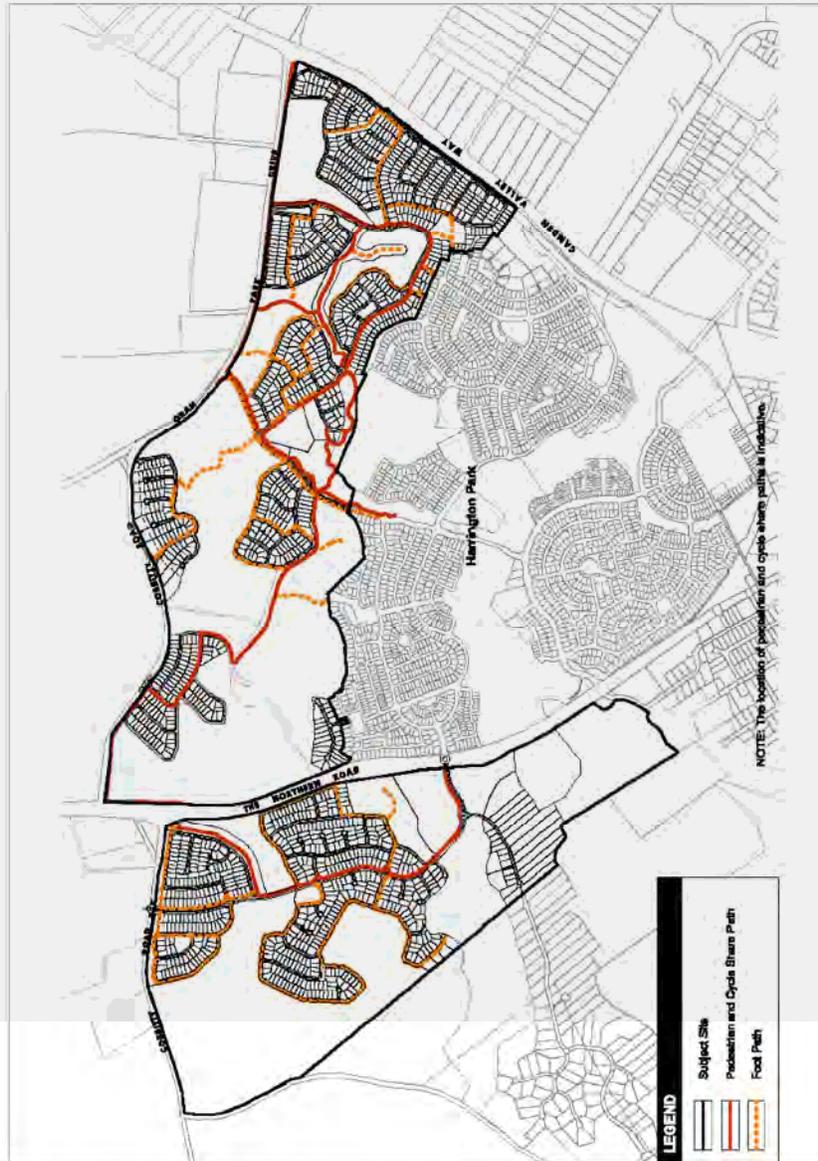


Figure C35: Harrington Grove Indicative Pedestrian and Cycle Network

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Figure C36 Harrington Grove Indicative Bus Routes

## C9.6 Indicative Parks and Open Space

### Controls

1. The open space provision for Harrington Grove is categorised as follows (Refer to Figure C37)
2. Open space should be designed for a mix of open space types providing:
  - (a) a range of recreation activities;
  - (b) scenic protection and passive usage;
  - (c) creation of conservation/ecological corridors to protect and enhance vegetation and provide a habitat for flora and fauna.
3. The Harrington Grove Indicative Structure Plan includes a district playing field on the land to the south of Narellan Creek to the west of The Northern Road. The identified land is proposed to be developed as a district recreation facility for the general community.
4. Development within the active recreation area is to include a range of the following activities:
  - (a) a multipurpose sports field (comprising one cricket or two soccer/rugby fields).
  - (b) a soccer/rugby field.
  - (c) athletics track.
  - (d) an amenity building.
  - (e) car park.
5. Environmentally Sensitive Precincts (E2 Environmental Conservation zone) are areas of environmental significance and will be in private and public ownership. Those areas retained in private ownership will be managed in accordance with an approved Conservation Management Plan. These areas are not proposed to be developed for residential purposes, rather for ecological conservation. These areas will incorporate walk and cycle trails, lookouts and the ability to experience (through interpretative material) the natural environment. Refer to Part B Chapter B1 for more information on environmentally sensitive land.
6. The interconnected path network is to encourage pedestrian access throughout the precinct and to the Local Community and Recreation Centre.
7. Open space and drainage areas are to be landscaped in accordance with landscape plans prepared by a qualified landscape architect.
8. The landscape treatment for the interface with the abutting Community Woodland is to be designed in accordance with a Landscape Master Plan and Conservation Management Plan.

### Street Trees and Landscaping

9. Street trees and landscaping is to be provided to increase the amenity of the precinct area, and encourage pedestrian use and walkability. The standards and design of street furniture are to be included in a landscape plan, and lodged with the development application.
10. The landscape plan is to be prepared by a qualified landscape architect, and lodged with the development application.
11. Street trees are to be generally provided on both sides of roadways (two per lot, typically one aligned with the lot side boundary and one central to the lot). The species and general location of trees are to be contained within the landscape plan.
12. No street trees are to be placed within 1.0m of the street kerb.
13. Street lights are to be approved by Council.

### Tree Retention

14. Trees to be retained are to be identified in the Development Application.

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Figure C37 Harrington Grove Parks and Open Spaces

### **C9.7 Bulk Earthworks**

#### **Controls**

1. Development Applications are to provide accurate site surveys prepared by a qualified surveyor to provide a clear and accurate representation of the contours of the land.
2. Development Applications are to illustrate bulk earthworks and provide justification for proposed changes to land levels.
3. Compaction of filled areas is to be 98% standard compaction and in accordance with AS 3798-1990 in accordance with engineering standards and a compaction certificate is to be submitted to Council.
4. Proposals requiring significant moving and filling of earth will be considered if it contributes to the overall quality of the development and the urban design outcomes for the area.
5. Earth moved from areas containing noxious weed material must be disposed of at an approved waste management facility, and transported in compliance with the Noxious Weed Act 1993.

### **C9.8 Sloping Land and Retaining Walls**

#### **Controls**

1. Retaining walls at the subdivisional works stage of development are permitted to reduce the need for cut and fill at the dwelling construction stage.
2. The maximum height of a retaining wall is 1.5 metres.
3. In instances where a retaining wall greater than 1.5 metres in height is required, a second retaining wall is permitted providing the retaining wall structure incorporates a step of 1 metre in width, with the second retaining wall being limited to 1 metre in height (i.e. first wall a maximum of 1.5 metres and second retaining wall is a maximum of 1 metre).
4. Retaining walls are to be constructed of masonry materials.
5. Any wall with a height of 1.5m or greater requires lodgement of a Development Application.

### **C9.9 Estate Fencing**

#### **Controls**

1. Estate fencing will be erected in specific locations to separate public and open space areas with residential development. Estate fencing is to be constructed of high quality materials and finishes and is to form part of the subdivisional works for the site.
2. The location of estate fencing is identified in a Development Application and is to be constructed in accordance with a Landscaping Plan.
3. Estate fencing is limited to a maximum height of 1.8m above ground level.
4. Estate fencing is not to be removed or altered in finish, shape or form of the fence.

### **C9.10 Stormwater Drainage**

#### **Controls**

1. Stormwater drainage facilities are to be provided in accordance with an approved stormwater drainage strategy.

ORD09

Attachment 1

### C9.11 Domestic Waste Collection

#### Control

1. Where direct lot frontage collection of domestic waste bins cannot be achieved, bin collection areas are to be provided and shown the Development Application for subdivision.

### C9.12 Bushfire Management

#### Background

The natural environment and native vegetation is a significant feature of the Harrington Grove landscape. The retention of a significant area of remnant bushland within proximity to residential development across the subject land has been considered during the preparation of the Indicative Structure Plan.

#### Controls

1. Precinct G and J will require a Bushfire Management Plan to be prepared to demonstrate the measures necessary to minimise the impact of fire on buildings in accordance with Planning for Bushfire Protection (NSW RFS).
2. A Bushfire Management Plan is to be prepared in conjunction with a Conservation Management Plan and Landscape Master Plan for Precincts Q, R and T.
3. A Bushfire Management Plan is to be prepared in accordance with Planning for Bushfire 2006 (or a more recent Rural Fire Services policy) and submitted with a Development Application for subdivision.
4. E2 Environmental Conservation zone needs to be located and designed in accordance with a Bushfire Management Plan and/or Conservation Management Plan and/or a Landscape Master Plan.
5. Fire Trails are to be constructed between areas where development is separated by bushland or alternative access is required to a public road. An approved Bushfire Management Plan and/or a Conservation Management Plan and/or a Landscape Master Plan will outline the alignment, construction and management of fire trails.

### C9.13 Odour

The establishment of development within proximity of odour emitting land use activities needs to accommodate sufficient separation and amelioration measures to maintain adequate amenity quality of life for residents.

#### Controls

1. An odour impact assessment of the identified poultry operation on Lot 9 (DP 28024) Camden Valley Way, Smeaton Grange is to be undertaken in accordance with the EPA Draft Policy 'Assessment and Management of Odour from Stationary sources in NSW and Technical Notes'.
2. Any land identified by the odour study as being within a nominated separation distance shall not be developed until either
  - (a) The poultry operation ceases to operate, or
  - (b) It can be demonstrated to Council that the odour levels are within acceptable limits to permit development.

**Note:** Reference must be made to section B1.17 Air Quality of this DCP.

### C9.14 Specific Development Precincts

The development precincts are those which are proposed to be developed for residential purposes, as outlined on Figure C31. The development of each precinct will be undertaken in accordance with the objectives for each respective development precinct.

Zone	Precincts
R1 General Residential	M
R2 Low Density Residential	A, C, D, E, F, H, K
R5 Large Lot Residential	N, O
E4 Environmental Living	B, I, L, G, J

#### Residential Precincts (R1 General Residential and R2 Low Density Residential Zones)

##### Objectives

1. Enable residential development that minimises adverse impacts upon and contributes to the quality, maintenance and integrity of the natural and cultural heritage values.
2. Ensure a distinctive character and urban form that reflects and responds to the natural context of the area and considers bushfire risk.
3. Create large residential allotments that interface appropriately with the defined ecological/bushland.
4. Facilitate an appropriate interface between existing development within Harrington Park by introducing a limited number of smaller (i.e. minimum of 500m<sup>2</sup> – Precincts C, E & K) residential allotments that front existing roads within Harrington Park.

#### Residential Precincts (R5 Large lot Residential)

##### Objective

1. Conserve the heritage significance of the heritage homesteads and their immediate environs, whilst facilitating the provision of public road linkages and appropriate development.

#### Residential Precincts (E4 Environmental Living)

##### Objectives

1. Enable residential development that minimises adverse impacts upon and contributes to the quality, maintenance and integrity of the natural environment.
2. Ensure a distinctive contemporary character and urban form that reflects and responds to the natural context of the area and considers resource efficiency and bushfire risk.
3. Facilitate development of large residential allotments discretely located within the woodland setting.
4. Make provision for people to walk and cycle, view and interact with the landscape.
5. Ensure development, where practicable incorporates bushland into private and public open space.

ORD09

Attachment 1

**C9.14.1 Harrington Grove – Precinct A**

**Lot Access and On-Street Car Parking**

**Controls**

2. Driveways are not to be located within the areas identified as "Access Prohibited" on Figure C38.
3. Car parking is to be provided generally in accordance with locations shown on the Development Plan (Figure C38).
4. Two on-street car parking bays are to be provided in each location identified on Figure C38. These indented parking bays principally provide parking for access to the community woodland but are not to be restricted for such parking.

**Noise**

**Controls**

1. An assessment of traffic noise levels is to be undertaken at the time of the development application for subdivision for those residential lots abutting and in the vicinity of Harrington Parkway (Refer Figure C38).
2. An assessment of noise levels generated from the Local Community & Recreation Centre is to be undertaken at the time of a development application for building.



Figure C38 Development Plan

**Lot Design**

**Controls**

1. Development of the Precinct is to be generally in accordance with the subdivisional layout shown on the Indicative Lot Layout Plan (Figure C39).
2. Corner lots within Precinct A (identified on Figure C39) are to have a minimum area of 900m<sup>2</sup>.



Figure C39 Precinct A Indicative Layout Plan

ORD09

**C9.14.2 Harrington Grove - Precinct B**

**Lot Access and On-Street Car Parking**

**Controls**

1. Driveways are not to be located within the areas identified as "Access Prohibited" on Figure C40.
2. Car parking is to be provided generally in accordance with locations shown on the Development Plan (Figure C40).
3. Two on-street car parking bays are to be provided in each location identified on Figure C40. These indented parking bays principally provide parking for access to the community woodland but are not to be restricted for such parking.

**Noise**

**Controls**

1. An assessment of traffic noise levels is to be undertaken at the time of the development application for subdivision for those residential lots abutting and in the vicinity of Harrington Parkway (Refer Figure C40).

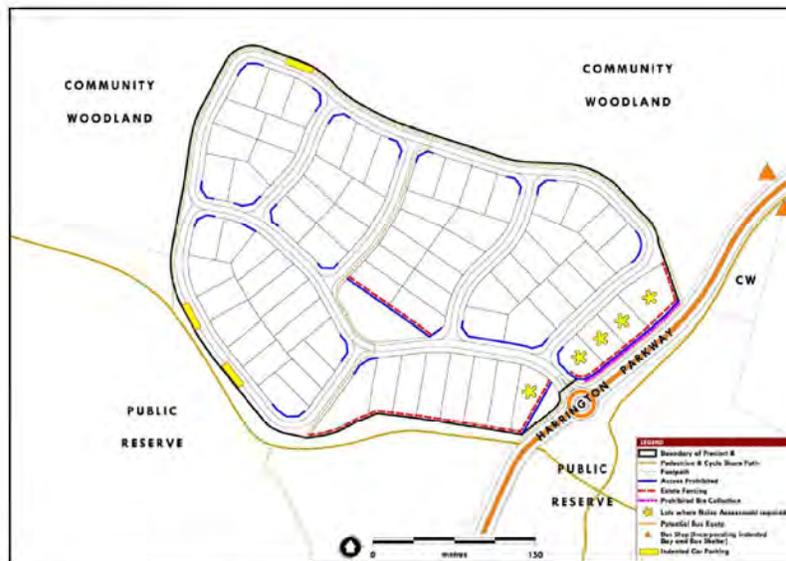


Figure C40 Harrington Grove Precinct B Development Plan

Attachment 1

**Lot Design  
Controls**

1. Development of the Precinct is to be generally in accordance with the subdivisional layout shown on the Indicative Lot Layout Plan (Figure C41).

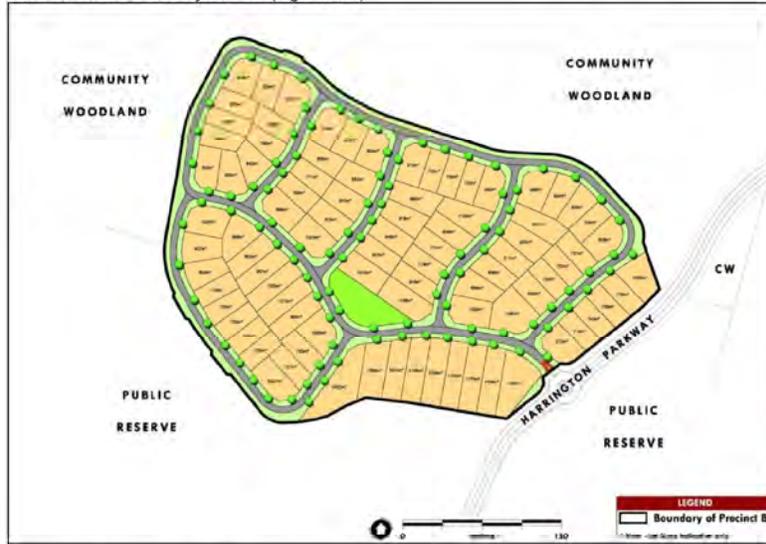


Figure C41 Harrington Park Precinct B Indicative Lot Layout Plan

ORD09

Attachment 1

**C9.14.3 Harrington Grove – Precinct C**

**Street Trees**

**Controls**

1. Street trees are to be provided on the northern side of Alexandra Crescent. The species and location of trees are to be shown on the Landscape Plan.

**Lot Access**

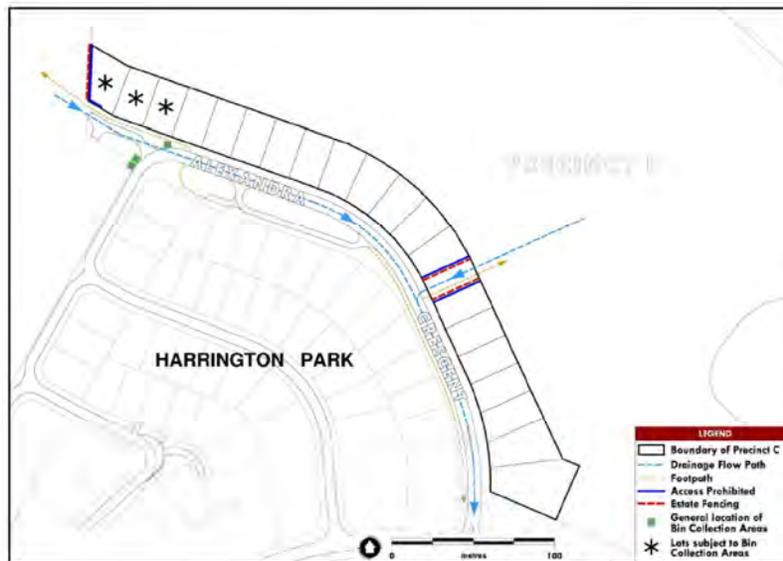
**Control**

1. Driveways are not to be located within the areas identified as "Access Prohibited" on Figure C42.

**Estate Fencing**

**Controls**

1. Estate fencing will be erected in specific locations to separate public and open space areas with residential development. Estate fencing is to be constructed of high quality materials and finishes and is to form part of the subdivisional works for the site.
2. The location of estate fencing is identified in Figure C42 and is to be constructed in accordance with a Landscaping Plan.
3. Estate fencing is limited to a maximum height of 1.8m above ground level.
4. Estate fencing is not to be removed or altered in finish, shape or form of the fence.



C42 Harrington Grove Precinct C Development Plan

Figure

**Lot Design  
Control**

1. Development of the Precinct is to be generally in accordance with the subdivision layout shown on Figure C43.

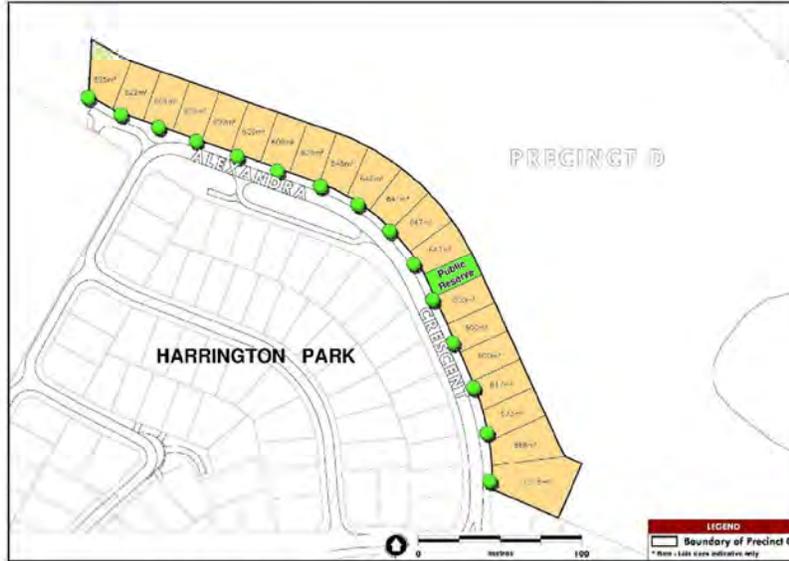


Figure C43 Harrington Grove Precinct C Indicative Layout Plan

ORD09

Attachment 1

### C9.14.4 Harrington Grove – Precinct D

#### Lot Access and On-Street Car Parking

##### Controls

1. Driveways are not to be located within the areas identified as "Access Prohibited" on Figure C44.
2. Car parking is to be provided generally in accordance with locations shown on the Development Plan (Figure C44).
3. Two on-street car parking bays are to be provided in each location identified on Figure C44. These indented parking bays principally provide parking for access to the community woodland but are not to be restricted for such parking.

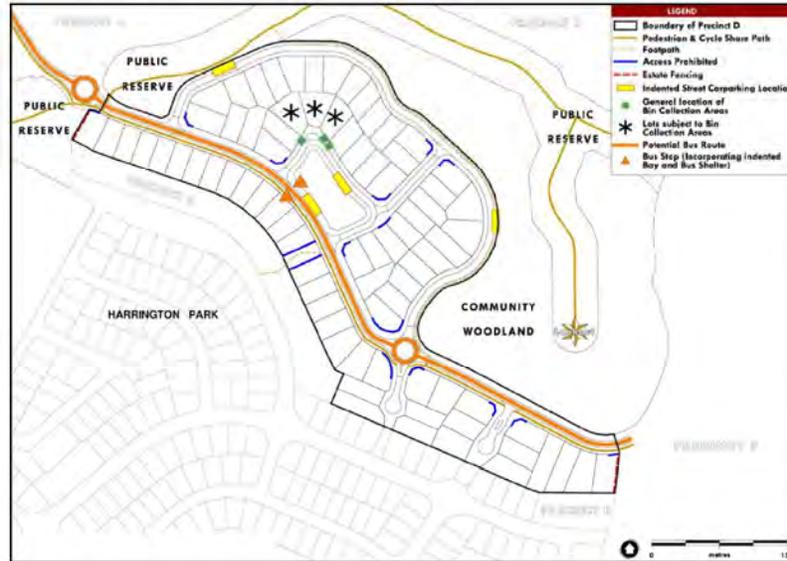


Figure C44 Harrington Grove Precinct D Development Plan

**Lot Design**

**Controls**

1. Development of the Precinct is to be generally in accordance with the subdivisional layout shown on the Indicative Lot Layout Plan (Figure C45).



Figure C45 Harrington Grove Precinct D Indicative Lot Layout Plan

ORD09

Attachment 1

### C9.14.5 Harrington Grove – Precinct E

#### Lot Access

#### Controls

1. Driveways are not to be located within the areas identified as "Access Prohibited" on Figure C46.
2. The location of driveways is to be shown on the Development Application for the dwelling.



Figure C46 Harrington Grove Precinct E Development Plan

**Lot Design**

**Controls**

1. Development of the Precinct is to be generally in accordance with the subdivision layout shown on Figure C47.



Figure C47 Harrington Grove Precinct E Indicative Lot Layout Plan

ORD09

Attachment 1

**C9.14.6 Harrington Grove – Precinct F****Controls**

1. Acknowledge the proximity of the precinct to conservation corridors and ensure lots front onto conservation corridors, where possible.
2. Establish local neighbourhood community and recreation centres as shown on the indicative structure plan.
3. Provide road connection points to Cobbitty Road and Camden Valley Way in accordance with the indicative structure plan.
4. Retain existing trees within road reserves and allotments where deemed suitable by a tree survey and where the finished ground levels post-subdivision will permit.
5. Establish controls on building height for lots immediately to the north that abut directly the Harrington Park Homestead Curtilage.
6. Demonstrate lot interface treatments with the extension of Harrington Parkway.
7. Provide adequate bush fire management measures.
8. Demonstrate interface treatment and noise attenuation measures along Camden Valley Way.
9. Identify areas of tree planting to provide vegetated screening (in accordance with an approved landscape master plan) of development, where necessary.
10. The precinct plan designs must acknowledge the power line easement unless the undergrounding of the powerlines can be achieved.
11. Prepare and implement building controls to control building materials, colours and fencing etc.

**C9.14.7 Harrington Grove – Precinct G****Controls**

1. Creation of vegetated buffers along Camden Valley Way and Cobbitty Road.
2. Prohibit road access onto Camden Valley Way and Cobbitty Road
3. Design and locate roads to take account of the natural contours of the site.
4. Locate building envelopes on Precinct Plans to retain vegetation and the natural habitat of the location in the general positions shown on the Indicative Structure Plan.
5. Provide for pedestrian and cycle linkages.
6. Provide adequate bush fire management measures.
7. Provide sustainable water run off quality and quantity controls.
8. Prepare and implement Building Controls to control building materials, colours and fencing etc.

ORD09

Attachment 1

ORD09

Attachment 1

### C9.14.8 Harrington Grove – Precinct H

#### Lot Access and On-Street Car Parking

##### Controls

1. Driveways are not to be located within the areas identified as "Access Prohibited" on Figure C48.
2. Car parking is to be provided generally in accordance with locations shown on the Development Plan (Figure C48).
3. Two on-street car parking bays are to be provided in each location identified on Figure C48. These indented parking bays principally provide parking for access to the community woodland but are not to be restricted for such parking.



Figure C48 Harrington Grove Precinct H Development Plan

**Lot Design**

**Controls**

1. Development of the Precinct is to be generally in accordance with the subdivisional layout shown on the Indicative Lot Layout Plan (Figure C49).



**Figure C49** Harrington Park Precinct H Indicative Lot Layout Plan

ORD09

**C9.14.9 Harrington Grove – Precinct I****Controls**

1. Create vegetated buffers along Cobbitty Road.
2. Acknowledge the proximity of the precinct conservation corridors and ensure lots front onto conservation corridors, where possible.
3. Limit road access points onto Cobbitty Road to those shown on the Indicative Structure Plan.
4. Provide adequate bush fire management measures.
5. Identify areas of tree planting to provide vegetated screening of development, where necessary.
6. Design and locate roads to take account of the natural contours of the site.
7. Provide for pedestrian and cycle linkages.
8. Provide sustainable water run off quality and quantity controls.
9. Prepare and implement building controls to control building materials, colours and fencing etc.

**C9.14.10 Harrington Grove – Precinct J****Controls**

1. Create vegetated buffers along Cobbitty Road and the Northern Road.
2. Restrict road access points onto The Northern Road.
3. Provide road connections to Cobbitty Road in accordance with the Indicative Structure Plan.
4. Provide adequate bush fire management measures including the preparation of a Bushfire Management Plan as part of preparing a Precinct Plan.
5. Design and locate roads to take account of the natural contours of the site.
6. Provide appropriate pedestrian and cycle linkages.
7. Provide sustainable water run off quality and quantity controls.
8. Locate building envelopes to retain vegetation and the natural habitat of the location.
9. Provide public road access to Crear Hill.
10. Prepare and implement Building Controls to control building materials, colours and fencing etc.
11. Provision of reticulated sewer or a suitable alternative on-site effluent disposal system

Attachment 1

### C9.14.11 Harrington Grove – Precinct K

#### Lot Access

#### Controls

1. Driveways are not to be located within the areas identified as "Access Prohibited" on Figure C50.

#### Acoustics

#### Controls

1. An assessment of traffic noise levels is to be undertaken at the time of the Development Application for residential lots abutting and in the vicinity of The Northern Road.
2. Lots potentially affected by traffic noise and the location of the noise barrier are identified in Figure C50.

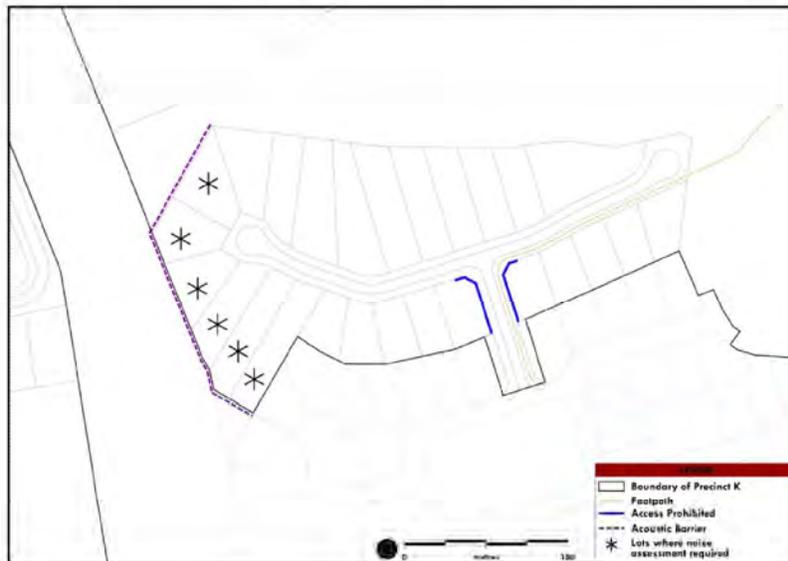


Figure C50 Harrington Grove Precinct K Development Plan

#### Estate Fencing

#### Controls

1. Estate fencing will be erected in specific locations to separate public and open space areas with residential development or between residential lots. Estate fencing is to be constructed of high quality materials and finishes and is to form part of the subdivisional works for the site.
2. Estate fencing is to comply with the requirements outlined in the Estate Fencing Plan (Figure C51). The Estate Fencing Plan identifies the requirements for height, location, and materials and finishes for estate fencing.
3. Estate fencing is to be constructed in accordance with a Landscaping Plan.
4. Estate fencing is not to be removed or altered in finish, shape or form of the fence.

ORD09

Attachment 1

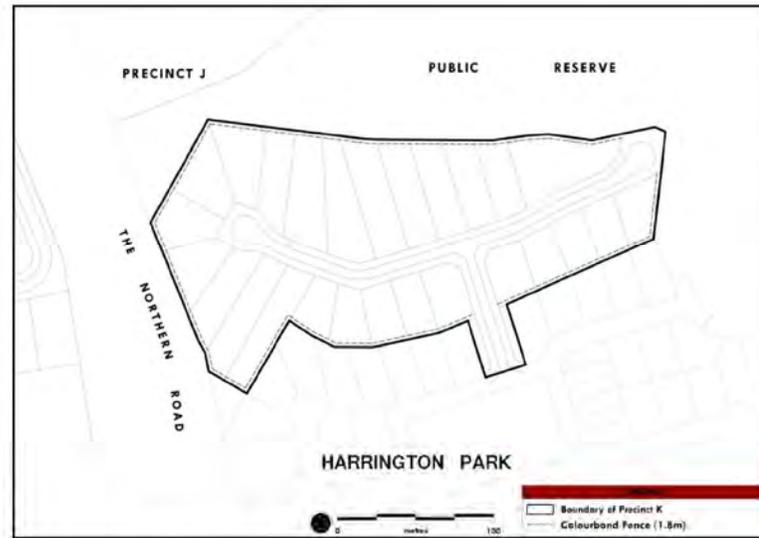


Figure C51 Harrington Grove Precinct K Estate Fencing Plan

#### Lot Design

#### Controls

1. Development of the Precinct is to be generally in accordance with the subdivision layout shown on Figure C52.
2. Residential lots are to have a minimum area of 800m<sup>2</sup>.

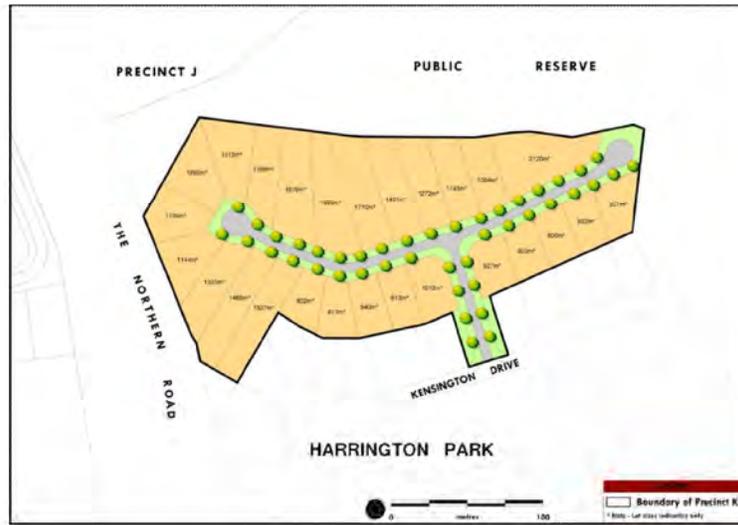


Figure C52 Harrington Grove Precinct K Indicative Layout Plan

ORD09

**C9.14.12 Harrington Grove – Precinct L****Controls**

1. Create vegetated buffers along Cobbitty Road, Macquarie Grove Road and the Northern Road.
2. Acknowledge the proximity of the precinct conservation corridors and ensure lots front onto conservation corridors, where possible.
3. Limit road access points onto Cobbitty Road to those shown on the Indicative Structure Plan.
4. Provide adequate bush fire management measures.
5. Identify areas of tree planting to provide vegetated screening of development, where necessary.
6. Design and locate roads to take account of the natural contours of the site.
7. Provide for pedestrian and cycle linkages.
8. Provide sustainable water run off quality and quantity controls.
9. Prepare and implement building controls to control building materials, colours and fencing etc.

Attachment 1

### C9.14.13 Harrington Grove – Precinct M

#### Controls

1. Acknowledge the proximity of the precinct to riparian corridors and ensure lots front onto riparian corridors, where possible.
2. Proximity of the precinct to conservation corridors and ensure lots front onto conservation corridors, where possible.
3. Establishment of local & neighbourhood community & recreation centres as shown on the Indicative Structure Plan.
4. Retention of trees deemed by a tree survey to be suitable within road reserves and allotments where earthwork levels permit.
5. Demonstrate interface treatment and noise attenuation measures along The Northern Road.
6. Provide road connections to the Northern Road and Cobbitty Road in accordance with the Indicative Structure Plan.
7. Identify areas of tree planting to provide vegetated screening of development, where necessary.
8. Provide adequate bush fire management measures.
9. Prepare and implement Building Controls to control building materials, colours and fencing etc.
10. The trees identified on Figure C53 and referenced in Table C3 are to be clearly marked for retention by either tagging/marking or other means. The preparation of a Precinct Plan is to clearly demonstrate how the trees are to be protected and retained.

**Table C3 Harrington Grove Precinct M Protected Trees**

TREE	EASTING	NORTHING
1	289125.9	6233188.8
2	289143.3	6233192.8
3	289045.0	6233138.9
4	289077.0	6233136.5
The above coordinates are in MGA56 projection		

11. The lot layout adjacent to the western boundary of the Precinct is generally to be in accordance with Figure C54.
12. A 10 metre setback is to be provided from the rear boundaries for the lots abutting the western property boundary as shown on Figure C54.

ORD09

Attachment 1



Figure C53 Harrington Grove Precinct M Tree Retention Plan



Figure C54 Harrington Grove Precinct M – Indicative Lot Layout Plan

ORD09

Attachment 1

**C9.14.14 Harrington Grove – Precinct N Orielton Homestead****Controls**

1. Implement the Orielton Conservation Management Plan for Orielton Homestead.
2. Alignment and construction of public road linkages, where necessary, to respect and be sympathetic to the natural environment.
3. Provide adequate bush fire management measures.
4. Identify areas of tree planting in accordance with a Conservation Management Plan to provide vegetated screening of development, where necessary.

**C9.14.15 Harrington Grove – Precinct O****Objectives**

1. Create a range of lot sizes that a) reflects the adjacent Kirkham Estate and b) allows for smaller lots for the more elevated northern portion of the precinct, whilst ensuring the visual quality of the development respects important viewscape elements.
2. Provide for small holding rural residential living opportunities on land not being of prime crop or pasture potential and having ready access to urban areas and facilities.
3. Ensure development is carried out in a manner that minimises risk from natural hazards, particularly bushfires and flooding.

**Controls**

1. Design and locate roads to take account of the natural contours of the site.
2. Provide pedestrian and cycle linkages.
3. Provide adequate bush fire management measures.
4. Introduce building envelopes to control the location of dwellings.
5. Appropriate separation of dwellings from flood affected land.
6. Prepare building controls to control building form, fences, materials and colours to ensure that all buildings have minimal visual impact.

**C9.14.16 Harrington Grove – Environmental Precincts Q and R****Objectives**

1. Provide for the retention of a major ecological corridor.
2. Make provision for people to walk and cycle, view and interact with the landscape.
3. Provide and implement a management regime for the long term viability of the Environmentally Sensitive area.
4. Manage the riparian corridors that traverse Harrington Grove.

**Control**

1. Implement the Harrington Grove East and Harrington Grove West Conservation Management Plan and Bushfire Management Plan which considers the following:
  - (a) Enable roads and associated urban services to be provided within environmentally sensitive land, Council Reserves and riparian corridors to provide access, management regimes, surveillance and bush fire management.
  - (b) Provide pedestrian and cycle linkages.
  - (c) Prepare and implement Conservation Management Plan/s and Bushfire Management Plan/s and a Landscape Master Plan. Any development proposed by the Conservation Management Plan/s, Bushfire Management Plan/s and Landscape Master Plan is to be undertaken in accordance with the provisions of this section.
  - (d) Provide lookouts in the general locations indicated on the Harrington Grove Indicative Structure Plan.
  - (e) Make provision of a site for operational purposes (e.g restaurant/café) on the top of Crear Hill with guidelines being prepared to minimise the visual impact of any structures.

Attachment 1

ORD09

Extract from Camden DCP 2011 Part D2.3.4

Precinct	Front Setback					Side Setback					Rear Setback	Garages			
	Collector Road - Street Access	Collector Road - No Street Access	Collector Road - Corner Lots	Minor Access Road - Street Access	Minor Access Road - Corner Lots	Common Lot Boundary	Collector Road - Corner Lots	Minor Access Road - Corner Lots	Secondary Frontage	Lots Abutting Open Space		Common Lot Boundary	Building line Setback	Front Boundary Setback	Third Garage Setback to Main Garage
Precinct A	8m	8m	8m	6m	4m	2m <sup>a</sup>	6m	4m		2m <sup>a</sup>	6m <sup>a</sup>	0.9m	5.5m	0.9m	1.1m <sup>a</sup>
Precinct B	8m	8m	6m	6m	4m	2m <sup>a</sup>	6m	4m		2m <sup>a</sup>	6m <sup>a</sup>	0.9m	5.5m	0.9m	1.1m <sup>a</sup>
Precinct C	4.5m	4.5m	4.5m	4.5m	4.5m	0.9m <sup>**</sup>	4.5m	3m		4.5m <sup>**</sup>	6m <sup>#</sup>	0.9m	5.5m	0.9m	0.9m <sup>**</sup>
Precinct D	8m	6m	6m	6m	4m	2m <sup>a</sup>	6m	4m		2m <sup>a</sup>	6m <sup>a</sup>	0.9m	5.5m	0.9m	1.1m <sup>a</sup>
Precinct E	4.5m	4.5m	4.5m	4.5m	4.5m	0.9m <sup>**</sup>	4.5m	3m		4.5m <sup>**</sup>	6m <sup>#</sup>	0.9m	5.5m	0.9m	0.9m <sup>**</sup>
Precinct F	8m	6m	6m	6m	4m	2m <sup>a</sup>	6m	4m		2m <sup>a</sup>	6m <sup>a</sup>	0.9m	5.5m	0.9m	1.1m <sup>a</sup>
Precinct G				6m	4m	2m <sup>a</sup>	6m	4m		2m <sup>a</sup>	6m <sup>a</sup>	0.9m	5.5m	0.9m	1.1m <sup>a</sup>
Precinct H				6m	4m	2m <sup>a</sup>	6m	4m		2m <sup>a</sup>	6m <sup>a</sup>	0.9m	5.5m	0.9m	1.1m <sup>a</sup>
Precinct I				6m	4m	2m <sup>a</sup>	6m	4m		2m <sup>a</sup>	6m <sup>a</sup>	0.9m	5.5m	0.9m	1.1m <sup>a</sup>
Precinct J				6m	4m	2m <sup>a</sup>	6m	4m		2m <sup>a</sup>	6m <sup>a</sup>	0.9m	5.5m	0.9m	1.1m <sup>a</sup>
Precinct K				4.5m	4.5m	0.9m <sup>**</sup>		3m		4.5m <sup>**</sup>	6m <sup>#</sup>	0.9m	5.5m	0.9m	0.9m <sup>**</sup>
Precinct L	8m	6m	6m	6m	4m	2m <sup>a</sup>	6m	4m		2m <sup>a</sup>	6m <sup>a</sup>	0.9m	5.5m	0.9m	1.1m <sup>a</sup>
Precinct M	8m	6m	6m	6m	4m	2m <sup>a</sup>	6m	4m		2m <sup>a</sup>	6m <sup>a</sup>	0.9m	5.5m	0.9m	1.1m <sup>a</sup>
Precinct O				6m	4m	2m <sup>a</sup>	6m	4m		2m <sup>a</sup>	6m <sup>a</sup>	0.9m	5.5m	0.9m	1.1m <sup>a</sup>

Notes:

1 On corner lots, the rear boundary may be interchanged with the side boundary to respond to dwelling orientation and design

<sup>a</sup> Reductions to the side and rear setback requirements are permitted in the following circumstances:

- i Side setbacks can be reduced to 1.5m for single storey dwellings on residential allotments less than the 800m<sup>2</sup>, and
- ii Garages are permitted to encroach into the side and rear setbacks on corner lots. Garages must be setback to a minimum of 1.1m from the lot boundary to the garage wall.

\*\* This figure may be reduced to 600mm providing any windows in walls utilising the reduced setback provisions are linked to a non-habitable room and are not larger than 900mm x 600mm. Such windows are to comply with fire safety hazards in the Building Code of Australia.

# Single storey dwellings on lots less than 700m<sup>2</sup> may have an average rear setback of 6m with a minimum no less than 3m.

- verandahs and balconies can extend into the setback to open space by up to 1m provided these areas are not enclosed (excluding handrails and balustrades)



## ORDINARY COUNCIL

ORD10

ORD10

**SUBJECT: POST EXHIBITION REPORT OF AMENDMENTS TO CAMDEN DEVELOPMENT CONTROL PLAN 2011 FOLLOWING THE ADOPTION OF THE CAMDEN CONTRIBUTIONS PLAN 2011**

**FROM:** Director Governance

**BINDER:** Camden Development Control Plan 2011

**PREVIOUS ITEMS:** ORD05 - Amendments to Camden Development Control Plan 2011 Following the Adoption of the Camden Contributions Plan 2011 - Ordinary Council - 12 June 2012  
ORD11 - Draft Camden Contributions Plan 2011 - Ordinary Council - 13 December 2011

### PURPOSE OF REPORT

The purpose of this report is to seek Council's endorsement to adopt the proposed amendment of the Camden Development Control Plan 2011 (DCP 2011) to reflect the Camden Contributions Plan 2011 (CCP 2011).

### BACKGROUND

The Camden DCP 2011 was adopted by Council on 8 February 2011 and came into force on 16 February 2011. The DCP 2011 has been amended previously, with a comprehensive review adopted in April 2012 to ensure that information contained in the controls accurately reflected legislative requirements and current development trends.

Following the gazettal of the CCP 2011 on 26 April 2012, it became necessary to amend the DCP 2011 to ensure consistency with the CCP 2011 as follows:

- Amendment of Elderslie Master Plan and associated maps to correspond with the reduction of land area for the South-Eastern Park;
- Amendment to the Spring Farm Master Plan and associated maps to reflect the 'as built' subdivision and delete parks which are no longer funded; and
- Amend the Somerset-Doncaster Avenue Council Car Park plan to identify land required to cater for the proposed car park.

Council, at its meeting on 12 June 2012, resolved to:

- publicly exhibit the amendments to the Camden Development Control Plan 2011 for a period of 28 days in accordance with the provisions of the Environmental Planning and Assessment Act and Regulations; and*
- prepare a further report to be provided to Council at the conclusion of the public exhibition period.*

## **MAIN REPORT**

Since the Council meeting held on 12 June 2012, the proposed amendments to the DCP 2011 were placed on public exhibition for a period of 28 days from 27 June 2012 to 25 July 2012. Exhibition material was made available to the public at Council's administration buildings, its libraries and on the Council website for the length of the exhibition period. The exhibition material included the following:

- Council Report and Resolution
- Report Attachments:
  - Elderslie Maps
  - Spring Farm Maps
  - Somerset-Doncaster Avenue Car Park

### **Submissions Received**

During the exhibition period, Council received no comments from the public.

### **Where to From Here**

The next step is to formally adopt the proposed amendments to the DCP 2011. Due to the size of the DCP 2011 document, a copy has been provided on a CD. For reference, the amended maps to be inserted into the DCP 2011 are provided as **Attachments 1, 2 & 3 to this report**.

Should Council resolve to adopt the DCP, a notification will be placed in a local newspaper notifying the public of its decision to adopt the proposed DCP incorporating the above amendments in accordance with Clause 21 of the *Environmental Planning and Assessment Regulation 2000*.

## **CONCLUSION**

The CCP 2011 was gazetted on 26 April 2012, which required the amendment of Camden's DCP 2011 to accurately reflect the contributions toward community infrastructure and facilities. The proposed amendments include amendments to the Elderslie Master Plan and associated maps, Spring Farm Master Plan and associated maps, and the Somerset-Doncaster Avenue car parking controls. The proposed amendment was placed on public exhibition, where no submissions were received from the public.

The next step is to formally adopt the proposed amendments to the DCP 2011 and place a notification in the local newspaper to advise the public of council's decision to adopt the amendments.

**RECOMMENDED**

**That Council:**

- i. adopt the proposed amendments to the Camden Development Control Plan 2011; and**
- ii. publicly notify Council's decision in accordance with Clause 21 of the Environmental Planning and Assessment Regulation 2000.**

**ATTACHMENTS**

1. Spring Farm Maps
2. Somerset Avenue DCP Extract
3. Elderslie Maps

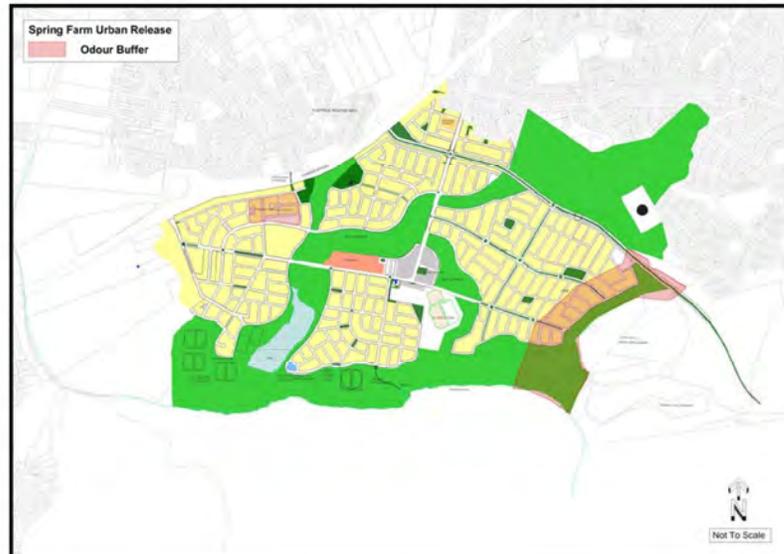
**ORD10**

ORD10

Attachment 1

**Attachment 2 – Spring Farm Maps**

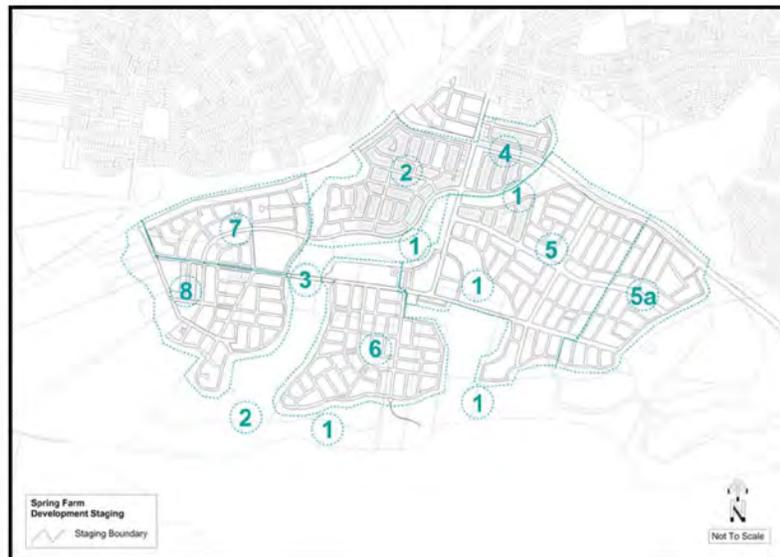
**Spring Farm Master Plan**



Spring Farm Density Map



Spring Farm Staging Plan



ORD10

Attachment 1

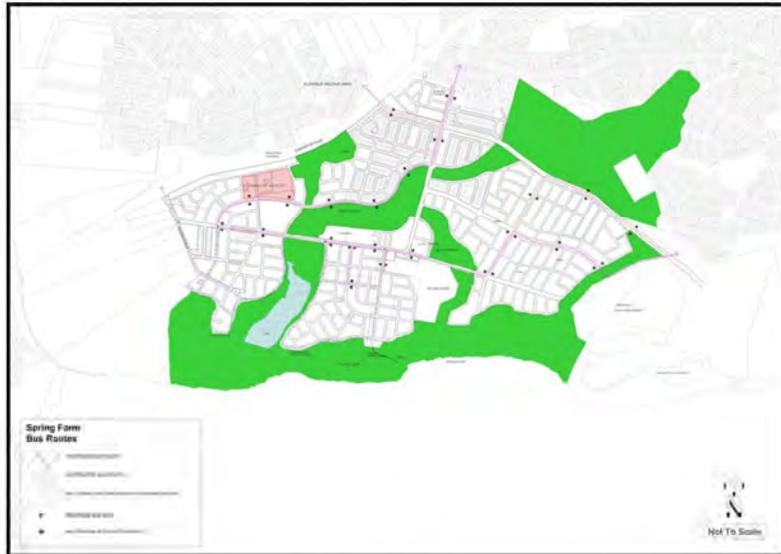
Spring Farm Street Network Map



Spring Farm Pedestrian and Cycle Path Network



Spring Farm Public Transport Network



Spring Farm Bush and Riparian Corridor Map



ORD10

Attachment 1

Spring Farm Water Cycle Management Map



**Attachment 3 - Somerset-Doncaster Avenue Car Park****D3.6.4 Somerset Avenue, Narellan**

The following controls apply to land fronting Somerset Avenue, Narellan known as Part Lots 32 and 34, and Lots 37 to 45 inclusive DP 25582 shown on Figure D54.

**Urban Design**

1. Any building to be constructed adjoining a pedestrian walkway i.e. at Nos. 3 & 5 and 11 & 13 are to provide an active edge to the walkway in the form of windows and entrances.
2. The rear wall of any development is to be constructed to accommodate a future decked parking structure.

**Note:** *Additional foundations may be required to accommodate future excavation works associated with any deck-structured car park.*

**Building Footprint**

3. A 2 metre strip of land fronting Somerset Avenue, as shown on figure D54, shall be restricted from development, but shall be available for external activities associated with businesses within the premises.
4. This area may be used for some external activities associated with a shop front, subject to Council approval.
5. Building setback from the rear boundary is to be 19 metres, comprising a 17.5 metre car park area and 1.5 metre wide footpath at the rear of the building.

**Awnings Treatment**

6. Awnings are to extend 3.6 metres from the building alignment within Somerset Avenue.

**Storm Water Quantity Management**

7. A strategy for managing storm water quantity shall be prepared in a manner consistent with the Somerset Avenue Augmentation Design Plan prepared by Council. (Ref No 2001-045)
8. Temporary on-site detention may be required as an interim measure in realising the overall Augmentation Design Plan.
9. Any drainage strategy incorporating car park detention shall have regard to any catchment influences.

**Note:** *Drainage design should be developed in consideration of the overall car park levels, which are available from Council.*

**Accessibility - Vehicles:**

10. Access to the car parking area is to be via access driveways at Slade Street and north of No 1 Somerset Ave as indicated in figure D54.
11. Short-term vehicle access may be achieved from Somerset Avenue, between Nos. 3 & 5, 11 & 13, where a 6 metre wide access is to be provided. Such access is to accommodate two-way vehicle movement and dedicated pedestrian access. Upon vehicle access becoming available from either Slade Street or North of No 1 Somerset Avenue then the temporary access is to revert to pedestrian access only. As an alternative should Nos. 3 & 5 or 11 & 13 develop jointly then Council would accept an arcade style development, subject to the rear car park having access to Slade Street or north of No 1 Somerset Avenue.
12. Council will require a right of way over the above-mentioned land to the rear car park for both vehicles and pedestrians until such time as the car park is linked to the adjoining car park and has access to either Slade Street or north of No 1 Somerset Avenue. Following the linking of the car park to adjoining car parks a pedestrian only right-of-way will be required.

**Accessibility - Car Parking:**

13. All car parking areas and associated footpaths are to be dedicated to Council as part of the development process. *These areas are shown shaded grey on figure D54.*
14. Car parking is to be configured as shown on figure D54.
15. Car parks are to be constructed in accordance with specifications available from Council's Works and Services Division.
16. Part Lots 35 & 36 DP25582 – Rear land to be dedicated to be dedicated to Council for car park when development occurs.

**Note:** *A public "at grade" car park is to be provided at the rear of the properties facing Somerset and Doncaster Avenues, with attractive pedestrian walkways linking the car park to Somerset Avenue. Vehicular access to this car park will be gained from Slade Street, Somerset Avenue and Doncaster Avenue. At some time in the future and subject to demonstrated demand the car park will be redeveloped to a "decked" structure, which is to incorporate a commercial building fronting Doncaster Avenue.*

**Accessibility - Pedestrian:**

17. Access to the rear car parking area is to be via pedestrian walkways as indicated figure D54. These walkways may function as alternative vehicle access points until access is made available elsewhere.

- 18. The walkways are to be constructed without a defined level change; vehicle and pedestrian travel areas are to be identified within the paver/asphalt design.

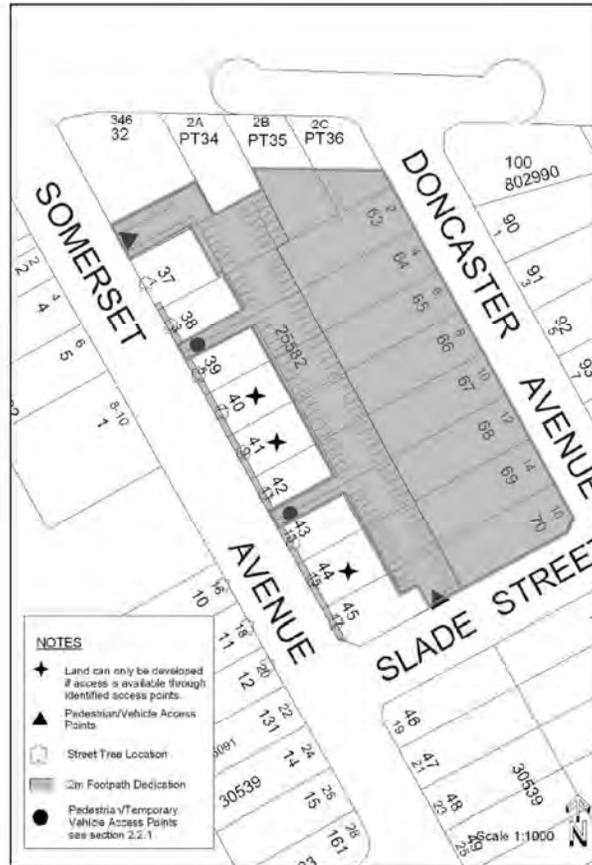


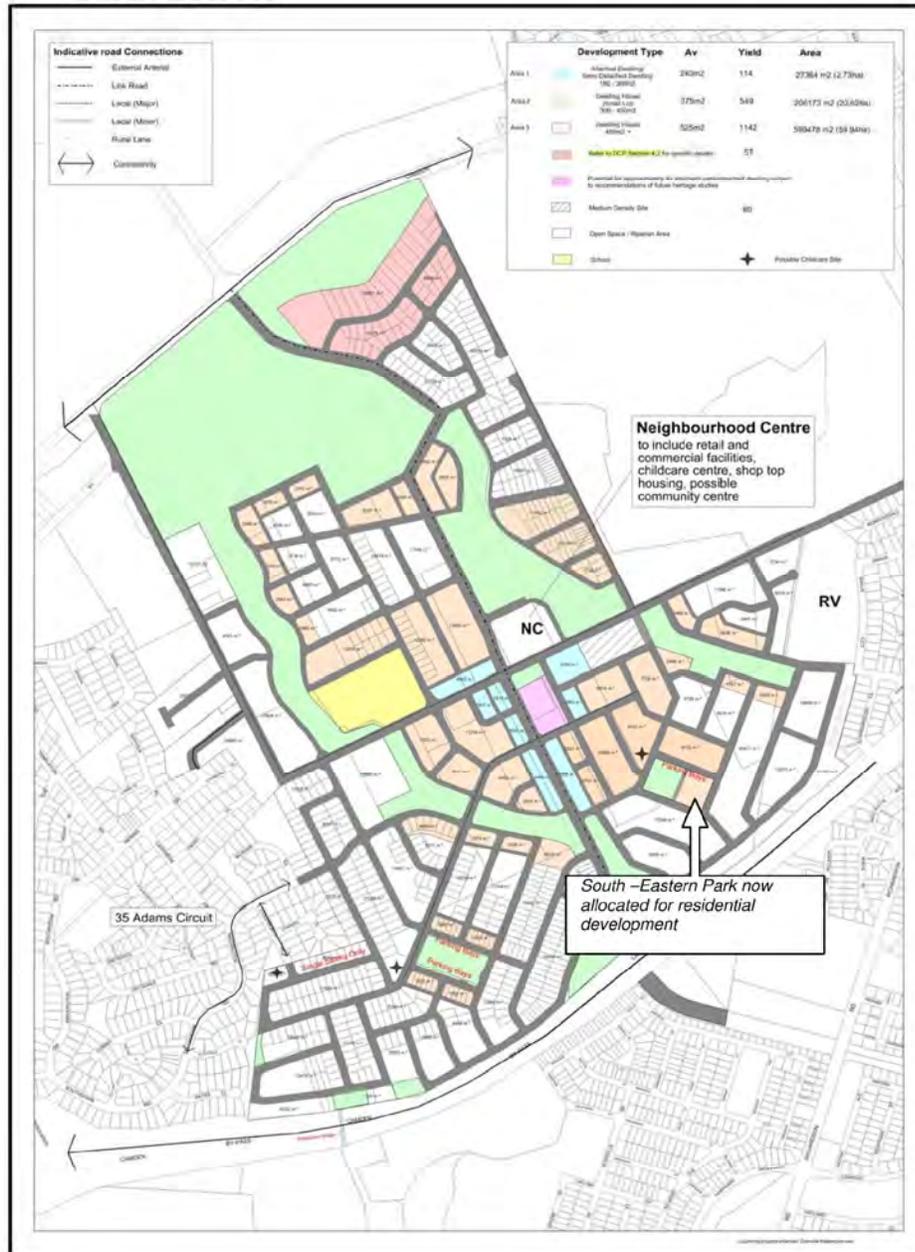
Figure D54 Somerset Avenue Narellan

ORD10

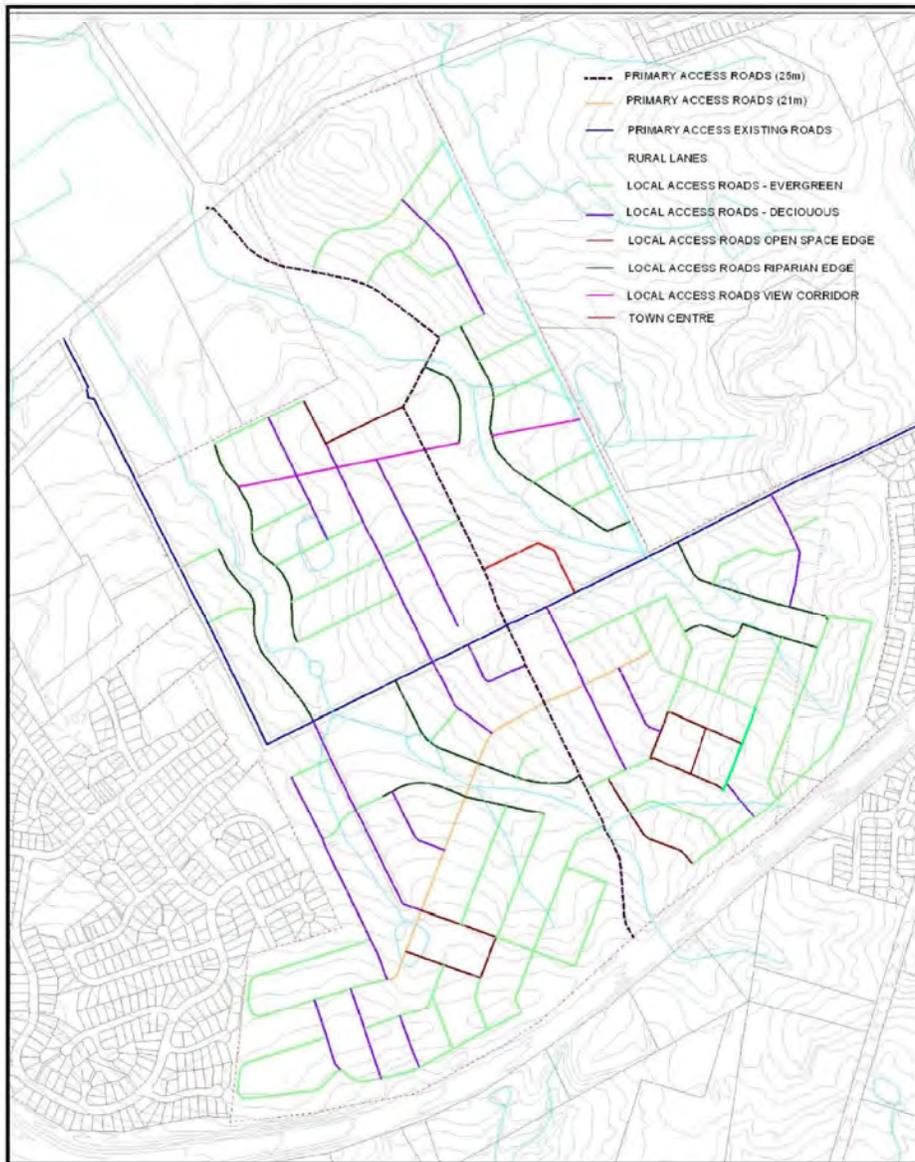
Attachment 3

**Attachment 1 – Elderslie Maps**

**Elderslie Master Plan**



Elderslie Street Hierarchy Map



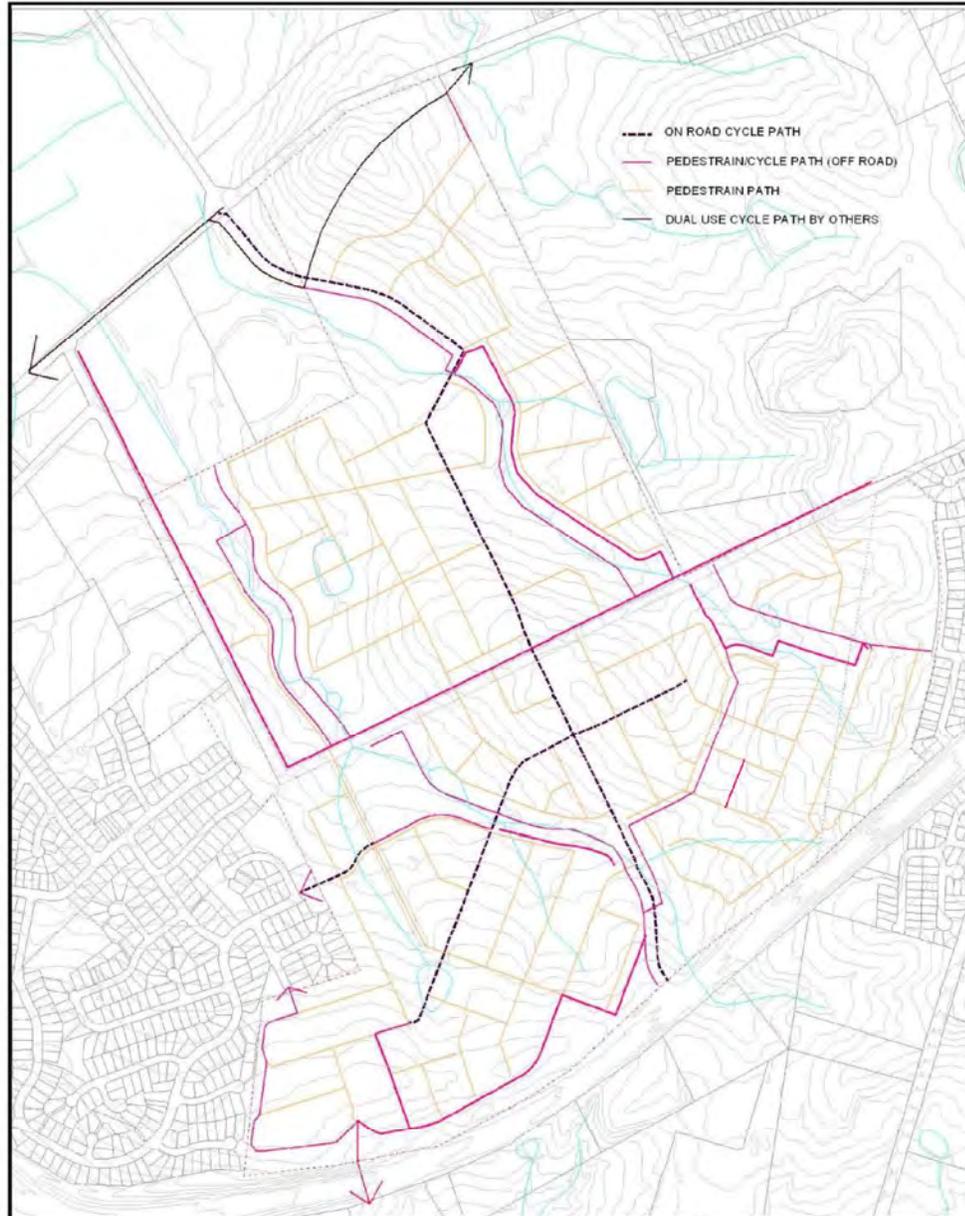
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Attachment 3

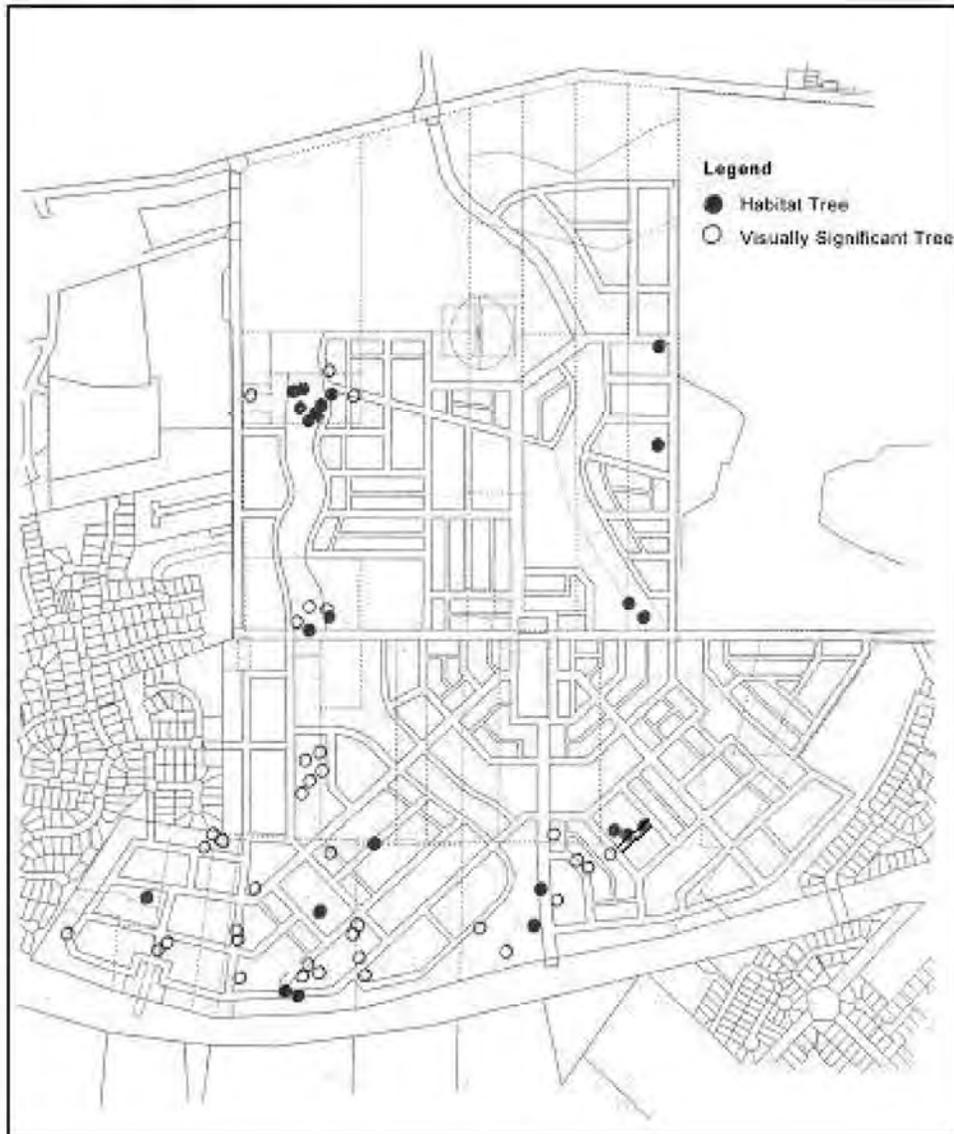
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Attachment 3

### Elderslie Pedestrian and Cycle Network



Indicative Vegetation Map



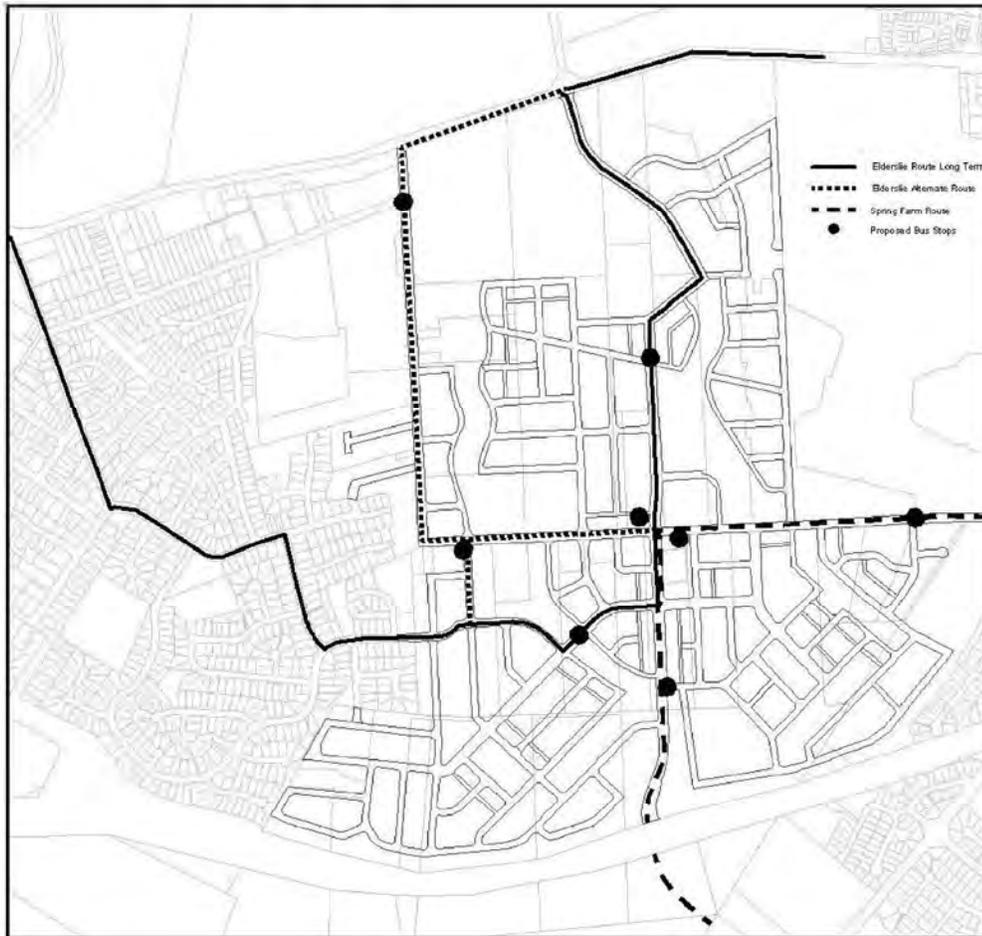
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Attachment 3

ORD10

Attachment 3

Indicative Bus Route Map



# ORDINARY COUNCIL

ORD11

ORD11

**SUBJECT: PROPOSED AMENDMENT TO REMOVE BULKY GOODS CAP APPLYING TO TURNER ROAD EMPLOYMENT LANDS**

**FROM:** Director Governance

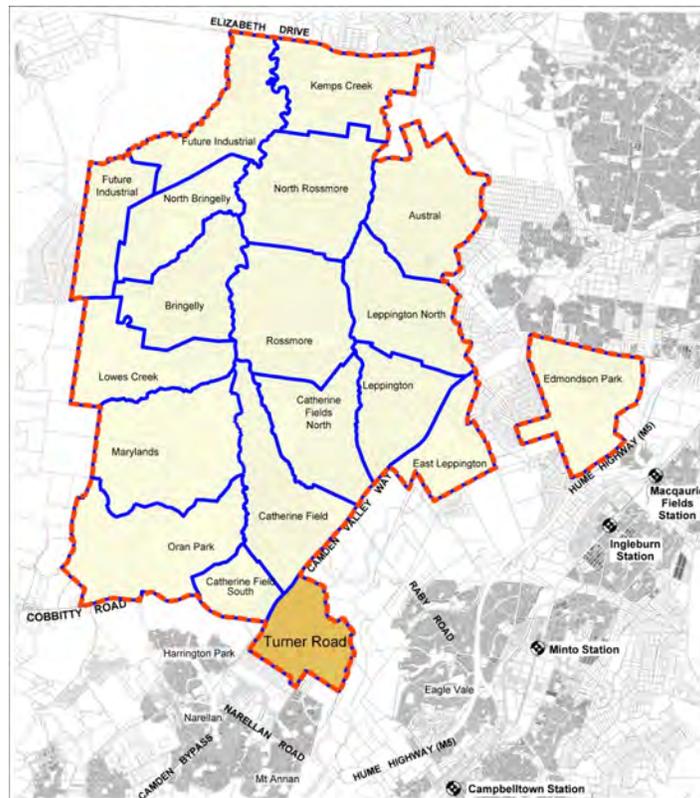
**BINDER:** Amendment No 12 Gregory Hills Bulky Goods Cap

## PURPOSE OF REPORT

The purpose of this report is to provide Council with a post-exhibition update regarding the planning proposal which seeks to remove the bulky goods cap of 40,000m<sup>2</sup> on land zoned B5 – Business Development within the Turner Road Employment Lands at Gregory Hills and Gledswood Hills. This report also seeks a resolution of Council to forward the planning proposal to the Department of Planning and Infrastructure so that the planning proposal may be gazetted.

## BACKGROUND

In late 2011 Council received a planning proposal which sought to remove the 40,000m<sup>2</sup> bulky goods floorspace cap which applies to land zoned B5 – Business Development within the Turner Road Employment Lands. The location of the Turner Road precinct is shown in **Figure 1** below, and the land zoned B5 – Business Development is shown coloured grey with a blue outline in the zoning map provided in **Figure 2** below.



**Figure 1 – Turner Road Precinct location map**

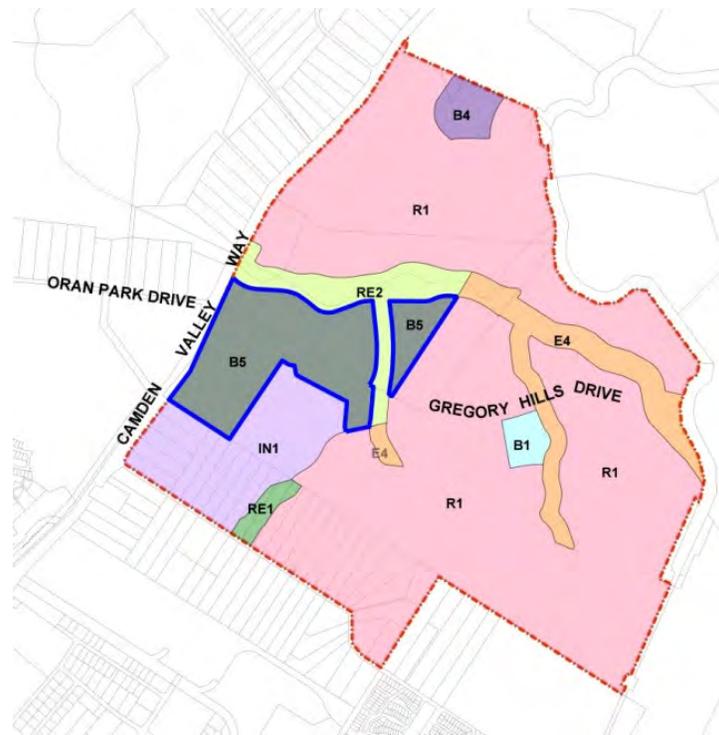


Figure 2 – Turner Road Precinct – Zoning Plan

The planning proposal was accompanied by a study titled 'Turner Road Precinct Bulky Goods Analysis' prepared by Deep End Services, and a peer review of the report was undertaken by Hill PDA on behalf of Council, with a further submission prepared by Deep End Services. A copy of the planning proposal including the Deep End Services reports and the Hill PDA review are included as **Attachment 1 to this report**.

At the Council meeting of 13 December 2011, Council considered an extensive report on the planning proposal and resolved as follows:

*That Council:*

- i. support the removal of the bulky goods floorspace cap of 40,000m<sup>2</sup> on the 'B5 – Business Development' land within the Turner Road precinct;*
- ii. forward the planning proposal to the Department of Planning and Infrastructure for the purposes of a Gateway Determination; and*
- iii. publicly exhibit the Planning Proposal and Development Control Plan amendments in accordance with the Gateway Determination and any arrangements agreed with the Department of Planning and Infrastructure.*

The planning proposal was subsequently forwarded to the Department of Planning and Infrastructure and a Gateway Determination was issued to Council on 2 February 2012.

A development application has been lodged with Council in August 2012 for a bulky goods "homemaker" complex on land which is currently subject to the bulky goods cap.

## MAIN REPORT

### Public Exhibition

The planning proposal was placed on public exhibition from 13 June to 11 July 2012 and two public submissions and two adjoining Council submissions were received. A document outlining the nature of the submissions, the response from Council officers, and the action to be taken is included as a **Supporting Document to this report**.

In summary, the submissions relate to the following matters:

- The economic impact of removing the bulky goods cap upon the South West Growth Centre and wider region;
- The demand for bulky goods land within the Camden LGA;
- The relationship between the removal of the bulky goods cap and the proposed expansion of the Narellan Town Centre; and
- The impact of removing the bulky goods cap upon the owner of the B5 – Business Development zoned land to the north of Gregory Hills Drive.

The report prepared by Deep End Services, the peer review undertaken by Hill PDA, and the response prepared by Deep End Services are comprehensive and provide sufficient justification for the removal of the bulky goods floorspace cap. The findings of the reports are as follows:

- There will be sufficient population growth within the retail catchment to support almost 160,000sqm of bulky goods retailing.
- An expanded bulky goods presence at Turner Road will not compromise or undermine the proposed Major Centre at Leppington, which will progressively develop a traditional retail focus.
- Approximately 77% of the retail catchment household expenditure on bulky goods “escapes” to other centres. This equates to around \$160 million per year. This underlines the very low provision of bulky goods within the catchment at the present time. To achieve high levels of self-containment, which will reduce travel to other centres and create more local jobs, the area must develop and support a significant bulky goods floorspace offering at a central location.
- The economic impact of a removal of the bulky goods floorspace cap is unlikely to lead to significant impacts upon existing centres or bulky goods clusters provided non-bulky goods floorspace is restricted through appropriate planning controls.

The removal of the floorspace cap on bulky goods development will:

- allow development to respond to market demand;
- address identified existing and future shortfalls of land suitable for bulky goods development; and
- generate local employment opportunities.

It should be noted that removal of the bulky goods cap will not necessarily result in all of the B5 – Business Development land being developed for bulky goods. The zone encourages a mix of uses to provide a wide range of employment generating development including function centres, medical centres, showrooms and car dealers. Some of the businesses already located at the Central Hills Business Park include the Masters Home Improvement store and a fast food outlet, with further fast food outlets, petrol stations and corporate head offices to come. The size and timing of provision of bulky goods premises within the B5 zone at Turner Road will be subject to market forces and demand as the population increases within the catchment.

The bulky goods cap was arbitrarily imposed in the absence of a bulky goods needs assessment for the South West Growth Centre, and was imposed prior to the development of the Draft Centres Policy 2009 and the Draft Competition SEPP 2010. These draft policies, in conjunction with general DP&I policy positions (confirmed with DP&I during recent discussions), have demonstrated a clear shift towards encouraging economic competition which is driven by market forces. Furthermore, the DP&I no longer support the implementation of floorspace caps in planning instruments.

The removal of the bulky goods cap is in response to a specific bulky goods demand assessment and will allow market forces to prevail and ensures that the planning controls applying to the land are consistent with current policy.

The proposed expansion of the Narellan Town Centre onto the Landturn 'triangle' site (which is the subject of a separate planning proposal) is not essential to justify the removal of the bulky goods cap at Turner Road. If the Narellan Town Centre expansion was not to proceed and the existing zoning regime was maintained for the Landturn 'triangle' site, market forces would determine the most appropriate location for bulky goods premises, with the remaining land being utilised for other uses currently permissible within the zone.

### **CONCLUSION**

The matters raised during the exhibition of the planning proposal and DCP amendment to remove the 40,000m<sup>2</sup> bulky goods cap which applies to the Employment Land at Turner Road have been addressed in **the Supporting Document attached to this report.**

The proposal to remove the bulky goods floorspace cap on the B5 – Business Development zoned lands at Turner Road is justified from an economic perspective. There will be little or no impact on the environment as a result of removing the cap, as the site is already zoned to allow this type of use.

Removal of the cap will create local jobs and allow the market to respond to demand from residents within the local area. The removal of the cap will also promote economic development and allow market forces to dictate the timing and scale of provision of bulky goods premises, which is consistent with current DP&I policy.

The planning proposal and DCP amendment may now be forwarded to the Department of Planning and Infrastructure so that the planning proposal and DCP amendment can be made.

### **RECOMMENDED**

#### **That Council:**

- i. notes the outcome of the public exhibition of the planning proposal;**
- ii. adopts the planning proposal and DCP amendment as exhibited;**
- iii. forwards the planning proposal, supporting documents and the outcomes of the public exhibition to the Department of Planning and Infrastructure so that the planning proposal can be made; and**
- iv. advise all submitters of Council's determination.**



---

## ATTACHMENTS

1. planning proposal
2. Submission to Bulky GOods Cap - *Supporting Document*

**ORD11**

ORD11

Attachment 1



**CAMDEN COUNCIL**

**PLANNING PROPOSAL**

**Amendment to State Environmental Planning Policy  
(Sydney Region Growth Centres) 2006 in relation to  
Turner Road Employment Lands**

August 2012

Planning Proposal for amendment to SEPP (Sydney Region Growth Centres) 2006 in relation Turner Road Employment Lands

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Part 3 – Justification.....	5
Part 4 – Community Consultation.....	12

## Appendices

- Appendix 1: Bulky Goods Analysis by Deep End Services Pty Ltd, October 2011
- Appendix 2: Hill PDA Peer Review report, November 2011
- Appendix 3: Net Community Benefit analysis
- Appendix 4: Response from Deep End Services to Hill PDA Peer Review.
- Appendix 5: Council response to matters raised in Gateway Determination.

ORD11

Attachment 1



Planning Proposal for amendment to SEPP (Sydney Region Growth Centres) 2006 in relation Turner Road Employment Lands

The subject land is approximately 50ha in area and is zoned 'B5 Business Development', which provides a range of business, large-format retail, warehousing and light industrial activities within the Turner Road Employment Lands area, which is in two consolidated landholdings of approximately 25ha each.

### Turner Road Precinct – Zoning Plan



Source: Sydney's Growth Centres website [www.gcc.nsw.gov.au](http://www.gcc.nsw.gov.au)

A landowner and active developer of the B5 area has already funded and upgraded sections of Camden Valley Way and delivered the first section of Gregory Hills Drive. Further, there is a Voluntary Planning Agreement to deliver the remainder of this important link to Campbelltown and regional public transport and road infrastructure. This future link will also become an important strategic public transport corridor with its connectivity to the Campbelltown Railway Station.

The B5 area comprises two consolidated landholdings that are separated by Gregory Hills Drive. This enables each holding to be developed individually but in a coordinated manner. Furthermore, each holding has excellent connectivity to the major regional road network through frontage to Gregory Hills Drive.

Development of the B5 land has commenced with the subdivision works (allotments, roads, servicing infrastructure, etc.) for the 25ha of B5 area south of Gregory Hills Drive being constructed and ready to accommodate built form development, including the establishment of bulky goods activities. In addition, the erection of buildings has now commenced with the first employment generating development, a Masters Home Improvement store, due to open in December 2011.

As part of the Precinct Planning process that concluded with establishing statutory planning provisions and rezoning in 2007, a limit on bulky goods retail floorspace of 40,000m<sup>2</sup> was applied to the B5 area of the Turner Road Employment Lands.

Since the finalisation of the zoning and statutory planning framework for the Turner Road Precinct, NSW Government policy has evolved towards promoting economic competition in the retail sector. This was initiated by findings and recommendations from the Australian Competition and Consumer Commission (ACCC) and

Page 2

Productivity Commission. Through the Department of Planning and Infrastructure, the NSW Government has undertaken extensive stakeholder consultation, and prepared draft policies and draft planning instruments that are intended to promote economic growth and competition through the planning system. Whilst no policies or planning instruments have been finalised, there is greater clarity on how the planning framework is to be structured to facilitate the economic and competition objectives.

In light of the developments relating to economic growth and competition, this Planning Proposal seeks to remove the limitation on bulky goods floorspace that currently applies to the B5 area of the Turner Road Precinct.

Specific assessment of bulky goods retailing within the immediate catchment of the Turner Road Employment Lands and the broader South West Sydney Region has been undertaken to support this proposal. Most importantly, this assessment includes a demand analysis for bulky goods retailing, which considers current and future demand drivers relating to the B5 land in South West Sydney. The assessment reinforces the suitability of the B5 land, which is 50% constructed, to accommodate the existing and future demands for bulky goods development.

The findings of this analysis combined with the new developments in NSW Government economic growth and competition policies, and its consistency with existing State and local strategic planning directions, form the basis for this Planning Proposal.

It should also be noted that Council has received a request to rezone 'B5 – Business Support' land at Narellan, known as the 'triangle' site owned by Landturn Pty Ltd. If that Planning Proposal proceeds the land will be rezoned to 'B2 – Local Centre' to facilitate an expansion to the Narellan Town Shopping Centre and will displace the bulky goods retailing that was to occur on the site.

#### ***Part 1 – Objectives or Intended Outcomes***

The subject land is zoned B5 under Appendix 1 of State Environmental Planning Policy (Sydney Region Growth Centres) 2006. Appendix 1 includes the statutory planning provisions for the Oran Park and Turner Road Precincts of the South West Growth Centre.

In addition to the standard zoning provisions for the B5 zoned land within Turner Road Employment Lands, Appendix 1 includes a clause that applies an additional 'Principal Development Standard' that limits the total area that can be used for bulky goods to 40,000m<sup>2</sup>. Furthermore, the Turner Road Development Control Plan restates the 40,000m<sup>2</sup> limitation for total gross floor area for all bulky goods premises. It also apportions the total maximum floor area requirement by allocating 20,000m<sup>2</sup> to the north of Gregory Hills Drive (formerly Badgally Road as referred to in the DCP) and the remaining 20,000m<sup>2</sup> to the south.

The intended outcome is to promote economic growth, employment generation, and greater flexibility in land use activities within the Turner Road Employment Lands, and to achieve a more competitive economic environment for bulky goods

Planning Proposal for amendment to SEPP (Sydney Region Growth Centres) 2006 in relation Turner Road Employment Lands

development throughout South West Sydney. In addition, it is intended to enable the Turner Road Employment Lands to make a stronger contribution to fulfilling identified existing and future shortfalls of suitable land for bulky goods development in South West Sydney.

The primary objective of this Planning Proposal is to remove the floorspace restrictions for bulky goods development within the Turner Road Precinct. Furthermore, it is to remove the floorspace limit to allow the B5 area to develop complementary commercial uses to other existing and/or future commercial centres within the South West Sydney Region.

### **Part 2 – Explanation of Provisions**

The objectives of this Planning Proposal are to be achieved by deleting Clause 41.D of 'Appendix 1 Oran Park and Turner Road Precinct Plan' of *State Environmental Planning Policy (Sydney Region Growth Centres) 2006* (Growth Centres SEPP).

Clause 4.1D Bulky goods premises in Appendix 1 of the Growth Centres SEPP reads as follows:

#### **4.1D Bulky goods premises**

*The total area used for the purposes of bulky goods premises on all land within Zone B5 Business Development must not exceed 40,000m<sup>2</sup>.*

In addition to deletion of Clause 41.D, amendment to the Turner Road Development Control Plan will be necessary following Gateway approval, as the Development Control Plan replicates the floorspace limit for bulky goods premises.

Accordingly, a summary of the sections of the DCP requiring amendment include:

#### **Part A Precinct Wide DCP**

- Table 1 in Section 2.5 Hierarchy of Centres and Employment Areas.

For the Turner Road Business Development Area, delete "*The maximum aggregate of bulky good premises (not including landscape and garden supplies and timber and building supplies) is 40,000m<sup>2</sup> GFA*".

#### **Part B Site Specific DCPs – Controls for the Turner Road Employment Area**

- Delete Clause 5 under 'Controls' in Section 3.1 Land Uses, which states "*A total maximum of 40,000m<sup>2</sup> of GFA of bulky goods premises is to be provided in the Business Development Lands fronting Badgally Road. Of this maximum, no more than 20,000m<sup>2</sup> is to be provided along either the northern or southern frontages of Badgally Road*".

**Part 3 – Justification****Section A - Need for the planning proposal.****1. Is the planning proposal a result of any strategic study or report?**

The proposal has not been the result of a specific strategic study or report. However, a bulky goods assessment that specifically considers the demand and supply for existing and future bulky goods floorspace for the subject land and South West Sydney has been prepared by Deep End Services Pty Ltd (provided in **Appendix 1**) to support the Planning Proposal. This assessment has been peer reviewed by Hill PDA on behalf of Council (provided in **Appendix 2**).

The Bulky Goods Analysis is a comprehensive examination and assessment of the provision of bulky goods floorspace in the South West Sydney context with specific relevance to the B5 area in the Turner Road Precinct. The analysis confirms there is a significant existing and future supply shortage for bulky goods development in the locality and that the B5 area within the Turner Road Precinct is the preferred identifiable and suitable location to provide bulky goods development.

**2. Is the planning proposal the best means of achieving the objectives or intended outcomes, or is there a better way?**

Yes. The planning proposal is the most appropriate method to enable the floorspace restriction on bulky goods to be removed.

The existing floorspace limitation on bulky goods development is a site specific, mandatory planning control under a Environmental Planning Instrument. This requirement is therefore a high-order statutory control that is to be complied with by any consent authority considering a proposal for bulky good development, and there is minimal scope to vary this requirement. Furthermore, the proposed amendment is the only means that will provide the level of certainty required to encourage long term investment in the Turner Road Employment Lands.

**3. Is there a net community benefit?**

Yes. A Net Community Benefit analysis is included in **Appendix 3**. The analysis has been adapted from the Draft Centres Policy (April 2009). In some cases the Evaluation Criteria have been modified or removed to ensure the criteria are meaningful to this Planning Proposal.

There is a significant net community benefit resulting from the Planning Proposal, particularly as it will provide a more competitive marketplace for consumers and increase localised employment opportunities for the existing and planned future population of the South West. With the more localised employment, local residents will have more opportunities to secure jobs close to their homes instead of travelling outside the South West Region for work.

such as the Sydney CBD. Less work related travel time results in more time to spend with families and it will also have a positive effect on reducing greenhouse gas emissions produce by commuting to work. In addition, local residents will have greater choice in bulky goods to be offered in the Turner Road Employment Lands.

**Section B - Relationship to strategic planning framework.**

4. **Is the planning proposal consistent with the objectives and actions contained within the applicable regional or sub-regional strategy (including the Sydney Metropolitan Strategy and exhibited draft strategies)?**

Yes.

*Metropolitan Plan for Sydney 2036*

The Metropolitan Plan aims to grow employment in Sydney by 760,000 jobs by 2036. The job target for South West Sydney is to grow employment by 106% by 2036, which equates to an additional 141,000 jobs in the next 25 years. This sets a significant increase in employment growth and presents a considerable challenge to create new jobs in the South West, particularly as the other subregions of Sydney have lower targets of 55% employment growth or less.

In respect to South West Sydney's job targets, almost half the growth is to occur in 'strategic centres' (i.e Liverpool, Leppington and Campbelltown Macarthur) (P135). This therefore means that there needs to be significant job growth outside the 'strategic centres'. In addition to the employment growth objectives for South West Sydney, 'Action E5.1 - plan for half of Sydney's new employment by 2036 to be in western Sydney by facilitating growth in Strategic centres and development of greenfield employment land' emphasises the need to grow employment in Western Sydney. The effects of removing the floorspace limitation will assist in achieving the Metropolitan Plan's strategic actions for employment by increasing capacity for job growth in a region that has been allocated the largest growth target throughout Sydney.

More specific to this proposed amendment, the Metropolitan Plan encourages the clustering of businesses in appropriate locations to create more competitive markets. In addition, 'Objective B1 – To Focus Activities in Accessible Centres' articulates the general strategy for bulky goods development throughout Sydney. Under this objective the Plan states the following in relation to bulky goods development:

*Retailing which requires large floor areas, such as bulky goods premises, cannot always be readily accommodated in existing centres. Subregional planning and local planning will need to identify locations for subregional clusters for this kind of retail development which*

*support the economic development of centres in those subregions. The B5 Business Development Zone is generally an appropriate zone in which to cluster this kind of development.*  
(P62 Metropolitan Plan for Sydney 2036)

The proposed amendment is consistent with the Metropolitan Plan as lifting the limitation on bulky goods will enable bulky goods business to cluster within a location that is identified as being eminently suitable for this form of development. In addition, the B5 area is well serviced with infrastructure and transport, and removal of the floorspace limitation will increase the potential for greater employment and competition.

#### *Draft South West Subregional Strategy*

Now that the new Metropolitan Plan is in place, the released Draft South West Subregional Strategy is being reviewed. The Metropolitan Plan states that the Subregional Strategies will be instrumental in defining the growth directions of Sydney in greater detail.

Notwithstanding the current status of the strategy, the relevant key objectives in the publicly exhibited Draft South West Subregional Strategy include:

- Accommodating employment needs of existing and future communities.
- Planning for major employment growth.
- Councils to plan for sufficient zoned land to accommodate their employment targets.

The Planning Proposal will create increases in the level of bulky good retail which is a use that will generate some of the higher rates of employment per floor area metre out of the various permitted land uses in the B5 zone. The proposal will therefore make a strong contribution towards Council achieving its employment targets and will facilitate greater competition within the local commercial centres.

#### *South West Growth Centre*

The subject land is located within the South West Growth Centre, which incorporates a strategic planning framework to guide the location of residential, business, industrial and recreational land uses. The South West Growth Centre Structure Plan identifies a network of centres at various levels in the centres hierarchy, which includes the nearby Oran Park Town Centre and the future Leppington Regional Centre.

As part of the Precinct Planning process for the Turner Road Precinct, detailed background assessments were undertaken to substantiate how the Precinct should be developed. This included detailed assessments on the economics and employment of the Turner Road Employment Lands and Oran Park Town Centre, and their context with the Leppington Regional Centre.

Outcomes of the economic and employment analysis reinforced the Oran Park Town Centre as a traditional retail centre rather than having a bulky goods retail function. In addition, the studies supported a more concentrated approach to commercial development (i.e. bulky goods retail) rather than the 'ribbon style' commercial development along arterial roads where direct access cannot be achieved.

As determined by the Precinct Planning process, the subject land is a suitable location for bulky goods retail development which will not impact on the integrity of surrounding centres. Furthermore, the subject land is the only identified location within the South West Growth Centre that has undergone detailed planning to confirm its suitability for bulky goods retail development. In a broader context, the subject land is an identified bulky goods centre in the Turner Road catchment, which has limited sites that have been identified or are suitable for this type of land use activity.

**5. Is the planning proposal consistent with the local Council's Community Strategic Plan, or other local strategic plan?**

Camden Council's local strategic plan is 'Camden 2040 - Working Together to Achieve the Community's Vision for the Future' was endorsed in December 2010.

Camden 2040 has a vision to effectively manage its growth whilst promoting a prosperous local economy, with thriving local businesses and local employment. Part of successfully managing growth is to overcome a key challenge of "developing a local economy that enables local people to prosper and contributes to improved lifestyles, including strong local businesses and availability of local employment" (p22) by building "a strong local and regional economy that is characterised by the provision of local jobs for local people" (p25).

The specific key challenges for a prosperous local economy include:

- The increasing gap between the number of residents and the availability of jobs within the region.
- Building a good skills match between jobs and residents in Camden and the Macarthur region through developing an increasing diversity of local skills, attracting people with diverse skills to live in this area, and through a focus on young people as the future labour force.

The key strategies need to overcome the above challenges include:

- Planning for local economic development activities that maximise opportunities and actively grow the local economy, having a clear understanding of the local, regional and national economic contexts.
- Attracting industry and business investment in the Camden and Macarthur regions through marketing and promotion of the region as an attractive and viable location for business and industry, and for the people employed in those organisations.

Planning Proposal for amendment to SEPP (Sydney Region Growth Centres) 2006 in relation Turner Road Employment Lands

- Providing suitable and sufficient land through the urban planning process to enable and support a diversity of employment and industry types, including planning for economic development clusters or "hubs" that will maximise opportunities to build competitive advantage and strengths.

The measure for success of the above strategies will be represented by the diversity and level of local employment opportunities within the local government area. This proposal will undoubtedly contribute to Council achieving its vision for economic and employment growth for the local community.

**6. Is the planning proposal consistent with applicable state environmental planning policies?**

The State Environmental Planning Policies (SEPPs) that are relevant to this Planning Proposal are identified below.

Relevant SEPP/Deemed SEPP	Consistency of Planning Proposal
SEPP (Sydney Region Growth Centres) 2006	The proposal is consistent with the aims of the SEPP to coordinate the release of land for employment generation in the in the South West Growth Centre.
SREP No 20—Hawkesbury-Nepean River	While the proposed amendment will result in increases to bulky goods retail development within the area, there are no inconsistencies with SREP No 20. The proposed amendment is not likely to change the nature of the development within the Turner Road Employment Lands area.

**7. Is the planning proposal consistent with applicable Ministerial Directions (s.117 directions)?**

Each s117 Ministerial Direction is listed below with an annotation stating whether it is relevant to the Planning Proposal and confirming its consistency.

s.117 Direction	Consistency of Planning Proposal
1.1 Business and Industrial Zones	<p>Yes. The proposal will have a positive effect on an area that has been identified for business purposes.</p> <p>This is demonstrated not only by retaining all existing development potential for business development, but increasing the opportunities for business development and creating a more flexible economic environment for growth.</p>

Planning Proposal for amendment to SEPP (Sydney Region Growth Centres) 2006 in relation Turner Road Employment Lands

s.117 Direction	Consistency of Planning Proposal
	In addition, the proposed amendment will not adversely impact on existing and future centres in the region, which is large due the low levels of bulky goods development either existing or planning within the commercial catchment.
3.4 Integrating Land Use and transport	Yes. Constructed and future road infrastructure within the site will be suitable for bus routes and the subject land fronts Camden Valley Way and Gregory Hills Drive, which are identified as strategic regional bus routes in the Bus Route Strategy for the South West Growth Centre. In addition, pedestrian/cycle paths will be provided in accordance with the Precinct Planning outcomes for the Turner Road Precinct, which will ensure the B5 area is highly connected with surrounding non-vehicular transport networks.
6.3 Site Specific Provisions	Yes. The objective of this direction is to discourage unnecessarily restrictive site specific planning controls. The proposal will remove existing site specific controls that apply a limit to a specific land use activity that is typically permitted within the B5 zone.
7.1 Implementation of the Metropolitan Strategy	Yes. It meets objectives of the Metropolitan Strategy through facilitating economic growth within an identified employment lands area as detailed in the Sydney Metropolitan Strategy Map.

***Section C - Environmental, social and economic impact.***

8. **Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?**

The Planning Proposal will not result in any adverse environmental impacts.

9. **Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?**

The Planning Proposal will not result in any adverse environmental impacts.

10. **How has the planning proposal adequately addressed any social and economic effects?**

Page 10

Any social and economic effects are expected to be positive. Assessment of the economic and social impacts for urbanisation of the Turner Road Precinct was undertaken as part of the comprehensive Precinct Planning process. This included investigations to determine social infrastructure for the employment lands and the adjacent residential lands. Development that is likely to result from the proposed removal of the cap on bulky goods development is not expected to significantly impact on the nature of development that would otherwise occur under the current statutory planning framework. However, it is expected that employment generation will be higher from the proposed amendment as bulky goods development has a significantly higher employment rate than other uses permitted within the B5 zone, such as warehousing and distribution activities. Furthermore, with the removal for the floorspace restriction, this will encourage a diverse bulky goods centre that will bring early employment opportunities to the locality.

***Section D - State and Commonwealth interests.***

**11. Is there adequate public infrastructure for the planning proposal?**

The subject B5 zoned land is within a major urban growth area of South West Sydney. Comprehensive assessment of public infrastructure needs has been undertaken at the Precinct Planning stages of the Turner Road Precinct to ensure adequate public infrastructure is provided and coordinated with land development in a timely manner.

The landowners/developers associated with the B5 area of the Turner Road Precinct have funded the delivery of major road upgrades, the provision of new water and sewer infrastructure, and the constructed portion of the Turner Road Employment Lands is serviced with fibre optic cable technology.

The Planning Proposal does not alter the nature of potential development within the Turner Road Employment Lands, and therefore, no additional needs for public infrastructure for the locality is anticipated.

**12. What are the views of State and Commonwealth public authorities consulted in accordance with the gateway determination?**

The applicant has undertaken initial consultation with Department of Planning and Infrastructure to ensure that the 'Turner Road Precinct Bulky Goods Analysis' (refer to **Attachment 1**) has addressed all issues of interest and relevance to the Department. No wider consultation with State or Commonwealth agencies has been undertaken at this stage.

Planning Proposal for amendment to SEPP (Sydney Region Growth Centres) 2006 in relation Turner Road Employment Lands

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***Part 4 – Community Consultation***

Should a Gateway Determination be received that supports proceeding with the planning proposal, Council will consult with the community via a public exhibition of the planning proposal and DCP amendment. It is recommended that the Planning Proposal be publicly exhibited for a period of 28 days.

Update August 2012

In accordance with the Gateway Determination, the planning proposal was placed on public exhibition for 28 days. The outcomes of the public exhibition will be forwarded to the Department of Planning and Infrastructure under separate cover in conjunction with the Council report and resolution of 28 August 2012.

ORD11

Attachment 1

ORD11

Planning Proposal for amendment to SEPP (Sydney Region Growth Centres) 2006 in relation Turner Road Employment Lands

**Appendix 1**  
**'Turner Road Precinct Bulky Goods Analysis'**  
**by Deep End Services,**  
**October 2011**

Attachment 1

Planning Proposal for amendment to SEPP (Sydney Region Growth Centres) 2006 in relation Turner Road Employment Lands

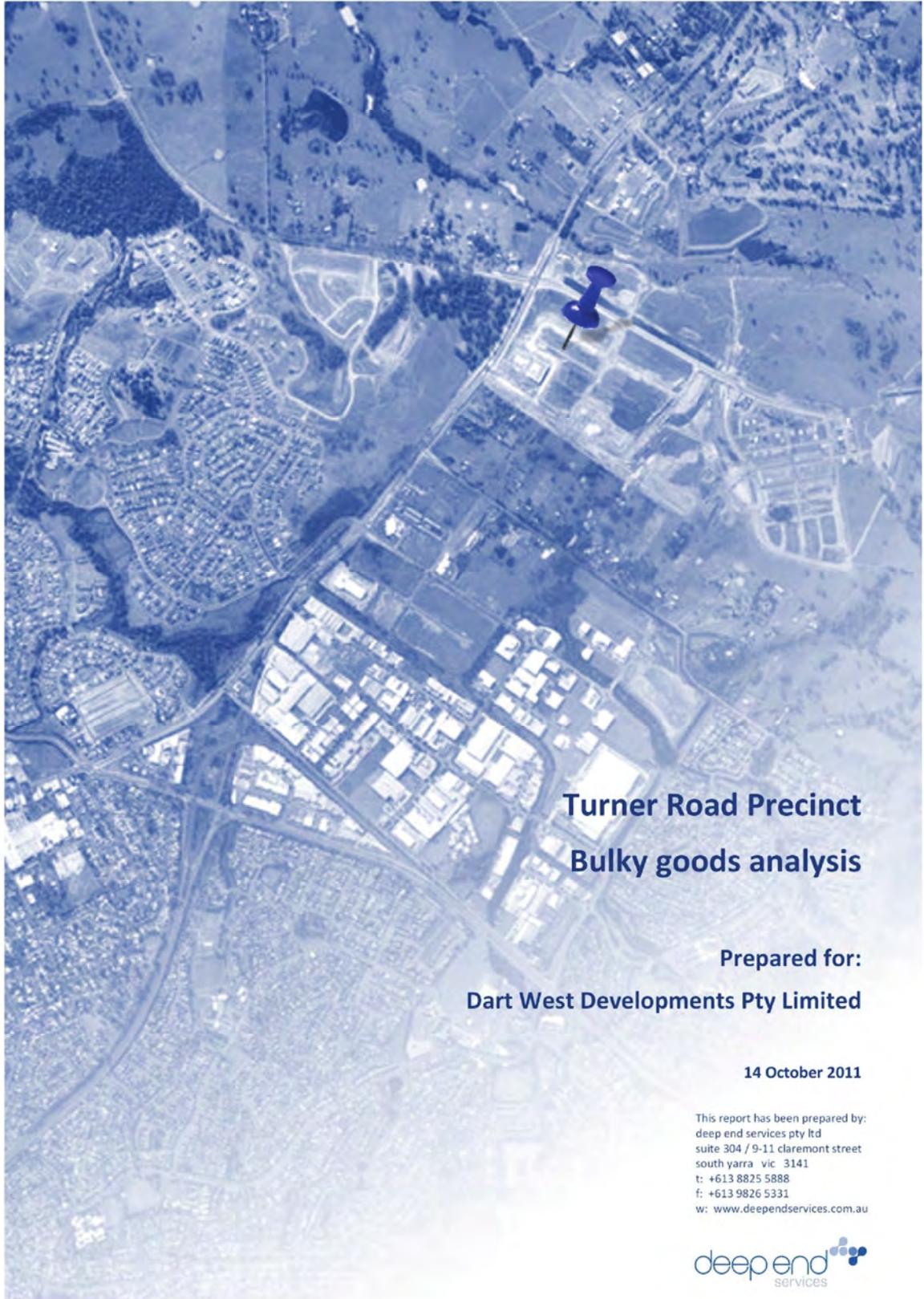
**Appendix 1  
'Turner Road Precinct Bulky Goods Analysis'  
by Deep End Services,  
October 2011**

**ORD11**

**Attachment 1**

ORD11

Attachment 1



**Turner Road Precinct  
Bulky goods analysis**

**Prepared for:  
Dart West Developments Pty Limited**

**14 October 2011**

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Attachment 1

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This report contains forecasts of future events. These forecasts are based upon numerous sources of information, including historical and forecast data provided by organisations such as the Australian Bureau of Statistics, Dart West Developments, MapInfo Australia, Market Data Systems and NSW Government Department of Planning. It is not always possible to verify that this information is accurate or complete.

It should be noted that the factors influencing the findings in this report may change and hence Deep End Services Pty Ltd cannot accept responsibility for reliance upon such findings beyond a date that is six months from the date of this report. Beyond that date, a review of the findings contained in this report may be necessary. This report should be read in its entirety, as reference to part only may be misleading.

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Dart West Pty Ltd report - Turner Road Precinct bulky goods analysis - 14 Oct 11  
deep end services pty ltd

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## 1. Introduction

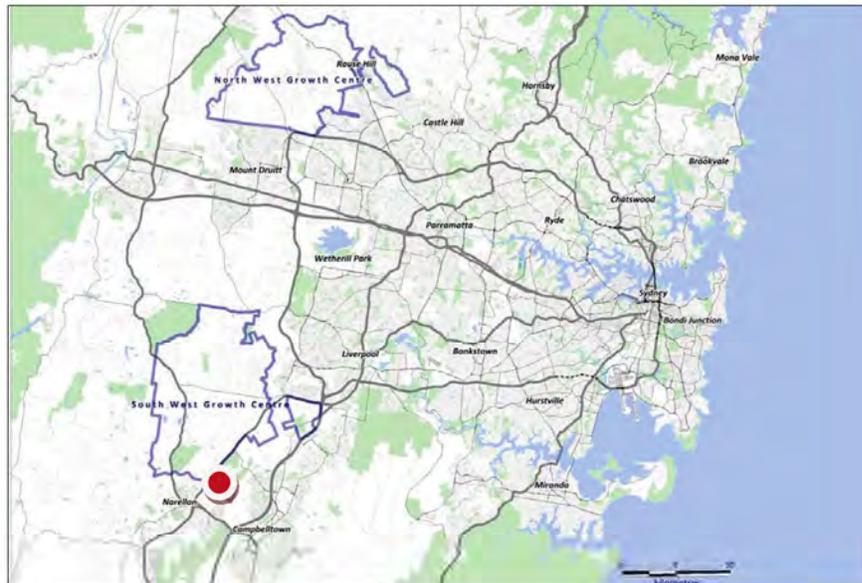
This report has been prepared by Deep End Services on the instructions of Dart West Developments Pty Ltd. Dart West owns 45 hectares of employment land within the Turner Road Precinct of the South West Growth Centre (SWGCC) as shown in Figure 1. Dart West's holdings form part of a larger employment land area of approximately 100 hectares, of which 50 hectares (ha) is zoned B5 Business Development and 50 ha is zoned IN1 General Industrial.

Clause 3.1(5) of the Turner Road Development Control Plan (DCP) 2007, which is integrated with SEPP (Sydney Region Growth Centres) 2006 (Amendment No.1), stipulates a maximum of 40,000 sqm of bulky goods floorspace in the B5 zone to be equally shared between Dart West and another landholding (Sekisui House).

Dart West is seeking the removal of the bulky goods floorspace cap via amendments to clause 19D of the SEPP (Sydney Region Growth Centres) 2006 (Amendment No. 1) and clause 3.1 (5) of Part B3 of the Turner Road DCP 2007.

Deep End Services has been engaged to assess and recommend the potential of the Turner Road Precinct Employment Land to accommodate bulky goods floorspace and the implications, if any, on the planning framework.

Figure 1 Regional location



The Turner Road Precinct is located within the Camden Local Government Area (LGA). The Camden LGA forms part of the Macarthur region of Sydney which contains around 240,000 residents within Camden Council, City of Campbelltown and the Wollondilly Shire. This precinct is also situated at the southern end of Sydney's SWGC where the NSW Government has identified the potential for 110,000 new homes over the next 30 – 40 years. The SWGC



covers 17,000 hectares and consists of 18 precincts defined for planning and urban release purposes. There is rapid urban development now occurring in the southern precincts of the SWGC, within the Turner Road precinct and immediately to the west at Oran Park. The established urban areas of Campbelltown and Narellan lie to the south east and south west respectively.

This report has been prepared to accompany a 'gateway' submission to the NSW Department of Planning and Infrastructure (Department). The report will be reviewed by Camden Council (Council) and the Department in its consideration of the gateway submission and its willingness to permit the commencement of the necessary amendments.

Dart West Developments has consulted with and gained input from Council and the Department on the study brief.

A planning proposal is the first step in making a local environmental plan (LEP). It is a document that explains the intended effect of a proposal and sets out the justification for making that plan. This report considers the strategic planning and policy framework and need and demand aspects from an analysis of existing and projected bulky goods floorspace and the emerging pattern of urban development and population growth in the region.

This report includes the following sections:

- Section 2: Details the Turner Road precinct and local planning context;
- Section 3: Reviews a number of planning and policy documents relevant to bulky goods, retailing in general and, specifically, the Turner Road Precinct.
- Section 4: Defines the catchment for the Turner Road Precinct and provides an overview of population growth expectations and the patterns of growth which reinforce the prospects for bulky goods development;
- Section 5: Reviews the distribution of existing bulky goods floorspace in South west Sydney and assesses opportunities for future bulky goods developments within this region;
- Section 6: Calculates the current level of escape expenditure from the catchment and assesses the implications and benefits of reducing these levels;
- Section 7: Examines the current and future demand and supply of bulky goods floorspace to establish the prospects of accommodating additional floorspace at the Turner Road Precinct.
- Section 8: Draws together the major conclusions from the analysis.



## 2. Turner Road Precinct

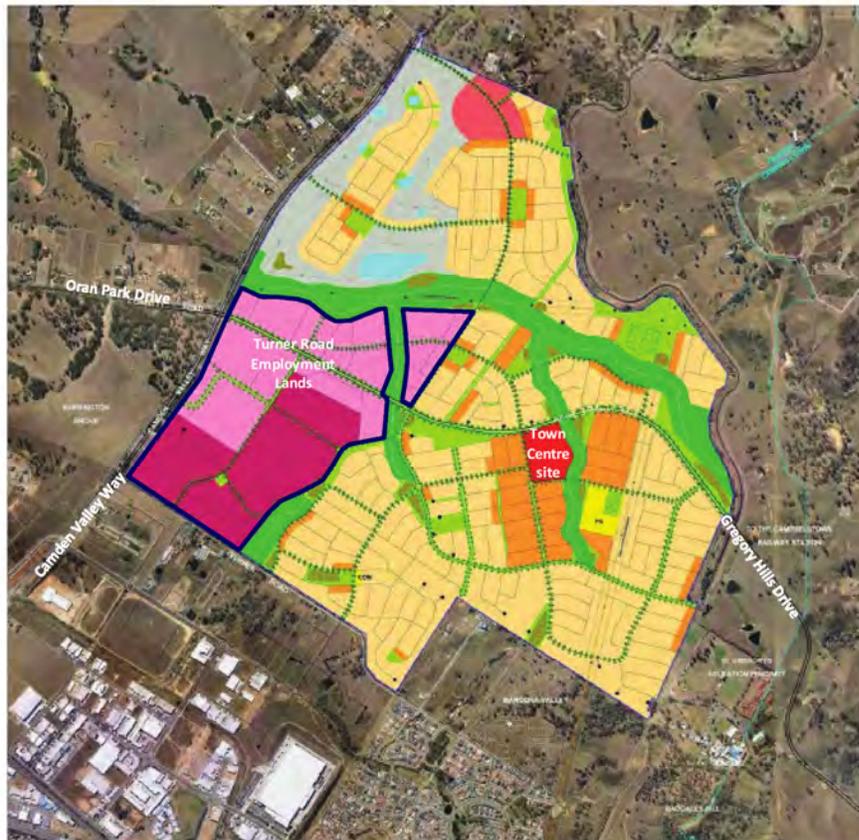
### 2.1 Local context

The Turner Road Employment Lands form part of the Turner Road Precinct (refer Figure 2) which is located within the SWGC.

The Department of Planning summarises the 536 hectare Turner Road Precinct as having the capacity for "...4,020 new homes for around 11,000 new residents, capacity for 5,000 jobs, nearly 100 hectares (96 hectares) of employment land and a 15,000 square metre neighbourhood centre."

Figure 2 shows the Turner Road Precinct, including 100 ha of employment land (outlined in blue) which straddles Gregory Hills Drive. The B5 zoned land is highlighted in light pink whilst land zoned IN1 (industrial) is highlighted in dark pink.

Figure 2 Turner Road Precinct



Source: Department of Planning (NSW Govt); Nearmap



The employment lands contain approximately 50 ha of B5 land and 50 ha of IN1 land. Within this, Dart West’s holding of 45 ha comprises 25 ha of B5 land and 20 ha of IN1 land. Sekisui House currently owns the balance of B5 land (refer Table 1).

Table 1 Turner Road Employment Lands

Zone	Ownership	Land area (ha)	Floorspace cap	
			(sqm) <sup>(1)</sup>	Proposals
Business 5	Dart West	25	20,000	Part of Central Hills Business Park Masters Home Improvement (13,500 sqm) under construction
	Sekisui	25	20,000	No current proposals
	Total	50	40,000	-
Industrial 1	Dart West	20	n.a.	Part of Central Hills Business Park
	Other	30	n.a.	-
	Total	50	n.a.	-

<sup>(1)</sup>Floorspace cap excludes the Masters Home Improvement store under construction  
Source: Deep End Services; Dart West Developments; Department of Planning (NSW Govt)

Dart West’s employment land holdings, which are being marketed and developed as Central Hills Business Park (CHBP), have major frontages to Camden Valley Way and Gregory Hills Drive, as shown in the Gregory Hills Masterplan (Figure 3). Sekisui House owns the balance of the employment land to the north of Gregory Hills Drive. The major entry to the precinct from the recently upgraded Camden Valley Way is via Gregory Hills Drive which is the central thoroughfare within the precinct.

Figure 3 Gregory Hills Masterplan



Source: Dart West Developments



Construction of CHBP has commenced and a number of lots have been sold within the B5 and IN1 zoned land (refer Figure 4). Construction of a new 13,500 sqm Masters Home Improvement store is underway and will be the first store of its type to open in NSW, either in late 2011 or early 2012.

Figure 4 Central Hills Business Park – current status



Source: Dart West Developments

Dart West’s other landholdings in the Gregory Hills Masterplan comprise residential areas for approximately 2,400 lots and the designated Town Centre site (refer Figure 3). Construction of the first residential stage is well advanced and the first residents moved into the estate in July 2011. Development is anticipated to progress at around 200 lots per annum, although 270 lots were sold in the first year. Sekisui is also now active and development on its land will add to the population growth forecast at Gregory Hills.

The town centre will contain up to 15,000 sqm of retail floorspace with the first stage anticipated within three to four years. Coinciding with the development of the town centre will be an extension of Gregory Hills Drive east towards Campbelltown. The new road connection will link to established residential areas such as Campbelltown, Eagle Vale and Claymore. It will also provide a convenient link to the F5 via Raby Road and to the rail line at Campbelltown.

Camden Valley Way will also be upgraded to the north as other SWGC precincts develop and become the major divided four-lane thoroughfare between Camden-Narellan and other northern precincts of the SWGC.



Development and timing of Sekisui House's employment and residential landholdings is currently unknown and we understand that their B5 land is currently for sale on an englobo basis.

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**Attachment 1**



## 2.2 Proposal and local planning context

The Turner Road precinct is governed by the provisions of the Turner Road DCP 2007 and the SEPP (Sydney Region Growth Centres) (Amendment No.1). Whilst the B5 zoning permits a wide range of bulky goods uses, Clause 3.1(5) of the DCP states that *"a total maximum of 40,000 sqm GFA of bulky goods premises is to be provided in the Business Development Lands fronting Badgally Road. Of this maximum, no more than 20,000 sqm is to be provided along either the northern or southern frontages of Badgally Road. The total maximum GFA does not include Landscape and Garden Supplies and Timber and Building Supplies."*

The Masters Home Improvement store, which is currently under construction within the B5 zoned land, is largely exempt from the floorspace cap, with just the whitegoods component of the store (1,157 sqm) not excluded.

Dart West is requesting the removal of the floorspace cap on bulky goods on the following basis:

- Strong population growth to the north within the SWGC and south in other land release areas;
- Minimal impact on surrounding traditional retail elements;
- Existing under-supply of bulky goods floorspace within the region;
- Supported by a range of planning policies.



### 3. Strategic planning & policy context

#### 3.1 Bulky goods industry overview

Bulky goods and homemaker retailers have been the fastest growing sector of the retail industry in the last 20 years. They have evolved in many ways becoming larger, more specialised and more competitive. This trend has emerged from new product development and technologies, the arrival or adoption of overseas retailing models and rapid growth in consumer spending and demand for a wider choice in appliances, furniture, electronics, hardware and home improvement products.

Accordingly, many retailers have outgrown their traditional formats that are either obsolete or too expensive in locations within or adjoining conventional shopping centres. Developers and retailers have realised the opportunities and benefits of clustering large format retailers in planned centres or precincts where choice for the consumer is maximised and important access and centralised parking areas can be efficiently planned. Bulky goods centres have also gained greater recognition as a legitimate asset class by fund managers and investors.

The industry is now well represented by the Bulky Goods Retailers Association (BGRA) who undertakes research, prepares publications and advocates for the interests of its members.

Bulky goods and homemaker retailers represent between 25%-30% of all retail floorspace in Australia or between 9 and 10 million square metres. The BGRA through its publication, *The Australian Bulky Goods Directory* measures floorspace at over 200 existing and proposed Bulky Goods Centres and precincts covering about 50% of the total industry. This database provides valuable information and insights into the pattern and size of the bulky goods industry.

Bulky goods retailers tend to locate in clusters, either within homemaker centres or in out-of-centre developments to encourage destination and comparison shopping by customers.

In New South Wales, the average bulky goods floorspace per homemaker centre is 18,533 sqm, compared to a national average of 16,990 sqm.

Whilst there is no formal hierarchy of centres within the bulky goods industry, there has been a recent trend towards the development of larger centres. The largest centre in Australia, Gepps Cross Home HQ, at almost 62,000 sqm in total floorspace, opened in 2009, whilst the second largest centre, Kotara Homemaker Centre, was substantially expanded to almost 58,000 sqm in 2010.

Centres at Springvale in Victoria (71,460 sqm) and Marsden Park in NSW (82,000 sqm) are scheduled to open in the next 2 years and will be the two largest homemaker centres in Australia on completion.

In Sydney, and other cities, major bulky goods precincts have historically emerged in an ad-hoc fashion through gradual development along main roads, within industrial areas and occasionally in properly master-planned and designated areas. The seven largest existing and proposed bulky goods precincts in Sydney are listed in Table 2. These range from 57,000 sqm to 137,000 sqm and average just under 100,000 sqm each.



Auburn, Penrith, Campbelltown and Alexandria and other smaller precincts at Taren Point have evolved along major arterials resulting in linear forms of development, fragmented land use and poor connectivity.

Bulky goods retailing at Castle Hill and Crossroads has been contained within a discrete and compact street network while Crossroads is a more recent free-standing satellite location.

Table 2 Bulky goods precincts – Sydney

Centre / Precinct	Size (sqm)	No. tenancies	Location comments
Auburn	137,470	95	Out-of-centre retailing along Parramatta Rd
Castle Hill / Bella Vista	130,859	130	Out-of-centre precinct - 3.5 km from Castle Hill
Penrith	108,941	90	Out-of-centre retailing along Mulgoa Rd
Alexandria / Moore Park	90,975	73	Out-of-centre.
Marsden Park (p)	82,000	-	Adjoins proposed Marsden Park Major Centre
Campbelltown	64,937	59	Adjoins Campbelltown Major Centre
Crossroads	57,634	17	Out-of-centre. Further expansion potential
<b>Average</b>	<b>96,117</b>	<b>77</b>	

Source: Deep End Services, Bulky Goods Directory (2010/11)

(p)=proposed

All of the listed large bulky goods precincts in Sydney and many others of a smaller scale are removed from major strategic or large activity centres for many good reasons including:

- Site and land requirements are prohibitive;
- Residential and mixed office / retail uses are the highest and best use of land in or adjoining major centres in Sydney;
- Not only are rents prohibitive but bulky goods uses are a generally unattractive use in mixed use developments and have restrictive building, loading and parking requirements; and
- There is a generally weak relationship or low synergy between shopping for food, fashion, services and entertainment which are predominant in major centres and less frequently purchased large household items, hardware and other bulky goods.

The six existing major precincts listed above are, on average, 3.9 km away from the nearest strategic or major centre. The bulky goods precinct nearest to a major centre is Blaxland Road Campbelltown which is still separated from the Campbelltown Major Centre (1.5 km) by significant road and rail infrastructure.

Other smaller (but still significant) bulky goods precincts in Sydney such as Caringbah-Taren Point, Belrose, Bankstown, Blacktown (Homebase & MegaCentre) have very weak physical or land use connections with strategic centres. Two bulky goods clusters at Orange Grove and Warwick Farm (Sappho Road) are 2-3 km from the Liverpool Centre and are referred to as complementary and non-competing in the policy frameworks,



The agglomeration and co-location of bulky goods floorspace and centres in Sydney with conventional major centres has been rarely achieved. At best, the major clusters have a weak association with nearby Major Centres. Some major centres such as Marsden Park and Rouse Hill have made provision for bulky goods uses near or adjoining the main centre with the benefit of greenfield planning.

## 3.2 Approach to Bulky Goods planning

### 3.2.1 Metropolitan policy

Metropolitan Policy has consistently asserted the benefits of agglomerating activities in centres which are realised from:

- Improved access to facilities;
- Collaboration and improved competition between businesses by clustering like activities;
- Better use of existing infrastructure; and
- Promoting public transport as an alternative means to access goods and services.

Under the 2005 Metropolitan Strategy, Strategic Centres were to be supported by the growth and development of new businesses in Enterprise Corridors and Business Development zones. These corridors and zones were identified for, amongst other uses, potential bulky goods locations.

In December 2010, the *Metropolitan Plan for Sydney 2036* was released as the new metropolitan strategy for Greater Sydney, updating the earlier 2005 Strategy.

While neither the 2005 nor the updated (2010) Metropolitan Strategies identify any Enterprise Corridors or Business Development Zones in the South West, there is a stated need to identify locations for start-up businesses, showrooms, building supplies, small retail outlets and bulky goods clusters that do not always 'fit' in Strategic Centres.

The difficulty in concentrating large bulky goods uses in and around existing centres is further underlined in the Metropolitan Plan where it states that *"Retailing which requires large floor areas, such as bulky goods premises, cannot always be readily accommodated in existing centres. Subregional planning and local planning will need to identify locations for subregional clusters for this kind of retail development which support the economic development of centres in those subregions"* (p.62). The policy direction therefore gives flexibility to designate and plan large bulky goods precincts where they can demonstrate that the overall network of centres is supported. The identification of these areas is clearly left to the Subregional Strategies, precinct planning in the South West Growth Centre and Council based LEPs.

Other relevant Strategic Directions from the Metropolitan Plan relate to the importance of employment generation and the setting of aspirational long term capacity targets for Sydney's subregions. The target for South West Sydney – 141,000 new jobs between 2006 and 2036 – will be achieved in part by accommodating retail and commercial jobs not only in the Strategic Centres but in a wider range of other centres and other specialised employment lands which serve the needs of the growth areas and particularly the SWGC.



### 3.2.2 Draft Centres Policy (2009)

A draft *Centres Policy – Planning for Retail and Commercial Development* was released by the Department of Planning in April 2009. The aims of the Policy include “to create a network of vital and vibrant centres that cater for the needs of businesses,... individuals and families” (pii) and “...to proactively and positively plan for the retail and commercial sector, ensuring the supply of floorspace accommodates market demand.” (p29)

The policy is based on six principles which can be summarised as follows:

- Retail and commercial activity should be located in centres for efficient use of transport, for access to labour markets and to improve liveability;
- The planning system should be flexible to enable centres to grow and new centres to form;
- The market is best placed to determine the need for retail development. The role of the planning system is to regulate location and scale to meet demand;
- The planning system should ensure the supply of floorspace always accommodates market demand;
- The planning system should support a range of premises in all centres and encourage a competitive retail and commercial market; and
- Retail and commercial development should be well designed.

The policy advocates that retail and commercial activity should be located in centres but also recognises the important role of corridors around busy road and transport routes that can also offer opportunities for development. In such circumstances a range of zones, including the B5 (Business Development) Zone, can be used to accommodate development in edge-of-centre or out-of-centre locations. The Policy states that the B5 zone should be “used for clusters of large floor plate bulky goods premises that cannot be accommodated in, or are not suited to, centres because of large floor space requirements or the need for direct vehicle access to load or unload goods”. (p16)

The draft Policy acknowledges the legitimate role and unique character of bulky goods uses including the large areas required for handling and displaying stock, direct vehicular access by customers and their location preferences for sites with low costs off-setting lower turnover levels per floor area.

### 3.2.3 Draft South West Subregional Strategy

#### 3.2.3.1 Regional targets

The South West Subregional Strategy (SWSRS), covering the municipalities of Liverpool, Campbelltown, Camden and Wollondilly and all of the SWGC, was prepared in 2007 and is still in draft form (refer



Figure 5). To some extent, the SWSRS has been superseded by the updated Metropolitan Strategy however the document explores the strategic framework for development and growth in south western Sydney in various ways.

The SWGC is one of the few relatively unconstrained areas for Greenfield development in the south-west of Sydney and is expected to house over 300,000 people in the next 30 years. Accordingly, there is a very clear onus and expectation that the South West will deliver much of Sydney's economic growth agenda for the next three decades, including creating and supporting a high proportion of new employment opportunities.

The SWSRS set the following directions and targets:

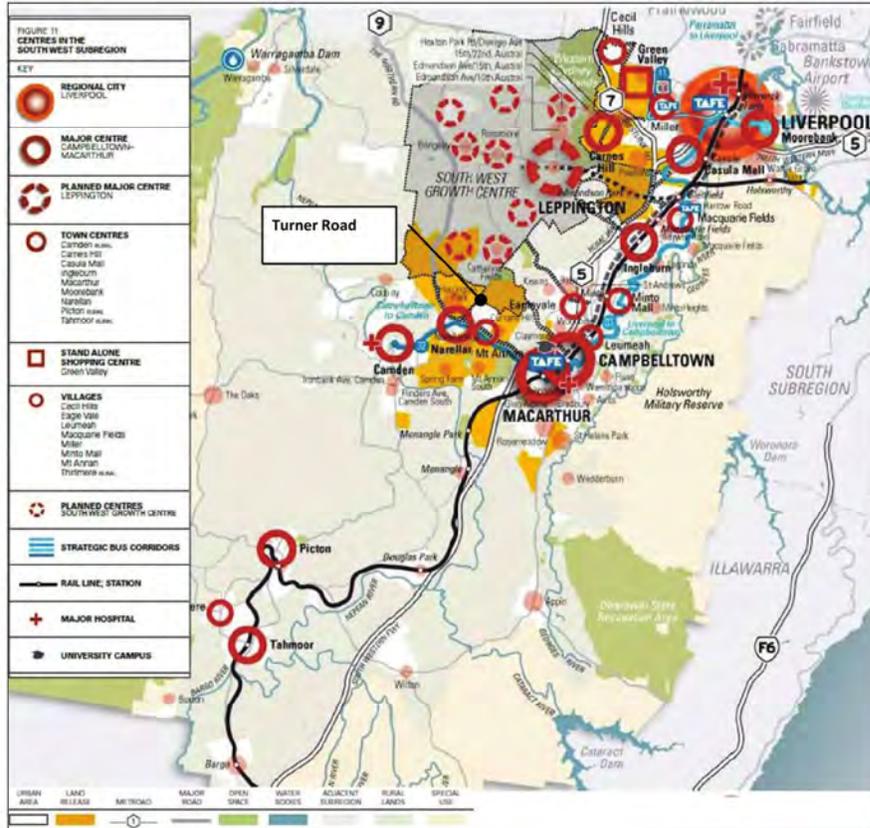
- The subregion will accommodate 89,000 jobs or more than 15% of all new jobs in Sydney over the next 25 years (to 2031). Of this, the City of Camden has an employment target of 26,000 jobs
- ;
- The subregion will accommodate 25% of new dwellings in Sydney. The new dwelling target of 155,000 by 2031 – or around 5,500 new dwellings per annum – includes 100,000 dwellings in the SWGC;
- The Strategy recognises the two existing Strategic Centres (Liverpool and Campbelltown) and one new proposed Strategic Centre (Leppington);
- Intensifying areas around retail centres and public transport corridors;
- Strengthening centres with public transport; and
- Extending transport networks into the SWGC including the South West Rail Link with new stations at Leppington and Edmondson Park. Bus corridors will extend through the SWGC connecting to a transport interchange at Leppington.

Accordingly, there is a very strong onus and expectation that the South West will deliver much of Sydney's economic growth agenda for the next three decades including one in every 5 new jobs between 2006 and 2031.

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Figure 5 Centres in the South West Subregion draft Subregional Strategy



Attachment 1



### 3.2.3.2 Employment lands & bulky goods

The Subregional Strategy contains two sections relevant to retail centres policy in general and bulky goods in particular:

- *Chapter A: Economy and Employment* aims to ensure adequate supplies of Strategic Employment Lands within the Subregion to support various economic activities; and
- *Chapter B: Centres and Corridors* sets objectives and actions in relation to Strategic Centres.

There are three categories of Employment Land in the Subregional Strategy. Category 1 'Land To Be Retained for Industrial Purposes' identifies 20 areas in Liverpool, Campbelltown, Camden and Wollondilly to be retained and to accommodate future economic services and employment opportunities. These sites are listed according to their main purposes with descriptions of their future intended role from a planning perspective. Several are listed as having an existing bulky goods profile although we note the following in relation to future guidance and relevance to supply in the Camden-Narellan area:

- Crossroads is recognised as a strategic site at the M5 and M7 interchange where one-third of the 46 hectares has been developed for bulky goods. The Strategy favours the location for freight and logistics uses and notes the expansion of bulky goods uses has been resisted in the past.
- Campbelltown (Blaxland Road) has an area of 140 hectares of which 30 hectares west of the railway line is vacant. With Campbelltown and Blaxland Road frontages now entrenched with bulky goods uses, the draft Strategy identifies the opportunity on the vacant land for a Business Park or uses that complement the commercial activities of the Town Centre. It states that no further retail / bulky uses should be allowed to extend into this area. Under 'Employment lands in the South West' the underutilised land west of the railway line is seen to be important in supporting Campbelltown's emergence as a Regional City and *"bulky goods retailing and other low value per hectare industries should not be allowed to compromise the long term potential of this area"*.

With the Blaxland Road area almost fully developed and the policy directions for the vacant land at Campbelltown and Crossroads, the two most concentrated areas for bulky goods uses in the wider region are potentially restricted for further expansion.

Elsewhere in the region (and well beyond the catchment of Turner Road), we note the Orange Grove Road bulky goods area, 2 km north of Liverpool Regional (Strategic) Centre could be considered for expansion as it has *"...activities that support rather than compete with Liverpool Regional City uses"*. The Sappho Road precinct with primarily homemaker and bulky goods uses, 3km from the Liverpool Centre, is also Category 1 Employment Land.

The recommendations and observations on Campbelltown and Liverpool in the draft Strategy are important in the context of the current Turner Road proposal. While Retail Policy could be seen in its narrowest interpretation to encourage all retail uses within or adjoining centres, there are situations where bulky goods is not an appropriate land use within close proximity to a major centre, especially where higher order and more employment intensive uses should be encouraged. Secondly, bulky goods uses in a properly planned precinct are seen as non-competing and complementary, around 2-3 km from a major centre.



Both observations are directly relevant to the Narellan Town Centre and Turner Road. The Landturn site in Narellan, zoned for Business Development and potentially capable of supporting bulky goods uses, is now the subject of a higher and better use proposal that will bring more employment and activity to the centre. The Turner Road area, where bulky goods has been supported through the rezoning of land to B5 and a DCP, is approximately 2.5 km from Narellan and could be seen, in the same light as Liverpool and Orange Grove Road / Sappho Road, as complementary and non-competing to the higher order retail uses and other residential and commercial proposals in the vicinity of the Narellan Town Centre.

The only other Category 1 Employment Lands precinct in the draft Strategy that has a bulky goods purpose is a small 2 hectare land allocation at Bargo.

In relation to Employment Lands in the South West Growth Centre, Turner Road and Oran Park are two of eight precincts with major allocations although other areas could be identified in the detailed precinct planning. The draft Strategy notes the location benefits of the Turner Road Employment Lands *“maximises access to two major regional public transport routes and takes advantage of the proposed extension of the future Badgally Road linking the precinct to Campbelltown. This substantial employment precinct will be supported by some convenience retail and other ancillary services and facilities such as child care services and gyms”*.

The draft Strategy notes the Oran Park Employment Land is around 16 hectares and the Oran Park DCP notes the Town Centre as comprising 24.6 hectares. The future Town Centre will be an important employment focus for the developing area however the 50,000 sqm of retail premises floorspace under the Oran Park DCP is unlikely to include any significant areas dedicated to bulky goods floorspace.

### 3.2.3.3 Business Development Zones & Enterprise Corridors

The draft Strategy discusses Business Development Zones and Enterprise Corridors where bulky goods retail and small start-up businesses are encouraged to locate in order to support centres rather than compete with them.

There are no Enterprise Corridors identified in the draft Strategy although it is recommended several areas in the City of Liverpool should be considered. None of these are close to, or within, the catchment of the Turner Road bulky goods site.

Business Development zones under the Standard LEP Template were established to encourage a mix of office, retail and warehouse uses in locations which are close to, and support, the viability of centres. The zone is considered appropriate where there are regional clusters of bulky goods that can be shown to support nearby centres and provide a range of employment activities. Within the outer south-west area the recommended areas for the Business Development zone were:

- Leumeah / Blaxland Road, Campbelltown, an area already well developed with bulky goods uses;
- Land at Narellan between the Bypass, Camden Valley Way and The Northern Road. Part of this land is the Landturn site, now the subject of a proposal to expand the retail elements of the Narellan Town Centre.



Since the completion of the draft Strategy, the Business Development zone has been applied to 50 hectares of land in the Turner Road precinct with a 40,000 sqm floorspace control on bulky goods uses

### 3.3 South West Growth Centre

The Sydney Growth Centres program was established to provide residential and employment lands for around 500,000 people over the next 30+ years in the North West and South West Growth Centres (refer Figure 6). The Program began in 2004 and is now delivering residential blocks to market in both Growth Centres.

The South West Growth Centre (SWG) comprises 18 precincts (refer Figure 7) across 17,000 hectares with an estimated capacity of 110,000 dwellings or 330,000 people. The Growth Centres SEPP was gazetted in July 2006 and the first two precincts in the SWGC, Oran Park and Turner Road, were rezoned for urban development in December 2007. These precincts will accommodate around 11,500 new dwellings or almost 35,000 people. Infrastructure and urban development has progressed in both precincts with the first residents moving into Oran Park in February 2011 and in Turner Road in July 2011. In the north of the SWGC, development is also progressing at Edmondson Park.

The development of all precincts in the SWGC will be generally in accordance with the SWGC Structure Plan (refer Figure 8) which guides, amongst other things, the location of town centres and neighbourhood centres.

Opportunities for mixed use employment corridors have been identified in four areas in the SWGC namely:

- Bringelly Road near the Leppington Town Centre.
- Camden Valley Way near Catherine Fields and Badgally Road. Both sections pass through or along the Turner Road employment precinct.
- The Northern Road near Lowes Creek.
- Fifteenth Avenue near Austral.

Subject to detailed precinct planning, these areas may contain Business Development or other zoned land suitable for bulky goods uses. Oran Park and Turner Road are the only precincts yet to be planned at any level of detail. The Leppington Major Centre is currently in the precinct planning phase and the timeframe for commencement of residential development in the precinct is not yet known. Any significant retail development in the centre would also then occur some time later as it would require significant supporting residential development to occur in the catchment. Lowes Creek and Austral, as potential bulky goods locations, are on the fringe and many years from developing viable retail / commercial precincts.

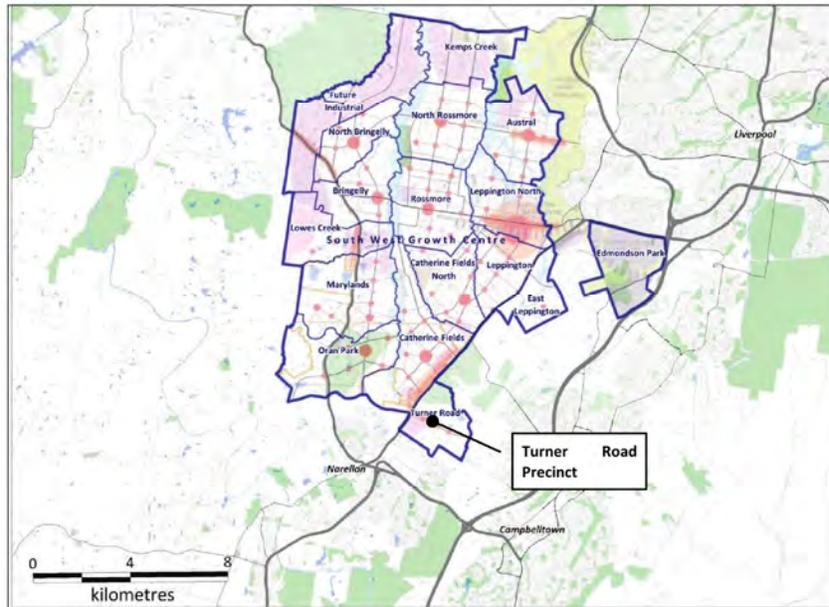


Figure 6 Location of North West and South West Growth Centres



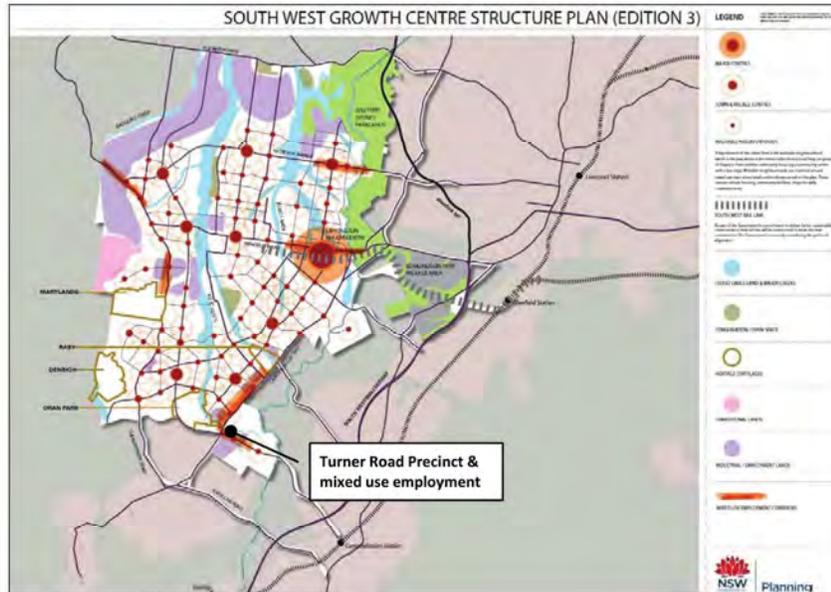
Source: Draft Sydney Growth Centres Strategic Assessment Draft Report (May 2010)

Figure 7 South West Growth Centre Precincts



Source: Deep End Services; Department of Planning (NSW Government)

Figure 8 South West Growth Centre Structure Plan



Source: Department of Planning (NSW Government)

### 3.4 Turner Road DCP (2007)

The Turner Road DCP outlines the planning, design and environmental objectives and controls against which Camden Council will assess future development applications in the Precinct.

Amongst the objectives listed under 'Hierarchy of Centres and Employment Areas' are:

- To ensure an appropriate supply, distribution and mix of retail, commercial and employment floorspace across the precinct.
- To ensure that the retail floor space within the Turner Road Precinct does not undermine the potential of existing and proposed centres within the region.
- To encourage the early investment and delivery of employment generating development and retail uses to serve the population.

The principal development control in relation to bulky goods is the 40,000 sqm limitation (excluding landscape and garden supplies and timber and building supplies) in the 50 hectare Turner Road Business Development Area (BDA).

In relation to the first objective, the strategic location of the Turner Road BDA, specifically its key road linkages and centrality to current and future urban areas will ensure that its bulky goods uses will serve a broad regional area, not merely those within the precinct. Secondly, the limitation of 40,000 sqm of bulky goods floorspace appears overly restrictive in the context of future supportable demands from the regional area (see Section 7) and would take up less



than 20% of the 50 hectares of Business Development zoned land. Although a range of other uses may also be accommodated and suitable within the zone, a number of these are also permissible in the adjoining 50 hectares of IN1 General Industrial zone. The 40,000 sqm control therefore seems to be an under-development of B5 land.

The removal of the floorspace limitation within the B5 zoned land will not undermine the potential of existing and proposed centres in the area because:

- Population growth in the SWGC will support the additional bulky goods floorspace;
- The development of bulky goods floorspace will have little or no impact on the conventional retail floorspace elements in Narellan or Campbelltown;
- There is currently very little bulky goods floorspace in the Narellan-Camden area. Of the existing 20,000 sqm, about two-thirds is taken up by a Bunnings store in Narellan. Other existing bulky goods clusters outside the area (e.g. Campbelltown) are long established and have limited capacity for growth. These areas would not be reliant, now or in the future, on the development of future population areas to the west which the Turner Road precinct will service.
- The staged development of Turner Road bulky goods floorspace will not delay or undermine similar uses proposed at Leppington, where another large cluster could develop (subject to detailed planning). Leppington will have its own catchment in the north of the SWGC and will be viable in the medium term when population levels warrant its development.

Further strengthening the merits of this precinct, the DCP's vision for the employment area is to be *"...a major provider of employment and business services for the local community, in particular the future residents of the Turner Road Precinct and the initial release Precincts of the South West Growth Centre."*

### 3.5 Competition SEPP (2010)

The draft Competition SEPP responded to reports by the Department and Better Regulation Office into the effects of certain provisions in the NSW planning system which promote or detract from opportunities to increase competition and economic growth. It also follows industry reviews and recommendations from the ACCC, Productivity Commission and Council of Australian Governments (COAG). In summary, the draft SEPP reinforces some long-standing planning principles and mandates other changes to planning provisions and instruments including:

- Competition between individual businesses and particularly the loss of trade is not a relevant planning consideration.
- The commercial viability of a development or any effects on the viability of other developments are not matters to be considered by a planning authority.
- Restrictions in planning instruments which restrict the number of a particular type of retail store are invalid.
- Impacts, including loss of trade, may be taken into consideration if they have the effect of adversely impacting on the extent and adequacy of services available to a community.



### 3.6 Conclusions

This concluding section of the chapter summarises the key policy directions of relevance to the proposal and demonstrates how the proposal is consistent with the policy framework.

The planning framework for bulky goods retail development has evolved in recent years as the market sector has come to prominence. There is a general objective to locate such uses within B5 zoned land adjacent to existing centres, but there is also a recognition that, in some cases, this is not always possible given existing land use and subdivision patterns and land economics in some locations.

While the focus remains on having these uses support the ongoing development of existing centres, the policy framework also recognises that, in some cases, bulky goods development in out-of-centre locations may be appropriate. In such situations, the planning framework seeks to ensure that this development is clustered rather than distributed in a fragmented and uncoordinated manner. It also seeks to ensure that such development occurs in areas with good transport access, preferable on key regional roads, and also ideally with reasonable public transport access. High quality design outcomes are also sought in such circumstances.

The draft Subregional Strategy recognises some of these inherent conflicts by explicitly recommending against the spread of bulky goods and show room uses from Blaxland Road on to land that might compromise a more compact and diverse centre at Campbelltown. Similarly, there is clearly tolerance, if not acceptance and outward support for bulky goods uses (and their expansion) within 3 km of the Liverpool Strategic Centre. Indeed, this relationship is regarded as complementary and non-competing.

The evolution and growth of centres towards a highest and best land use mix in response to market growth and trends and the displacement of bulky goods as a prospective in-centre use is best illustrated at Narellan. A 7.3 ha site known as the Landturn site currently benefits from a B5 Business Development zoning which permits (among other uses) bulky goods. There is also a retail floorspace cap of 11,300 sqm applicable to the site. The owners of this land are now seeking to rezone this site to B2 to permit a larger retail development, reflecting a market preference for a more intensive use of this well located site adjacent to the existing town centre at Narellan.

The recognition that bulky goods should not necessarily sit in or adjacent to a centre and can serve a better function by being properly planned in a broader employment precinct (than a centre precinct) is underlined by the authorities' zoning of 100 hectares of Business Development and Industrial land at Turner Road. Here, the precinct will be equidistant (less than 3km) from the developing Narellan Town Centre and the Oran Park Town Centre. The new road connections will create strong links and associations with these centres and will contribute to a sense of retail choice and options for consumers within a contained area.

The Turner Road precinct is also well placed on Camden Valley Way and Gregory Hills Drive to serve the existing and emerging growth areas to the south and east, while access to the F5 and rail line at Campbelltown is convenient.

The rezoning of 7.3 hectares of Business Development land at Narellan (the Landturn site), as currently proposed, could yield the equivalent of about 34,000 sqm of bulky goods floorspace if the land was developed for that purpose under a scheme considered by the land's owner.

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The relocation of this floorspace opportunity to Turner Road, which can serve the same catchment as the Narellan Town Centre, is a better outcome for the future planning and development of the Narellan Town Centre and consolidates bulky goods floorspace to a regionally significant location at Turner Road.

The upgrading of bulky goods floorspace allowance at Turner Road would:

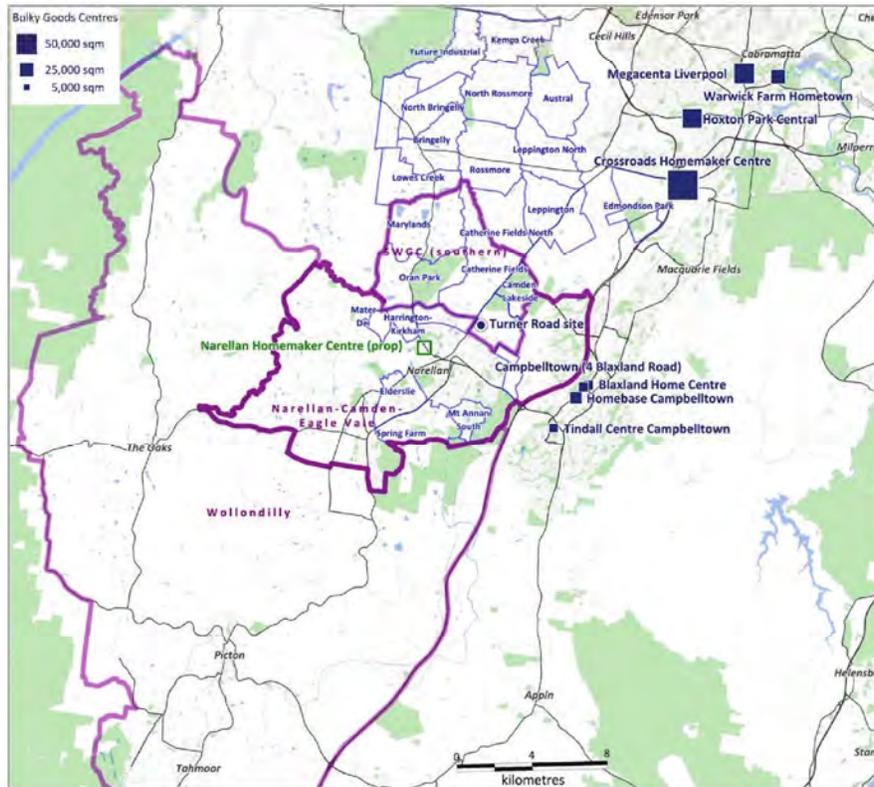
- Result in significant job opportunities to assist in metro objectives for jobs growth in SWS;
- Provide an opportunity for a cluster of well located and well designed bulky goods developments with good road access and excellent access to the key market of growing residential areas in the southern part of the growth centre; and
- Provide a complementary location to both Oran Park and Narellan town centres for larger floor plate bulky goods developments.

Attachment 1

#### 4. Catchment area population

For the purposes of population analysis and bulky goods floorspace demand-supply assessments, this section examines the projected population levels of areas which collectively make up the current and future catchment of the B5 zoned land. The catchment acknowledges the prominent location and strong road connections to the established, but still growing, population base to the south as well as the southern precincts of the SWGC (refer Figure 9). The population forecasts are also used later in the regional floorspace demand – supply assessment (refer Section 7).

Figure 9 Turner Road catchment areas



##### 4.1 Catchment area definition

Having regard to the pattern of urban development, road networks and competing centres, three functional areas have been defined comprising as the main catchment of future bulky goods uses at Turner Road Precinct (refer Figure 9). The three sub-areas are:

- **Narellan/Camden/Eagle Vale** including the suburbs of Camden, Narellan, Mt Annan, Elderslie, Spring Farm, Eagle Vale, Raby and rural areas west of Camden.



- **South West Growth Centre southern precincts** of Turner Road, Oran Park, Marylands and Catherine Fields which have direct connections to Turner Road.
- **Wollondilly towns and rural areas** extending up to 35 km south and 15 km west of Camden which include the townships of Picton, Tahmoor, Thirlmere, Bargo, The Oaks and rural areas between the national parks and Hume Highway. The population of the area comprises 80% of the Wollondilly Shire and excludes areas within the national parks and east of Hume Highway. The area is seen as a secondary catchment for the Turner Road bulky goods uses.

Whilst the three sub-areas, collectively, have been defined as forming the Turner Road catchment, it is also important to recognise that other bulky goods facilities within and beyond these areas derive varying portions of their sales from these areas. Such overlapping of catchment areas is typically observed in any dynamic retail environment and the degree of overlapping will evolve over time as population grows and bulky goods floorspace provision varies.

#### 4.2 Sub area population estimates

The **Narellan/Camden/Eagle Vale** area has a mix of older, well established residential areas, new suburbs approaching full development (Mt Annan and Harrington Park) and urban release areas in various stages of planning and development (Spring Farm and Elderslie). The urban area and nearby rural areas to the west have an estimated resident population of 71,134 in 2011 with the capacity to grow by a further 30% to **more than 92,500 people** (refer Table 3).

The major infill and urban release areas within the Narellan/Camden/Eagle Vale area are as follows:

- Elderslie, situated between Camden and Narellan has an estimated 1,578 lots left.
- Spring Farm, has a total potential of between 3,700–4,000 lots across a series of urban villages. An estimated 3,000 lots are still to be developed.
- Harrington Park has an estimated 600 lots (Harrington Grove) east of The Northern Road. Over the next 4-6 years development will progress west of The Northern Road into Harrington Grove West with a capacity of 500 lots.
- The final stages of Mount Annan South.

The 18 precincts of the **SWGC** will ultimately house about 330,000 people. As outlined earlier, four southern precincts, Oran Park, Marylands, Catherine Fields and Turner Road, fall within the Turner Road catchment. Other precincts to the north are, in our view, more closely aligned to the future major centre at Leppington which is likely to accommodate a bulky goods component in conjunction with traditional retail.

The four southern precincts will contain about 27% of the SWGC's total population, or some **90,000 people**. The population of the balance of the SWGC, incorporating the Leppington Major Centre, is projected to be approximately **241,000 people**. Compared to the northern areas of the SWGC, development of the southern precincts is accelerating and in lot production terms, Oran Park and Turner Road are bringing land to market well ahead of expectations and alleviating a shortage of residential land in the region. In particular:



- The Oran Park precinct has a capacity of 7,500 lots (or over 20,000 people), all of which are zoned with an approved DCP in place. Development is now progressing at 400 lots per annum, well ahead of the Metropolitan Development Plan predictions of 150 lots per annum. A town centre is being planned with a first stage potentially within the next 3-5 years and major community infrastructure is committed including the construction of Oran Park Anglican College, a major public K-12 school, retirement village, district leisure centre and a major civic component to the town centre.
- Turner Road with a capacity of about 4,250 lots (13,000 people) is progressing with nearly 300 lots sold in Gregory Hills in the first year. The overall capacity includes 1,050 lots within Turner Road on the Sekisui land (and 265 further lots for which approval is being sought). A further 1,670 potential dwellings are identified in other land controlled by Sekisui and others immediately north of the Turner Road precinct.
- Precinct planning has commenced for the Catherine Field Precinct Acceleration Protocol Area although this is only a portion of the overall Catherine Field precinct.

Only one precinct in the north, Edmondson Park, is currently producing lots and is some distance from the site of the Leppington Town Centre. Two other precincts, Austral and Leppington North, are progressing with Precinct Planning but lot production is still some time off. Like other areas in the north, lot production will be hampered by existing subdivision patterns and land ownership. As Oran Park and Turner Road precincts rapidly develop, attention will turn to the Marylands precinct north of Oran Park. Although no decision has yet been made about the future sequence of releases, the opportunity exists to continue relatively high production levels by releasing Marylands and Lowes Creek precincts in the medium term due to the relatively large landholdings in these areas.

The **Shire of Wollondilly** has experienced strong residential and population growth in the last decade – increasing from 38,400 people in 2001 to an estimated 44,000 in 2011. Most recent growth rates for 2009/10 by the ABS suggest an annual growth rate of 1.9% per annum. The area of Wollondilly defined within the secondary catchment of the Turner Road Precinct is estimated at **33,764 people** in 2011. Based on projections by id consulting for the Shire, it is estimated the towns and rural areas within the defined Turner Road catchment will be just over **43,000 people** by 2036.

Combined, the three areas comprising the Turner Road catchment have a current day population of **107,097 people**. At full capacity (or by 2036 in the case of Wollondilly) the projected population will be approximately **226,264 people** (refer Table 3) comprising:

- 91,849 people in Narellan/Camden/Eagle Vale;
- 91,389 people in the SWGC (southern precincts); and
- 43,027 people in Wollondilly (part).

About 60% of the ultimate population reside in existing urban areas (Camden, east of Turner Road and Narellan) and 40% in the southern precincts of the SWGC. This underlines the strategic location of the Turner Road site and its potential to serve much of the established urban areas and more than 100,000 people moving into them.



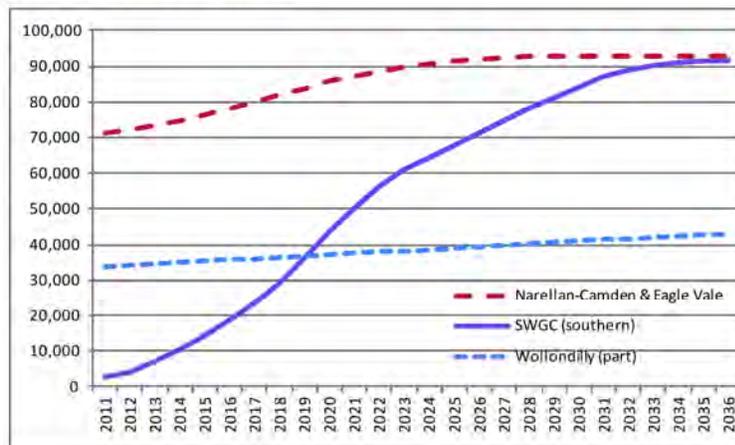
Table 3 Turner Road region and SWGC population estimates

Population 2011	Major urban release area precincts (additional growth)	No. of lots	Planning status	Lot release timing (commencement)	Population capacity <sup>(1)</sup>
71,134	• Spring Farm	3,017	Camden DCP Feb 2011	Underway	91,849
	• Elderslie	1,578	Camden DCP Feb 2011	Underway	
	• Harrington Grove	600	Camden DCP Feb 2011	Underway	
	• Harrington-Kirkham	500	Camden DCP Feb 2011	2017/18	
	• Mater Dei	210	Camden DCP Feb 2011	2015/16	
	• Manooka Valley	330	Camden DCP Feb 2011	2015/16	
	• Mount Annan South	170	Camden DCP Feb 2011	Underway	
	• Infill	500	-	-	
Sub-total	6,905	-	-	-	
33,764	-	-	-	-	43,027
2,200	• Oran Park	7,540	Oran Park DCP	Underway	91,389
	• Marylands	9,000	Status not determined	2018/19	
	• Catherine Fields	8,000	Precinct Planning	2015/16	
	• Turner Road	4,250	Turner Road DCP	Underway	
	• Camden Lakeside <sup>(2)</sup>	1,673	Turner Road DCP	2012/13	
Sub-total	30,463	-	-	-	
<b>107,097</b>	-	<b>37,368</b>	-	-	<b>226,264</b>
-	• Edmondson Park	7,500	Edmondson Park DCP	Underway	241,500
	• Austral	8,000	Precinct Planning	2016/17	
	• Leppington North	12,000	Precinct Planning	2015/16	
	• Other precincts (incl Leppington)	53,000	Status not determined	Post 2017/18	
<b>14,800</b>	-	<b>80,500</b>	-	-	<b>241,500</b>

<sup>(1)</sup> New release areas based on rate of 3.6 persons per household  
<sup>(2)</sup> Includes El Cabello Blanco and Glediswood  
 Source: Deep End Services; Dart West Developments; NSW Government Department of Planning; forecast i.d.

Adopting population projections prepared by id consulting for Camden Council and Wollondilly Shire and reasonable land development rates for the SWGC southern precincts, the relative rates of population growth can be illustrated for the three areas comprising the Turner Road catchment (refer Figure 10). The chart highlights the significant contribution that the existing areas of Narellan/Camden/Eagle Vale and Wollondilly make to the future growth of the Turner Road catchment, as well as the SWGC precincts.

Figure 10 Population forecasts



Source: Deep End Services, id Consulting



### 4.3 Household characteristics

Demographic profiles of Sydney's outer south-west reveal varying characteristics across the region (refer Table 4). Although the data, drawn from the 2006 Census, is five years old, it is nonetheless a useful guide to the likely profile of the SWGC near the Turner Road Precinct.

The area comprising Narellan/Camden/Eagle Vale and nearby Campbelltown have a similar average household size (3.2 and 3.1 respectively) and as expected, both are well above the Sydney average (2.9). Harrington Park, a smaller and new area developed in the last 10 years lying between Narellan and the SWGC had an average household size of 3.5 in 2006.

Household income levels in the Narellan/Camden/Eagle Vale area are 3.3% above the Sydney average compared to -13.5% below in Campbelltown and 26.3% higher in Harrington Park.

Similarly, couples with children make up 48% of all households in the Narellan/Camden/Eagle Vale area, 40% in Campbelltown and 62% in Harrington Park - compared to 36% across Sydney.

Although many other variables are useful in comparing areas and drawing inferences as to the profile of future communities, the data and our inspection of the standard of subdivision and housing in the areas of Oran Park and Turner Road would suggest that average household income levels in the SWGC will be above the Sydney average – though probably not as high as Harrington Park.

The assumed average household size of 3.0 persons within the SWGC and other new release precincts is an appropriate (but probably conservative) long-term average compared to other nearby areas.

Table 4 Household characteristics - 2006 Census

Demographic characteristic	Narellan/Camden/ Eagle Vale		Campbelltown <sup>(1)</sup>		Wollondilly (part)		Harrington Park		Sydney
	No	%	No	%	No	%	No	%	No/%
<u>Usually resident persons per dwelling</u>	3.2	-	3.1	-	3.1	-	3.5	-	2.9
<u>Average household income</u>	\$75,821	-	\$63,502	-	\$69,667	-	\$92,743	-	\$73,417
Variation from average	-	3.3%	-	-13.5%	-	-5.1%	-	26.3%	-
<b><u>Household composition</u></b>									
Couples with children	10,093	48%	3,962	43%	3,962	43%	1,085	62%	36%
Couples without children	4,701	22%	2,510	28%	2,510	28%	381	22%	24%
One parent family	3,009	14%	957	10%	957	10%	159	9%	11%
Other family	157	1%	61	1%	61	1%	3	0%	1%
Lone person	2,852	13%	1,505	17%	1,505	17%	106	6%	23%
Group	353	2%	124	1%	124	1%	15	1%	4%
Total	21,165	100%	9,119	100%	9,119	100%	1,749	100%	100%

<sup>(1)</sup>City of Campbelltown east of Home Highway  
Source: Deep End Services; Australian Bureau of Statistics



## 5. Competitive structure

### 5.1 South west Sydney

Existing bulky goods outlets in the south west have been reviewed in three areas – the Turner Road catchment, Campbelltown and Liverpool-Fairfield, as summarised in Table 5 and shown in Figure 11. These areas comprise a mix of homemaker centres and freestanding outlets in street based locations.

Bulky goods outlets within the **Turner Road catchment** are focussed around **Narellan** with total floorspace of 19,770 sqm. A group of 11 outlets comprising 5,437 sqm are situated along Narellan Road and scattered throughout the adjoining industrial estate. Approximately 2km from the Narellan Road outlets and 1 km north of the Narellan Town Centre is a freestanding Bunnings Warehouse (14,333 sqm) situated on The Northern Road. Existing bulky goods outlets in Narellan are therefore dispersed, relatively small in number and with most of the floorspace concentrated in one hardware store.

Outside Narellan and still within the catchment of Turner Road, less than 3,000 sqm of bulky goods uses have been identified in Camden and areas of Wollondilly.

Table 5 South West Sydney - bulky goods regions

Region	Precinct/Centre	Floorspace (sqm)
Turner Road catchment	Narellan Road	5,437
	The Northern Road	14,333
	Other	2,400
	Total	22,170
Campbelltown	Homebase Campbelltown (Blaxland Rd)	10,735
	Blaxland Home Centre	7,394
	4 Blaxland Road, Campbelltown	7,111
	Tindall Centre	6,618
	Campbelltown remainder	50,648
	Total	82,506
Liverpool-Fairfield	Crossroads Homemaker Centre, Casula	57,634
	Greenway Supa Centre, Wetherill Park	29,038
	Megacentra Liverpool	29,008
	Hoxton Park Central	27,256
	Warwick Farm Hometown	14,742
	Liverpool-Fairfield remainder	28,919
	Total	186,597

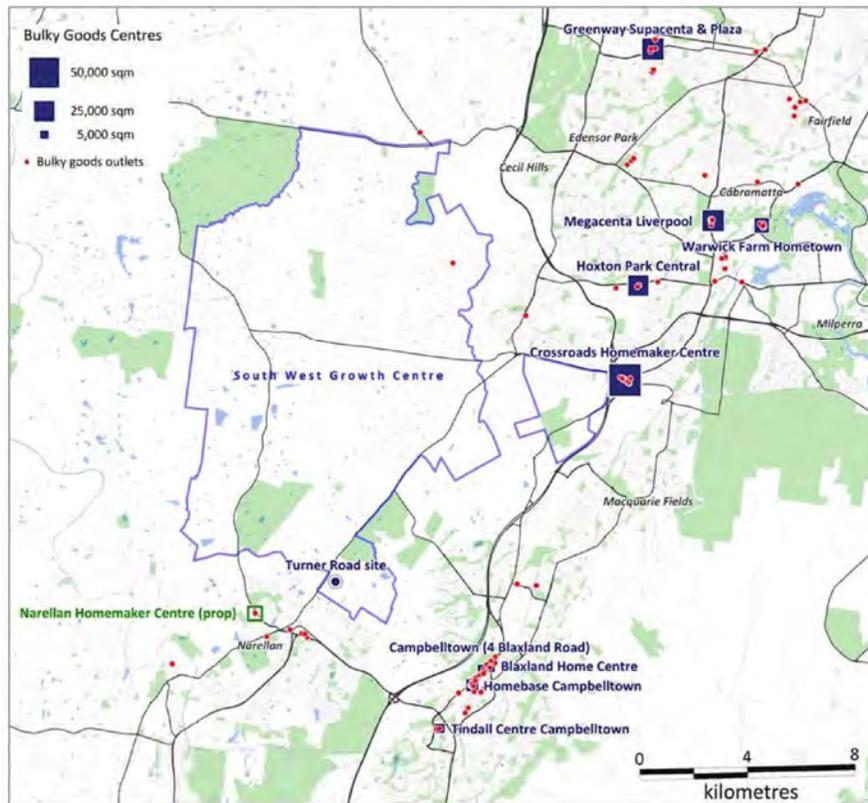
Source: Deep End Services; Bulky Goods Directory, 2011/12

The distribution of bulky goods in the **Campbelltown region** is primarily concentrated in a 1.5 km strip along Blaxland Road, north of the Campbelltown CBD. This area comprises four bulky goods centres with the balance, or more than 50,000 sqm, street based. The Blaxland Road strip accounts for approximately 80% of the total bulky goods floorspace of 82,506 sqm within Campbelltown. The Blaxland Road strip is well established and caters to residents in the Campbelltown-Macarthur corridor, extending into the suburbs located further south as well as rural areas of the Wollondilly Shire. Given the very low level of floorspace provision in the Turner Road catchment, a high proportion of residents' expenditure would presently flow to Campbelltown.



The **Liverpool-Fairfield region** contains approximately 185,000 sqm of bulky goods floorspace in a mix of integrated homemaker centres and clusters along main roads. These centres serve a substantial population base which is geographically separated from the Turner Road catchment, extending from Casula in the south to Wetherill Park and Fairfield in the north. The largest bulky goods centre in Liverpool is at Crossroads, 20 km to the north of Turner Road, with 57,634 sqm of bulky goods and homemaker uses.

Figure 11 Outer south-west Sydney bulky goods centres and outlet distribution



## 5.2 Bulky goods floorspace provision

Floorspace provisioning rates are a useful guide to assess the suitability of existing retail floorspace supply levels in a given area and are often used to plan the future needs of large areas, particularly those with high population growth rates.

It is generally accepted that the current rate of retail floorspace provision across Australia adopted for retail and commercial centre planning purposes, is approximately 2.2 sqm per capita comprising:

- 1.7 sqm per capita located in traditional retail centres and formats such as CBDs, enclosed shopping centres and shopping strips, comprising general retailing and some bulky goods floorspace; and
- 0.5 sqm per capita in other formats, primarily bulky goods and homemaker centres and free-standing locations.

This analysis focuses only on bulky goods floorspace outside traditional retail centres and therefore the current day benchmark adopted is 0.5 sqm per capita across large metropolitan areas.

Total bulky goods floorspace provision in South West Sydney is currently **0.49** sqm per capita, a rate comparable to the national benchmark (refer Table 6).

The Turner Road catchment, previously defined as the three areas of Narellan-Camden-Eagle Vale, Wollondilly (part) and the southern precincts of the SWGC (refer Figure 12) has a population of 107,097 people in 2011 and an existing bulky goods floorspace supply of 20,670 sqm. This yields an existing rate of provision of only **0.21 sqm** per capita.

The rate is well below the benchmark average of 0.50 sqm per capita and significantly lower than rates in the Liverpool-Fairfield (0.49) and Campbelltown (0.81) regions, which are defined on the basis of functioning catchment areas rather than on the basis of municipal boundaries.

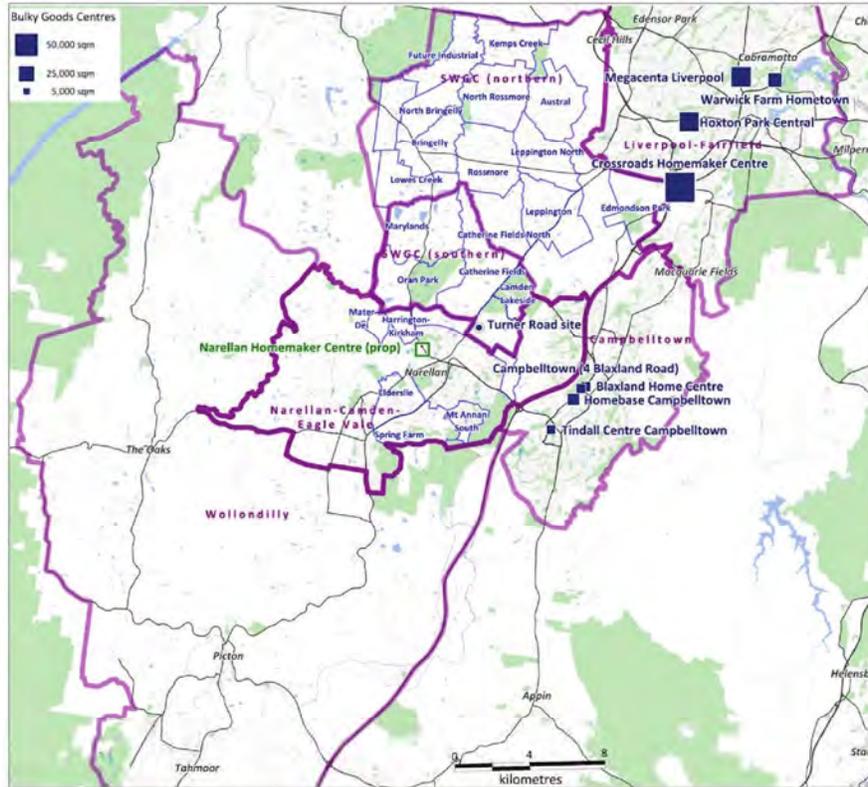
Table 6 Bulky goods floorspace provision

Region	Population (2011 ERP) (No.)	Bulky goods floorspace <sup>(1)</sup> (sqm)	Floorspace provision (sqm per capita)
• Liverpool-Fairfield	381,037	186,597	0.49
• Campbelltown	101,641	82,506	0.81
• Turner Road catchment	107,097	22,170	0.21
<b>Sydney South West</b>	<b>589,775</b>	<b>291,273</b>	<b>0.49</b>

<sup>(1)</sup> Floorspace includes bulky goods centres & precincts but excludes bulky goods retailers within traditional regional, sub-regional and neighbourhood retail centres

Source: Deep End Services; BGRA Directory; Google Earth; Near map

Figure 12 South West sub-regions



### 5.3 Future bulky goods supply – South West Sydney

The Crossroads Homemaker Centre has the potential to expand on to adjoining land however at this stage there are no confirmed proposals and there has been some resistance to further development of the precinct for these purposes by Liverpool Council. To our knowledge there are no other large bulky goods proposals in the Liverpool-Fairfield area.

With the classification of Leppington as a major centre of up to 85,000 sqm, it is assumed that sites or areas will ultimately be identified for bulky goods uses, or the like, in or around the proposed centre or in the proposed mixed use employment corridor along Bringelly Road. The Structure Plan for the SWGC provides no commentary on the future provision of bulky goods, outlining only a broad network of traditional retail centres and several mixed use employment corridors that could be developed for a variety of commercial and industrial uses to take advantage of high levels of passing trade.

Closer to the Turner Road Precinct, the Oran Park Town Centre has a 50,000 sqm control on retail floorspace under the Oran Park DCP. Conventional bulky goods floorspace is unlikely to feature in the Town Centre design.



Further south, the vacant site adjacent to the Bunnings Warehouse on The Northern Road at Narellan has development approval for a small homemaker centre, of 7,150 sqm. The only other site in the region, apart from the Turner Road Precinct, which is zoned B5 and vacant is the 7.3 ha Landturn site, opposite Narellan Town Centre. This site is the subject of a separate Planning Proposal seeking a rezoning to facilitate the expansion of core retail uses in the Narellan Town Centre across Camden Valley Way. For the purposes of this report, this site has been removed from future bulky goods supply assumptions.

There are currently no bulky goods developments of significance planned within the Wollondilly Shire.

Accordingly, current and potential supply of bulky goods floorspace in the Turner Road catchment is estimated at 82,820 sqm, comprising the following (refer Table 7):

- Existing bulky goods floorspace of 22,170 sqm within the defined Turner Road catchment;
- Current development of a 13,500 sqm Masters Home Improvement store within the Turner Road Precinct;
- Development approval for 7,150 sqm of bulky goods floorspace adjacent to the existing Bunnings Warehouse on The Northern Road at Narellan; and
- Existing entitlement to 40,000 sqm of bulky goods floorspace within the Turner Road Precinct.

Table 7 Turner Road catchment – future bulky goods supply

Area	Future bulky goods supply (sqm)
• Turner Road Precinct approved	40,000
• Turner Road Precinct under construction (Masters)	13,500
• Remainder of catchment existing	22,170
• Remainder of catchment approved	7,150
<b>Total</b>	<b>82,820</b>

It should be noted that the only 1,157 sqm of the floorspace of the Masters store under construction in the Turner Road precinct is to be subtracted from the 40,000 sqm of bulky goods floorspace floorspace permitted within the precinct.



## 6. Escape expenditure

The concept of escape expenditure is a measure of the value or proportion of household expenditure generated in a defined area which is directed to bulky goods centres or freestanding establishments outside of that area. High levels of escape spending tend to be associated with rapidly growing areas whose network and scale of centres has lagged population growth or where the size and quality of centres is otherwise deficient and not meeting the needs of an area.

The implications for areas with high levels of escape spending are lost opportunities in terms of capital investment and job opportunities and sustainability and environmental cost issues associated with longer and more costly trips by car or public transport to destinations outside the area. The development of bulky goods retailing in line with consumer needs and demands is vital for a strong local economy and to facilitate other service and employment opportunities.

The Turner Road catchment (as previously defined) incorporates only a limited supply of bulky goods outlets on Narellan Road and The Northern Road.

Table 8 provides a summary of the current estimated escape expenditure from the Turner Road region. The main steps in the analysis are as follows:

- Bulky goods sales are estimated from a variety of sources, including industry averages. Overall, total bulky goods sales in the Turner Road region are estimated at **\$47.0 million** (June 2011), excluding sales to the trades.
- The catchment has a current population of 107,097, however sales are drawn from a broader area, including passing traffic. It is estimated that approximately 10% of current bulky goods sales are drawn from residents living outside the defined area. Deducting 10% from \$47.0 million indicates about **\$42.3 million** in retail turnover in the area is attributed to catchment residents.
- Based on modelling from Market Data Systems (MDS), a proprietary database generated from ABS Household Expenditure data, the total level of bulky goods spending generated by residents (spent at all bulky goods outlets in and outside the area) is estimated at **\$338.4 million** (June 2011).
- In our experience with both our bulky goods retailer clients and with the Australian Bulky Goods Retailers Association, approximately 30% of bulky goods spending is normally directed to retailers located within traditional retail centres. Therefore, bulky goods expenditure directed to bulky goods centres and freestanding locations (at 71%) is **\$241.7 million**.
- The final step deducts the turnover generated within the Turner Road catchment by residents (\$42.3 million) from their total spending capacity (\$241.7 million). The difference (\$199.4 million) is the level of escape spending leaving the area, equivalent to **82.5%** of total resident spending at June 2011.



Table 8 Turner Road catchment – estimated escape expenditure, 2011

Item	Unit	Value
Estimated bulky goods turnover <sup>(1)</sup>	\$M	47.0
Less turnover from residents outside Turner Road catchment @10%	\$M	4.7
Turnover generated by Turner Road catchment residents	\$M	42.3
Population	(No.)	107,097
Spend per capita	\$ per capita	3,159
Turner Road bulky goods expenditure	\$M	338.4
Less bulky goods expenditure in retail centres	\$M	96.7
Turner Road bulky goods expenditure outside retail centres (@71%)	\$M	241.7
Escape expenditure	\$M	199.4
<b>Escape expenditure</b>	<b>(%)</b>	<b>82.5%</b>

<sup>(1)</sup> Excludes trade and business sales

Source: Deep End Services; ABS; MarketInfo

The high rate of escape expenditure would remain at similar proportional levels or potentially increase in the future due to:

- Substantial population growth in the catchment.
- A limited number of existing bulky goods retailers and limited prospects of major increases in supply in the near future.

On this basis, escape expenditure on bulky goods would increase from \$199.4 million in 2011 to almost \$760 million by 2036 (in constant \$2011).

Escape spending is already significant and will grow substantially in the future – this will not be addressed by small incremental developments. The high levels of escape spending will only be alleviated by the development of a significant cluster of bulky goods uses providing a broader product offering.



## 7. Floorspace demand – supply assessment

### 7.1 Approach

The purpose of this section is to examine the current and future rates of bulky goods floorspace supply in the Turner Road catchment against projected demand levels to assess the level of any additional demand that could be supported at Turner Road, over and above the current 40,000 sqm floorspace control.

Bulky goods floorspace demand-supply assessments usually employ one of two common methods, being either:

- **A retail expenditure model** projects the value of household or individual spending into the future and calculates the supportable floorspace based on an average or acceptable rate of turnover (\$ per sqm) for retailers operating across all centres and formats in the industry.
- **A floorspace per capita (or provision)** approach which applies average rates of floorspace provision to future population levels and compares the theoretical demand to known or projected supply levels.

For large regions and long term forecasting, the floorspace per capita method is recommended. It is more transparent, deals with two simple variables (population and floorspace) and averts the need to project spending and turnover variables well into the future.

The objectives of the analysis are to establish the following:

- Examine the supply and demand of bulky goods floorspace in the Turner Road catchment;
- On the basis of any identified deficiency in floorspace supply, assess the amount of bulky goods floorspace that could be reasonably accommodated in the Turner Road Precinct.

### 7.2 Turner Road Precinct share of floorspace demand

Two demand scenarios are presented in Table 9 for the Turner Road catchment. In the first scenario, the current day benchmark rate of 0.50 sqm per capita is adopted. At this rate, the future population of the region (226,264) would theoretically support 113,132 sqm of bulky goods floorspace.

The projected supply of 82,820 sqm which includes the existing Turner Road DCP entitlement (40,000 sqm) and other known additions (refer Table 7) is then deducted from the projected floorspace demand indicating a nominal floorspace deficiency of 30,312 sqm.

The second demand scenario takes into account recent growth in bulky goods floorspace provision rates across Australia. For example, the Department of Planning in South Australia produces an extensive retail database for metropolitan Adelaide, the two most recent being in 1999 and in 2007. This is regarded as the most comprehensive recent data of its type in Australia. Between 1999 and 2007, it was found that per capita bulky goods floorspace rates

in Adelaide grew at an average rate of 6.7% per annum. This trend has been evident in many other major metropolitan areas of Australia during this period when bulky goods retailers were both increasing their store numbers and store sizes rapidly.

It is anticipated that bulky goods retailing will continue to grow with the onset of new formats such as the Masters Home Improvement stores and development of large homemaker centres (e.g. Marsden Park). However, it is important to acknowledge other factors such as the continuing growth of internet retailing and the less aggressive store opening programs apparent in the past few years. Hence, the following growth rates have been assumed in per capita bulky goods floorspace:

- 2011-2021 1.5%pa
- 2021-2036 1.0%pa

The average over the 25 year forecast period is growth of 1.4% per annum in the per capita bulky goods floorspace requirement and resulting in the figure growing from 0.50 sqm per capita to 0.674 sqm per capita.

After applying the same steps as the first scenario, the nominal deficiency in bulky goods floorspace increases to 69,609 sqm by deducting the projected supply of 82,820 sqm from projected floorspace demand of 152,429 sqm. This shortfall represents approximately 45% of total bulky goods floorspace demand within the catchment.

Table 9 Turner Road catchment demand – supply analysis

	Bulky goods floorspace demand scenarios	
	@0.500 sqm per capita	@0.674 sqm per capita
1. Population capacity of Turner Road catchment	226,264	226,264
2. Projected floorspace demand	113,132	152,429
<b>3. Projected Supply</b>		
• Turner Road Precinct approved	40,000	40,000
• Turner Road Precinct under construction (Masters)	13,500	13,500
• Remainder of catchment existing	22,170	22,170
• Remainder of catchment approved	7,150	7,150
Total	82,820	82,820
Floorspace deficiency (Item 3-2)	-30,312	-69,609

The 7.3 ha Landturn site, located opposite Narellan Town Centre, is the only large B5 Business Development zoned site in the Turner Road catchment (other than Turner Road) that could accommodate a large bulky goods development. Its land area and a potential development scheme indicates the potential for about 34,000 sqm of bulky goods uses, if developed for that purpose, on the site.

The Landturn site already has a planning entitlement for 11,300 sqm of retail premises through an LEP provision and is now the subject of a Planning Proposal by the same owners of the Turner Road land to rezone the land for an extension of the Narellan Town Centre's (NTC) core retail uses. Bulky goods floorspace will not form part of the scheme.



Whilst the development of bulky goods uses on the Landturn site would be consistent with its zoning and existing retail policy, the development of core retailing and more intensive land uses and employment generating activities associated with a retail expansion represents better planning, urban design and economic outcomes for what is a strategic site. Assuming this occurs, there is an urgent need to identify alternative locations to accommodate the 34,000 sqm of bulky goods floorspace associated with the Landturn site and to meet the additional significant identified floorspace deficiency demand levels in the region.

The Turner Road Precinct, with its existing bulky goods entitlement, is ideally placed to take up almost all of the additional floorspace demands in the region. The precinct's principal location attributes which support the development of more bulky goods floorspace are:

- A central location between existing urban and future release areas making the site highly accessible to over 220,000 people.
- High exposure to two key arterials – firstly, Camden Valley Way a major arterial road bordering the SWGC and a key link between the Narellan–Camden area and the northern precincts of the SWGC and southern areas of the City of Liverpool and secondly, the future Badgally Road extension which provides a direct link from the Hume Highway through the Turner Road Precinct with connections to Oran Park and northern SWGC precincts.
- Its close proximity to the Narellan Town Centre which is expected to expand its core retail functions. The distance between the Narellan Town Centre and what would become a major regional homemaker and bulky goods centre at Turner Road is 2.7 km by direct road link. This distance is consistent with the relationship between many other major bulky goods centres in Sydney and nearest major retail centres.
- Its similarly close proximity to the future Oran Park Town Centre.
- Close proximity to existing industrial areas where businesses and the trades can access products used in the building, construction and manufacturing sectors.

On this basis, the existing Turner Road floorspace limitation of 40,000 sqm would appear to be a substantial under-utilisation of the 50 hectares of B5 zoned land at the Turner Road Precinct.

On the assumption that Turner Road should accommodate 90% of the total bulky goods floorspace deficiency in the second demand scenario (i.e. 90% of 69,909 sqm), then an **additional 63,000 sqm** should be allocated to the Turner Road precinct, i.e. over and above the existing floorspace cap of 40,000 sqm.

The total amount of bulky goods floorspace supportable at the Turner Road precinct is therefore 103,000 sqm.



## 8. Conclusions

### Proposal

Dart West owns 45 hectares of employment land within the Turner Road Precinct of the SWGC. Dart West's holdings form part of a larger employment land area of approximately 100 hectares, of which 50 ha is zoned B5 Business Development.

Dart West is requesting the removal of the bulky goods floorspace cap of 40,000 sqm on the B5 zoned land via amendments to the Turner Road DCP, on the following basis:

- Strong population growth to the north within the SWGC and south in other land release areas;
- Minimal impact on the current or planned network of centres;
- A current and projected under-supply of bulky goods floorspace within the region and few other suitable sites or locations within the catchment to accommodate an integrated bulky goods centre;
- Support by a range of planning policies including the draft (Competition) SEPP which proposes a softening of barriers to the development of retail premises. In this case the current floorspace control of 40,000 sqm at Turner Road would appear to be unnecessarily restrictive and an under development of the 50 ha of land within the Business development zone.

The Turner Road Precinct is positioned close to a large developing industrial estate to the south, providing the opportunity to expand and strengthen the local employment base. Its location is enhanced through its main road exposure and strong regional road connections.

### Catchment and population

The Turner Road catchment has a current population of 107,097 people, increasing to 226,264 following full development of the four southern precincts, growth in other release areas south of the SWGC in Camden Council and projected growth in Wollondilly Shire over the next 20 years.

Notwithstanding its prominent location at the base of the SWGC, at full development more than 135,000 people or 60% of the Turner Road catchment will reside in existing established urban areas and their various release areas.

The location of the Turner Road B5 zoned land between the established population base and future growth areas reinforces the merits of current planning strategies to date and underlines its suitability for an aggregated bulky goods development, accessible to a broad region.

The northern precincts of the SWGC, located beyond the Turner Road catchment, have an estimated capacity of 241,500 people and could support almost 162,000 sqm of bulky goods floorspace in their own right (applying the rate of 0.67 sqm per capita). There is significant capacity for major clusters of bulky goods floorspace to develop in the northern precincts at Leppington, Edmondson Park or elsewhere without encroaching on the Turner Road demand analysis. Similarly, Turner Road is not reliant on the northern areas to substantiate the 103,000 sqm of bulky goods floorspace which is supportable at the precinct.



### Infrastructure

Camden Valley Way will be upgraded to a divided four lane highway, creating opportunities for residents further afield. The Department of Transport estimates future traffic volumes of 45,000 - 50,000 vehicles per day along Camden Valley Way.

The planned extension of Gregory Hills Drive to the Hume Highway will provide an important east-west linkage to established residential areas at Campbelltown, Eagle Vale and Claymore and will connect with Oran Park Drive, affording easy access from the SWGC.

### Competition

An expanded bulky goods presence at Turner Road will not compromise or undermine the proposed Major Centre at Leppington which will progressively develop a traditional retail focus and cater to a separate catchment of more than 240,000 people. The development of bulky goods uses in the north, like the conventional retail elements, will be supported once population levels around the centre reach critical thresholds. The planning strategies which support the early development of Leppington with public transport infrastructure will not be impacted by long term growth in the Turner Road precinct.

### Escape spending

In 2011, the level of escape spending from the Turner Road catchment to other parts of the region and Sydney is more than 80% or \$199 million. This underlines the very low provisioning levels for bulky goods in the catchment at the present time. To achieve high levels of self containment and retain escape spending (and employment) in the catchment, the area must develop and support a significant bulky goods floorspace offering at a central location.

The alternative is that such escape spending will increase to almost \$760 million by 2036, with a corresponding significant leakage of employment opportunities.

### Bulky goods demand and supply

The provision of 40,000 sqm of bulky goods floorspace at Turner Road under the current DCP entitlement will only partially alleviate the substantial and growing under-supply of floorspace within the Turner Road catchment. Most of the long term bulky goods floorspace deficiency in the catchment should be catered for by the Turner Road precinct, meaning that that the Precinct will comfortably accommodate approximately 103,000 sqm of such floorspace in time.

On our review, the rising floorspace deficiency will not be resolved by other locations in the Turner Road catchment. The only other appropriate site with sufficient land for aggregated bulky goods floorspace, the Landturn site at Narellan, is now subject to a Planning Proposal that could see a more intensive and more appropriate development of the land for retail use and higher employment generating activities. If this proposal proceeds, then land that would otherwise have accommodated up to 34,000 sqm needs to be identified in the immediate area. On our review, Turner Road with its existing status and spare capacity is the obvious choice.

A large aggregated bulky goods development at the Turner Road Precinct could be compared to the current proposal in the North West Growth Centre (NWGC) for more than 80,000 sqm of bulky goods at Marsden Park. This precinct is located at the base of the NWGC which has

ORD11



capacity for more than 60,000 dwellings (compared to 110,000 dwellings in the SWGC). The location of the proposed Marsden Park Homemaker Centre has close parallels with the Turner Road Precinct, with excellent access to major thoroughfares and a large existing residential base to its south.

Our analysis concludes that a substantial increase in bulky goods floorspace can, and should be, supported at Turner Road on the basis of current policy, existing planning strategies which recognise the location, a projected shortfall in bulky goods floorspace, few (if any) other options and the strong location attributes of the site.

Recent developments in competition policy at both Federal and State level would indicate that the concept of floorspace caps, particularly where significant need can be demonstrated, are no longer valid. We would argue that this is the case at the Turner Road precinct when considering bulky goods.

The current subregional planning strategies will not be affected by the lifting of the floorspace control, indeed the progressive development of the Turner Road precinct will enhance the economic growth prospects for the area, help deliver the subregional employment targets and cater to the rising consumer needs of the catchment.

**We are therefore of the opinion that the bulky goods floorspace cap at the Turner Road precinct should be removed and that the precinct be allowed to develop in line with market demands.**

Attachment 1

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Planning Proposal for amendment to SEPP (Sydney Region Growth Centres) 2006 in relation Turner Road Employment Lands

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**Appendix 2**  
**Hill PDA peer review report**  
**November 2011**

**ORD11**

**Attachment 1**

**ORD11**

Planning Proposal for amendment to SEPP (Sydney Region Growth Centres) 2006 in relation Turner Road Employment Lands

**Appendix 2  
Hill PDA peer review report  
November 2011**

**Attachment 1**

**Hill PDA**  
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18 November, 2011

Chris Lalor  
 Acting Manager, Strategic Planning  
 Camden Council  
 PO Box 183,  
 Camden NSW 2570

Dear Chris,

## **Re: Turner Road Precinct - Independent Peer Review of Bulky Goods Retail Analysis**

### **Introduction**

Hill PDA was commissioned by Camden Council ('Council') to undertake an independent peer review of a planning proposal seeking to remove the limit on the amount of permissible bulky goods floorspace in the Turner Road Precinct of the South West Growth Centre (SWGEC).

In accordance with the brief, our advice considers the 'Bulky Goods Analysis' report prepared by Deep End Services for Dart West Developments Pty Limited in October 2011. Our advice comprises:

- A review of the provisions within local planning instruments, Council Centres Policies, the Draft Activity Centres Policy, the Draft Competition SEPP and other relevant planning documents and policies, insofar as they relate to the proposed bulky goods floorspace cap removal;
- A critique of the assumptions contained within the Bulky Goods Analysis report in terms of the size and extent of trade areas, socio-demographic profiles, growth forecast, household expenditures, supply of bulky goods floorspace and industry benchmark sales;
- A review of the demand modelling methodology using our bespoke expenditure model.

Please note that our examination concerns economic considerations only and does not consider other aspects of the proposals such as design, traffic etc.

### **The Development Proposal**

Dart West Development owns a 45ha employment land site within the Turner Road Precinct of the SWGC. This land holding forms part of a 100ha employment land area within the precinct which is zoned IN1 General Industrial and B5 Business Development.





The statutory planning framework for the Precinct contains provisions limiting the permissible size of bulky goods retail premises to 40,000sqm Gross Floorspace Area (GFA). Dart West is preparing a proposal for consideration by Council and the NSW Department of Planning and Infrastructure (DP&I) seeking to remove this cap. A 'Bulky Goods Analysis' has been prepared by Dart West Developments Pty Ltd to support this proposal and will form part of a gateway submission to the DP&I. This letter comprises an independent peer review of the Bulky Goods Analysis.

We understand that Dart West's land holdings at Turner Road, named Central Hills Business Park, comprise 20ha of IN1 land and 25ha of B5 land. Dart West is in the final stages of construction for approximately 75% of its employment land holdings around 15ha of which has already been sold or leased.

Masters has been secured as an anchor tenant on part of the B5 zoned land located at the corner of Camden Valley Way and Gregory Hills Drive. A Masters Home Improvement Centre of 13,500sqm is currently being constructed. Dart West is seeking to incorporate the Masters store as part of a wider homemaker centre development with a number of additional stand-alone bulky goods facilities. However, the planning controls limit bulky goods development on the Dart West site to 20,000sqm (GFA). We note that any removal of the floorspace cap would apply to the whole precinct, not just lands under Dart West ownership.

Dart West is seeking the complete removal of the bulky goods floorspace cap on the basis of:

- Strong population growth in the north within the SWGC and south in other land release areas;
- Minimal impact on surrounding traditional retail elements;
- Existing under-supply of bulky goods floorspace within the region;
- It would be supported by a range of planning policies.

### **Planning Policy**

#### *Draft Activity Centres Policy (April 2009)*

The Draft Centres Policy focuses on six key principles. The principles relate to:

1. The need to reinforce the importance of centres and clustering business activities;
2. The need to ensure the planning system is flexible, allows centres to grow and new centres to form;
3. The market is best placed to determine need. The planning system should accommodate this need whilst regulating its location and scale.
4. Councils should zone sufficient land to accommodate demand including larger retail formats;
5. Centres should have a mix of retail types that encourage competition; and
6. Centres should be well designed to encourage people to visit and stay longer.

Whilst the Draft Centres Policy indicates that the preferred location for new retail and commercial development is in centres, it recognises that there may be exceptions to this approach.

Specifically in regard to bulky goods premises, the draft Centres Policy acknowledges that such outlets often require large areas for the handling, display or storage of goods, or direct vehicular access by members of the public to the site to load or unload goods. Bulky goods operators are therefore attracted to locations that offer lower site costs



offsetting lower retail turnovers relative to floor area. The Policy states that bulky goods premises should be accommodated in zones B2–B4 in centres, or where this is not realistic, they should be clustered together in an appropriate B5 zone in an edge-of-centre location.

The Policy notes that bulky goods uses in a B5 zone should comprise clusters of large floorplate bulky goods premises that cannot be accommodated in, or are not suited to, centres in view of significant floorspace requirements or the need for direct vehicular access. It stipulates that Councils should aim to create these clusters in accessible edge-of-centre locations. Bulky goods are therefore a permissible use in B5 locations,

Draft Competition SEPP (July 2010)

The proposed state-wide planning policy removes artificial barriers on competition between retail businesses. The new Draft SEPP proposes:

- The commercial viability of a proposed development may not be taken into consideration by a consent authority, usually the local council, when determining development applications;
- The likely impact of a proposed development on the commercial viability of other individual businesses may also not be considered unless the proposed development is likely to have an overall adverse impact on the extent and adequacy of local community services and facilities, taking into account those to be provided by the proposed development itself; and
- Any restrictions in local planning instruments on the number of a particular type of retail store in an area, or the distance between stores of the same type, will have no effect.

In our opinion the proposed development is consistent with the draft Competition SEPP because it allows competition between retailers to exist and leaves it to the market to decide what is viable on this site. Any competition which may result between individual traders is not a planning concern.

Metropolitan Plan for Sydney to 2036

The Metropolitan Plan for Sydney 2036 seeks to concentrate retail uses on existing or planned centres. Notwithstanding this, the Plan acknowledges that bulky goods premises, which require large floor areas, cannot always be readily accommodated within existing centres. The Plan indicates that the onus is on Subregional and local planning authorities to identify locations for subregional clusters of retail development which cannot be provided for in centres, in order to support the economic development of centres in those subregions.

Chapter E 'Economy' recognises the contribution retail makes towards employment. It notes that Sydney will need to accommodate 5 million sqm of additional retail floorspace between 2006 and 2036. An additional 141,000 jobs are expected to be created in the South West Subregion over the 2006 to 2036 period.

Given that bulky goods retail is an employment generating use, and given the flexible approach advocated by the Plan towards accommodating such uses in appropriate locations outside of centres, we consider that the proposed amendment to the floorspace cap at Turner Road would be compliant with the Metropolitan Plan for Sydney.

Draft South West Subregional Strategy (2007)

The Draft Subregional Strategy provides a number of targets, aims and objectives to be achieved by 2031. These include planning for 89,000 new jobs, of which some 26,000 jobs (29% of the Subregional total) are expected to be accommodated in Camden LGA.

The Draft Subregional Strategy seeks to focus the majority of new economic development on defined Strategic Centres. Business Development zones are recognised as supporting the role of strategic centres and the accommodation of start-up businesses, showrooms, building supplies, small retail outlets and bulky goods clusters which do not always 'fit' in Strategic Centres in such zones is encouraged. Such uses in Business Development zones should support centres rather than compete with them. The proposed Turner Road Precinct amendments are consistent with this approach.

We also note that the Draft Subregional Strategy requires 155,000 new dwellings be accommodated in the South West over the lifespan of the Strategy (2004–2031). The major contributor to this growth in dwellings numbers is the SWGC, which has a target of 100,000 dwellings by 2031.

Structure Plan for the South West Growth Centre

The South West Structure Plan is an indicative regional land use plan that will guide the detailed planning for individual precincts once they are approved for release by the NSW Government. An area of industrial and employment lands is identified in the Turner Road Precinct which seeks to maximise access to two major regional public transport routes and take advantage of the proposed extension of the future Badgally Road linking the Precinct to Campbelltown. Turner Road has identified capacity for 5,000 jobs.

Turner Road DCP

The stated Vision for Business Development lands in Turner Road is for a range of uses, including bulky goods, which serve the local and broader community. Bulky goods uses are recognised as being advantageous adjacent to Badgally Road given the opportunity to take advantage of high exposure to passing traffic.

Clause 3.1 (5) of the DCP (as amended) states that:

*"A total maximum of 40,000sqm of GFA of bulky goods premises is to be provided in the Business Development Lands fronting Badgally Road. Of this maximum, no more than 20,000sqm is to be provided along either the northern or southern frontages of Badgally Road. The total maximum GFA does not include Landscape and Garden Supplies and Timber and Building Supplies".*

It is this control which Dart West is seeking to remove.

**Critique of Retail Analysis**

In accordance with the brief Hill PDA undertook a detailed critique of the assumptions contained within the Bulky Goods Analysis. These are explored on an individual basis below.

Trade Area

The trade area (or 'catchment area' as referred to in the Bulky Goods Analysis) is defined as comprising three sub-areas: Narellan/ Camden/ Eagle Vale (comprising a number of urban suburbs of Camden and Campbelltown LGAs and rural areas west of Camden), the SWGC southern precincts (Turner Road, Oran Park, Maylands, Catherine Fields) and Wollondilly towns and rural areas (80% of the Wollondilly Shire). The latter sub-area is defined as comprising a secondary catchment. The proponent recognises that this trade area overlaps with the trade area of other bulky goods facilities.

We agree that the majority of trade of any future bulky goods facilities at Turner Road is likely to come from this area, and particularly from the SWGC southern precincts. Notwithstanding this in our view the trade area extends too far to the east. The Narellan/ Camden/ Eagle Vale trade area is bounded by the M5 however residents in Eagle Vale to the west of the M5 are not likely to travel to the Turner Road Precinct some 6km away when they can access the Blaxland Road Precinct 4km to the southeast, even if accessibility is improved. The M5 does not present a significant impediment to east-west movement across this area and will not restrict vehicular access to Blaxland Road from the residential areas west of the M5.

In our view, therefore, the trade area should exclude the Eagle Vale area given that Blaxland Road is likely to remain the major destination for bulky goods shopping by residents of this area even if a greater quantum of bulky goods floorspace is developed at Turner Road. The implications of defining the trade area as the proponent is that it includes a residential population at Eagle Vale on the demand side but excludes from the supply side the bulky goods floorspace at Blaxland Road which is likely to meet the majority of their bulky goods shopping needs.

Population Estimates and Growth Rates

We concur with the population estimates for the trade areas as documented in the Deep End study.

In terms of the population projections used, we note that:

- The proponent has considered population growth over the period to 2036. Whilst this is an important consideration, the need for the proposed retail floorspace should also be demonstrated over the short to medium term as well (i.e. to 2016 and 2021);
- We have checked the number of lots (i.e. residential dwelling) assumed by the proponent against those recorded by forecast.id for Camden LGA. We note that the forecast number of lots used by the proponent is cautious and below those recorded by forecast.id;
- The proponent has assumed an average household size of 3.0 persons per household which is consistent with Camden LGA (based on the 2006 ABS Census).

Competitive Structure

We agree with the proponents' estimation of existing bulky goods floorspace in the 'Turner Road catchment' (Table 5, Bulky Goods Analysis) of around 22,000sqm which is dominated by the Bunnings store (14,000sqm) on The Northern Road.

We note that the Narellan Homemaker Centre, which includes the Bunnings store, has extant development application approval for an additional 7,000sqm of bulky goods floorspace.

From previous research undertaken in the area we estimate that Campbelltown LGA contains in the order of 85,400sqm (GLA) of bulky goods<sup>1</sup> floorspace of which around 59% (50,000sqm) is located along Blaxland Road. This compares to a figure of 82,506sqm recorded by the proponent for Campbelltown LGA (Table 5, Bulky Goods Analysis). Our estimation of existing bulky goods floorspace is therefore approximately 2,900sqm (4%) greater than that assumed by the proponent.

The proponent has not provided a definition of 'bulky goods retail' within the Bulky Goods Analysis. It is likely that the discrepancy in existing bulky goods floorspace in Campbelltown LGA is attributable to categorisation differences between Hill PDA and Deep End Services.

Our understanding of 'bulky goods retail' for the purposes of this peer review is that it comprises retail floorspace in the following categories:

- Furniture Retailing;
- Floor Covering Retailing;
- Domestic Hardware;
- Domestic Appliance Retailing;
- Fabrics & Curtains;
- Sport & Camping;
- Garden Supplies;
- Flower Retailing;
- Other Bulky Goods.

Our definition excludes bulky goods floorspace provided in department stores and DDSs.

We are not aware of any significant bulky goods floorspace within the Wollondilly towns and rural areas. For the purpose of this peer review we have not considered bulky goods floorspace provision beyond the Macarthur Region (comprising Camden, Campbelltown and Wollondilly LGAs).

We note that, within the SWGC, provision is made for bulky goods floorspace as part of the Leppington planned Major Centre as well as that to be provided in the Turner Road Precinct.

#### Per Capita Bulky Goods Floorspace Rates

The proponent has considered bulky goods supply and demand based on floorspace per capita rates. We concur with the proponent that approximately 0.5sqm per capita is appropriate for bulky goods.

The proponent argues that this relates to bulky goods outside of traditional retail centres only. However out-of-centre bulky goods destinations also attract a small proportion of expenditure in non-bulky goods categories such as clothing, food and drink etc. For the purposes of this peer review we have assumed that non-bulky goods expenditure in out-of-centre locations equals bulky goods expenditure in centres i.e. 0.5sqm of bulky goods floorspace per capita relates to all bulky goods floorspace (in centre and out of centre).

<sup>1</sup> Source: Retail Floorspace Capacity and Staging Project in the Austral, Leppington North and Oran Park Precincts, Hill PDA (May 2010)

## Hill PDA

We agree with the proponent that the defined Turner Road catchment is underprovided for, in floorspace per capita terms. However given the extent of the trade area which excludes the Blaxland Road bulky goods cluster which is the main shopping destination for bulky goods in the Macarthur Region, this undersupply is to be expected.

Based on the Bulky Goods Analysis Campbelltown LGA contains some 0.8sqm of bulky goods floorspace per capita which is above average as it is serving residents in the Turner Road catchment. In summary, therefore, it is misleading to analyse provision in the Turner Road catchment only.

### Future Bulky Goods Supply

We agree with the proponents' assessment of future bulky goods floorspace provision within the Turner Road catchment.

### Escape Expenditure

We note the following with regard to the proponents' approach towards 'escape expenditure' in the Turner Road catchment:

- We agree with the proponents' estimate trading performance of existing bulky goods facilities of \$47m (excluding trade related sales);
- We have estimated resident bulky goods spend in the trade area using our expenditure model (based on Marketinfo) and the average per capita spend for Camden and Wollondilly LGA residents in 2011 (\$13,141) by bulky goods retail store type (15.3% of total household expenditure). By applying these to the proponents' population estimates for the Turner Road catchment (107,097 in 2011) we estimate that bulky goods household expenditure in the Turner Road catchment is some \$215.3m. This is \$123.1m or 36% lower than that assumed by the proponent;
- In calculating the available bulky goods spend per capita, the proponent uses a figure of \$3,159 per capita (compared to \$2,011 per sqm based on our assessment above). Given that the proponent assumes 0.5sqm of bulky goods floorspace per capita, this would equate to a floorspace turnover for bulky goods retailers in the order of \$6,300/sqm. Based on our understanding bulky goods retailers typically trade at around \$3,500/sqm which is well below that assumed by the proponent. This implies that the proponent has over-estimated household bulky goods expenditure;
- The discrepancy in available bulky goods spending between Hill PDA and Deep End Services is likely to be attributable to different categorisations of what constitutes 'bulky goods' expenditure. Given that the proponent has not defined the term in the Bulky Goods Analysis we are unable to verify;
- Based on the above, we estimate that bulky goods 'escape expenditure' in the Turner Road catchment is in the order of \$161.3m or 77%. Whilst this is significant, as noted previously the proponent has excluded the significant bulky goods floorspace facilities in Campbelltown LGA which serve the catchment area and which is oversupplied by bulky goods floorspace in per capita terms as a result.
- Notwithstanding the above, we believe that the term 'escape expenditure' is somewhat misleading in view of the distribution of bulky goods floorspace in the Macarthur Region which is concentrated in Blaxland Road. Given the extent of the proponents' trade area, which includes a significant proportion of the population Macarthur Region but excludes Blaxland Road, it is inevitable that the trade area will not retain a significant proportion of bulky goods expenditure.

We agree with the proponent that bulky goods 'escape expenditure' will grow over time as a result of population and retail expenditure growth, although this will be mitigated to some extent by bulky goods development in the pipeline such as that at Turner Road.

Floorspace Supply- Demand Assessment

The proponent has assessed the need for additional bulky goods floorspace in the Turner Road catchment based on floorspace per capita rates. Two scenarios are modelled which project demand based on a constant rate of 0.5sqm per capita and at an increased rate of 0.7sqm per capita by 2036. Based on this methodology a need for additional bulky goods floorspace, over and above that which is existing or planned, of between 30,000sqm and 70,000sqm is identified by the proponent. As previously indicated however bulky goods floorspace in Campbelltown services the Turner Road catchment but has not been accounted for by the proponents' trade area.

As part of this peer review Hill PDA has undertaken a bespoke supply and demand assessment for bulky goods retail floorspace based on the household expenditure approach.

Given that we have some concerns regarding the trade area used by the proponent for assessing bulky goods supply and demand we have assessed the need for bulky goods floorspace in the Macarthur Regional as a whole. Analysis of need at this level recognises the subregional draw of such floorspace and the overlapping nature of bulky goods trade areas.

The assumed supply of bulky goods floorspace in the Macarthur Region based on previous Hill PDA research in the area is as follows:

- 85,400sqm in Campbelltown LGA;
- 22,000sqm (assumed 16,000sqm net given the presence of the Bunnings store) in Camden LGA;
- 13,500sqm (assumed 8,000sqm net) Masters store under construction in the Turner Road Precinct;
- Extant DA approval for 7,000sqm at Narellan Homemaker Centre;
- Up to 40,000sqm permissible in Turner Road Precinct.

In total therefore the Macarthur Region currently provides some 101,400sqm of bulky goods floorspace which is set to increase to 156,400sqm once pipeline bulky goods floorspace is fully implemented.

We have calculated demand using our in-house expenditure model based on Marketinfo 2009 data and the ABS Household Expenditure Survey 2003-04. We have used population projections sourced from forecast.id and the DP&I. We have applied a benchmark turnover to total bulky goods turnover of \$3,500 per sqm at 2011, which is forecast to increase by 0.65% per annum in line with historic growth. Demand is forecast to 2011, 2016, 2021 and 2036.

Demand verses supply is shown in Table 1 below. For the purposes of our demand modelling we have assumed that bulky goods floorspace development at Turner Road will be phased, with 20,000sqm developed by 2016 and a further 20,000sqm developed by 2021.



**Table 1 - Bulky Goods Floorspace Supply and Demand in the Macarthur Region (\$2009)**

	2011	2016	2021	2036
<b>Supply</b>				
Existing (sqm)	101,400	101,400	101,400	101,400
Pipeline (sqm)	-	35,000	55,000	55,000
Total (sqm)	101,400	136,400	156,400	156,400
<b>Demand</b>				
Expenditure in Bulky Goods Stores (\$m)*	480.3	558.2	675.9	1,217.7
Benchmark Bulky Goods Turnover (per sqm) <sup>^</sup>	3,500	3,984	4,115	4,535
Bulky Goods Floorspace Demand (sqm)	137,229	140,110	164,253	268,512
<b>Residual Demand (demand minus supply) (sqm)</b>	<b>35,829</b>	<b>3,710</b>	<b>7,853</b>	<b>112,112</b>

Source: Hill PDA, MarketInfo, ABS Household Expenditure Survey 2003-04

<sup>^</sup> Benchmark Turnover is assumed to increase at 0.65% per annum to reflect historic trends

\* Includes an allowance for real retail expenditure growth of 1.3% per annum to reflect historic trends

Based on our supply and demand expenditure modelling, there is an immediate undersupply of bulky goods floorspace in the Macarthur Region of almost 36,000sqm. By 2016 and 2021 the level of undersupply reduces to approximately 4,000sqm and 8,000sqm respectively as a result of bulky goods development in the pipeline. By 2036, there is forecast to be an undersupply in the order of 112,000sqm in the Macarthur Region.

There is significant demand for bulky goods floorspace by 2036, over and above what is in the pipeline. Such demand should not be catered for now, but given the period of development of the SWGC Council should seek to ensure that this demand can be met in the future in an appropriate location. The Turner Road Precinct, which already has permissible bulky goods floorspace of 40,000sqm, would allow the creation of a bulky goods cluster. Bulky goods clusters are beneficial for consumers, as they allow easier price comparison and reduce the need to travel to multiple destinations, and for retailers given that they encourage synergy between different occupiers.

In terms of alternative sites at which this need could be met, we note that there is limited capacity to accommodate a significant increase in bulky goods floorspace at Blaxland Road and in any case it is not best placed to serve the emerging market of the SWGC. As noted by the proponent there is a parcel of zoned B5 land adjacent to Narellan Town Centre. Whilst this comprises an edge-of-centre site and therefore is preferred for new bulky goods development in planning policy terms, there is some uncertainty over the future of this site given that it is currently subject to a rezoning proposal. In addition, unlike Turner Road, it is not subject to any existing site-specific policy supporting bulky goods development.

In our view given the high levels of accessibility of the Turner Road Precinct and in view that up to 40,000sqm of bulky goods floorspace is already permissible, it would be a suitable location upon which to concentrate bulky goods floorspace development in the future. Given the size of planned growth in the SWGC it will create demand for a significant quantum of bulky goods floorspace. Leppington will be the most appropriate location at which to cater for this demand in the northern sector, whilst Turner Road is in our view a superior location at which to cater for this demand in the southern sector. It is vital, however, that any bulky goods floorspace development is phased to avoid oversupplying bulky goods floorspace in the Macarthur Region which could adversely impact upon existing clusters in the Region and in particular Blaxland Road.

### **Economic Impact**

Whilst it is not a requirement for the proposed removal of the floorspace cap to consider economic impact, we have undertaken a brief qualitative review of the likely impacts of additional bulky goods development at the Turner Road precinct.

Given the nature of bulky goods retailing bulky goods floorspace at Turner Road would compete with other bulky goods clusters and locations. It is unlikely to compete with existing centres to a great extent. Larger centres may contain a small proportion of bulky goods floorspace however these retailers comprise only a minority of retailers in the existing centres and the majority of existing retailers in centres do not depend on the survival of the bulky goods stores. Therefore economic impact upon centres is likely to be limited.

There is likely to be some trade diversion from residents of the trade area who currently direct the majority of their bulky goods expenditure to Blaxland Road due to a lack of alternative options. However, as identified in Table 1 household bulky goods expenditure in the Macarthur Region is forecast to increase from \$480.3m in 2011 to \$1,217.7m in 2036, an increase of \$737.4m or 154% over the period. The majority of this is attributable to growth in the SWGC. Based on the 2036 bulky goods benchmark turnover of \$4,535/ sqm, growth in bulky goods floorspace alone could support up to 162,600sqm of bulky goods floorspace.

As such, the majority of expenditure to support additional bulky goods floorspace, over and above that already permissible, is likely to come from household expenditure growth and will therefore not be diverted away from existing bulky goods retailers. Adverse economic impacts on existing centres and bulky goods clusters resulting from an amendment to the bulky goods floorspace cap at the Turner Road Precinct is likely to be minimal.

#### **Potential Risks of Removing the Bulky Goods Floorspace Cap**

If Council was minded to support removal of the bulky goods floorspace cap at Turner Road, it is necessary first to consider the potential risks which this approach could incur in a 'worse-case' scenario approach i.e. a significant quantity of bulky goods floorspace is developed at Turner Road:

- Impact upon Campbelltown-Macarthur Major Centre. Given the limited amount of bulky goods floorspace within this Major Centre, and the differing role which it plays in the retail hierarchy, there is unlikely to be significant impact on Campbelltown-Macarthur provided only bulky goods floorspace were developed at Turner Road;
- Impact on Blaxland Road. A significant quantity of modern bulky goods premises at Turner Road could potentially attract some existing bulky goods retailers currently located in Blaxland Road. However we note that the Blaxland Road area is zoned for industrial purposes. In view of this if any bulky goods retailers were to relocate they could be replaced by trade-related or industrial in line with the industrial zoning in the area;
- Range of Goods Sold. Turner Road has the potential to attract non-bulky goods retailers which often seek to locate in bulky goods clusters in order to benefit from the wide area from which they attract custom. The development of non-bulky goods retailers at Turner Road could have significant potential to adversely impact upon existing and planned centres in the Macarthur Region, Council should therefore ensure that appropriate planning controls are in place to prevent non-bulky goods retailers from operating at Turner Road should it be minded to support the removal of the floorspace cap.

#### **Summary and Conclusions**

Our peer review has shown that:

- An increase in the level of bulky goods floorspace provided in Turner Road is supported by planning policy, provided any such development complements rather than competes with centres;



- In our view the trade area utilised by the proponent should exclude Eagle Vale and surrounding suburbs, given the influence of Blaxland Road on this area which is likely to be undiminished by additional bulky goods floorspace at Turner Road;
- We concur with the population estimates and growth rates used by the proponent;
- Given our concerns over the proponents' trade area we also have concerns regarding the proponents' assessment of residual demand for bulky goods floorspace;
- Based on our bespoke bulky goods supply and demand assessment within the Macarthur Region, we believe that significant need for additional bulky goods floorspace will emerge of 112,000sqm over the period to 2036 over and above what is planned for;
- Demand for bulky goods floorspace is being driven by the SWGC, and the Turner Road Precinct is well positioned to meet this demand and would allow a bulky goods cluster to develop;
- The economic impact of a removal of the bulky goods floorspace cap is unlikely to lead to significant adverse impacts upon existing centres or bulky goods clusters provided non-bulky goods floorspace is prohibited through appropriate planning controls..

This peer review and our bespoke modelling have demonstrated that there is a need to plan for a significant increase in bulky goods floorspace within the Macarthur Region and particularly within the SWGC as a result of future population growth to 2036. In our view the Turner Road Precinct is well positioned cater for this demand, given its location at the convergence of several major road networks and its ability to service existing residents of Camden-Narellan area and future residents of the southern precincts of the SWGC. As such, the removal of the bulky goods floorspace cap can be justified in economic terms.

The provision of additional bulky goods floorspace at the Turner Road Precinct is unlikely to impact upon the provision of bulky goods floorspace around Leppington, which will cater for a separate market in the northern precincts of the SWGC, or on Blaxland Road to a great extent. Even in a 'worst-case' scenario in which existing bulky goods retailers are attracted to Turner Road from Blaxland Road, the industrial zoning applicable to Blaxland Road would allow reoccupation of any vacant units for industrial purposes.

If Council was minded to support the removal of the bulky goods floorspace cap it would be prudent to include strict planning controls restricting the provision of non-bulky goods floorspace in order to minimise the potential for adverse economic impacts on existing and planned centres. Appropriate phasing of development should also be sought to avoid creating an oversupply of bulky goods floorspace in the short to medium term. Such a situation may increase the potential for adverse economic impacts on existing centres and clusters given that bulky goods retailers will be relying on a smaller pool of household bulky goods expenditure from which to draw trade. Council must take into consideration the economic impact of any bulky goods proposals at development application stage.

Should you have any questions, please do not hesitate to contact us in our Sydney office on 02 9252 8777.

Yours sincerely,

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**Hill** PDA



Adrian Hack  
Principal, Hill PDA

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Attachment 1

Planning Proposal for amendment to SEPP (Sydney Region Growth Centres) 2006 in relation Turner Road Employment Lands

**Appendix 3: Net Community Benefit Test**

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**Attachment 1**

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Attachment 1

Planning Proposal for amendment to SEPP (Sydney Region Growth Centres) 2006 in relation Turner Road Employment Lands

Net Community Benefit Evaluation Criteria	Response
<p>Will the LEP be compatible with agreed State and regional strategic direction for development in the area (eg land release, strategic corridors, development within 800 metres of a transit node)?</p>	<p>Yes, the proposal is consistent with recent developments in NSW Government policy to encourage economic growth and competition through the planning system.</p> <p>The B5 zoned land forms part of an NSW Government identified urban growth area for employment lands development over a 25 to 30 year period. The land subject to this proposal has been specifically identified for employment generation to provide localised employment for the future residents of the South West Growth Centre. The site is also highly accessible to public transport, as Gregory Hills Drive will provide a direct public transport link to Campbelltown station for the southern portion of the South West Growth Centre.</p>
<p>Is the LEP located in a global/regional city, strategic centre or corridor nominated within the Metropolitan Strategy or other regional/subregional strategy?</p>	<p>The subject site is located within an area covered by the Sydney Metropolitan Strategy and the Draft South West Sub-Regional Strategy for Sydney. These documents identify the subject land as 'Existing Urban Area' and 'New Release Area' respectively. In addition, the area applicable to this planning proposal has been nominated for employment lands development under the Sydney's Growth Centres program for coordinated urban growth. Accordingly, the proposal is consistent with the strategic directions detailed in the regional and subregional strategies for the locality.</p>
<p>Is the LEP likely to create a precedent or create or change the expectations of the landowner or other landholders?</p>	<p>The Planning Proposal is in accordance the standardised planning provisions applicable throughout NSW. The B5 zone is identified as being the most suitable zone for bulky goods development and the land subject to this proposal is identified for bulky goods development. Accordingly, the proposal is consistent with State and regional planning provisions, and therefore, it is not likely to set an undesirable precedent.</p> <p>A Precinct in North West Growth Centre (Marsden Park Industrial) was recently rezoned for similar employment generating purposes without any floorspace limitation on bulky goods premises. In addition, the exhibited documentation for the Austral/Leppington North release areas in the South West Growth Centre identify land for bulky goods development without a limitation on bulky goods floorspace.</p>
<p>Will the LEP facilitate a permanent employment generating activity or result in a loss of employment lands?</p>	<p>The proposal will facilitate a more flexible and certain commercial environment for bulky goods development and will maximise the potential to expand employment generating activities in the bulky goods sector. This will result in increased generating capacity for permanent employment.</p>

Planning Proposal for amendment to SEPP (Sydney Region Growth Centres) 2006 in relation Turner Road Employment Lands

Net Community Benefit Evaluation Criteria	Response
Will the LEP impact upon the supply of residential land and therefore housing supply and affordability?	<p>and therefore, there will be no loss or adverse impact on the employment lands.</p> <p>The proposal does not affect the supply of residential land or bear any direct impact on residential land. The planning proposal will assist in stimulating job growth which should increase demands for local housing as business and employment grows in the South West Growth Centre and broader region.</p>
Is the existing public infrastructure (roads, rail, utilities) capable of servicing the proposed site? Is there good pedestrian and cycling access? Is public transport currently available or is there infrastructure capacity to support future public transport?	<p>The subject site is within a major urban growth area of Sydney, which has been comprehensively planned to provide coordinated and integrated public infrastructure requirements. The Turner Road Precinct of the South West Growth Centre was assessed for key infrastructure requirements as part of the comprehensive Precinct Planning processes.</p> <p>The planned provision of infrastructure includes major road upgrades and essential public infrastructure services, which includes a direct bus route from the South West Growth Centre to Campbelltown Station. The Department of Transport is advancing the provision of the bus services for the Precinct, which are expected to commence in mid-2012. In addition, an extensive public accessible cycling and pedestrian pathway network is planned throughout the Precinct and surrounding areas.</p> <p>It is noted that major upgrades to Camden Valley Way and the construction of a new sub-arterial road, Gregory Hills Drive, have been delivered under the Special Infrastructure Contribution framework. This means that landowners and developers in the Turner Road Precinct have undertaken the works on behalf of NSW Government agencies to ensure the early delivery of essential public infrastructure. In addition, the section of Camden Valley Way to the south of the subject land, which connects with the Narellan Town Centre, is scheduled to be completed in early 2012. These upgrades provide sufficient capacity to accommodate traffic demands resulting from this proposal.</p> <p>The proposal is not expected to create an increased demand for infrastructure and there is adequate public infrastructure to accommodate the planned future development of the subject employment lands.</p>
Will the proposal result in changes to the car distances travelled by customers, employees and suppliers? If so, what are the likely impacts in terms of greenhouse gas emissions, operating costs and road safety?	The proposal will encourage the early delivery of localised employment and a more diverse range of jobs for the B5 area of the Turner Road Employment Lands. This will increase the opportunities for shorter work travel distances for

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Planning Proposal for amendment to SEPP (Sydney Region Growth Centres) 2006 in relation Turner Road Employment Lands

Net Community Benefit Evaluation Criteria	Response
	<p>local residents. Furthermore, it will create shorter trips for customers and local suppliers that currently need to travel to bulky goods stores outside the catchment. In addition, with the established shortage of bulky goods development within the Turner Road catchment, there are high levels of travel for residents obtaining bulky goods from outlets in neighbouring catchments, which are forecast to grow substantially if the shortfall is not addressed. Accordingly, the provision of more capacity for bulky goods development under this proposal will significantly reduce car travel in the future.</p> <p>In light of the above, there will be a positive effect on greenhouse gas emissions and road safety issues due to significantly shorter travel distances and times.</p>
<p>Are there significant Government investments in infrastructure or services in the area whose patronage will be affected by the proposal? If so, what is the expected impact?</p>	<p>There are significant Government investments in infrastructure for the locality. However, any potential increases in patronage resulting from the proposal are not expected to have an adverse impact. The B5 area is highly accessible to the regional road network, which has been designed to accommodate substantial increases in traffic into the future with due consideration of future land use activities associated with the Turner Road Employment Lands. In addition, no increased demand on essential services infrastructure is anticipated given there will be no significance changes to the nature of development that is already permitted on the subject land.</p>
<p>Will the proposal impact on land that the Government has identified a need to protect (e.g. land with high biodiversity values) or have other environmental impacts? Is the land constrained by environmental factors such as flooding?</p>	<p>The proposal does not relate to land that has been identified by the NSW Government for conservation or affected by environmental considerations and constraints.</p>
<p>Will the LEP be compatible/complementary with surrounding land uses? What is the impact on amenity in the location and wider community? Will the public domain improve?</p>	<p>The proposal is compatible and desirably complementary with adjacent land uses, which includes industrial, residential and riparian lands. The proposal does not alter the nature of development that would already be allowed within the B5 area. In addition, there will be no impacts on amenity or the broader community, and a high quality public domain area of Turner Road Employment Lands will be maintained.</p>
<p>Will the proposal increase choice and competition by increasing the number of retail and commercial premises operating in the area?</p>	<p>The proposal will facilitate significant increases in choice and competition. The proposal will remove existing barriers that will enable various bulky goods retailers to commit investment and cluster similar activities in a single location in accordance with market demands. Furthermore, increases in bulky goods outlets will drive greater competition and choice for the local community.</p>

Planning Proposal for amendment to SEPP (Sydney Region Growth Centres) 2006 in relation Turner Road Employment Lands

Net Community Benefit Evaluation Criteria	Response
<p>What are the public interest reasons for preparing the draft plan? What are the implications of not proceeding at that time?</p>	<p>There are four main public interest reasons for progressing the Planning Proposal, including:</p> <ol style="list-style-type: none"> <li>1. It will result in greater opportunities for bulky goods development that will increase competition in the marketplace, which will result in increased consumer choice at more competitive prices.</li> <li>2. It will ensure shorter travel distances for local residents seeking to purchase a wider range of bulky goods products.</li> <li>3. It has potential to deliver earlier employment opportunities for existing and local residents as it will provide certainty for commercial investment in bulky goods development.</li> <li>4. It will encourage increase employment opportunities for local residents by promoting commercial activities that typically generate the higher rates of employment than other permitted developments in the B5 zone (i.e. warehousing and distribution).</li> </ol> <p>The implications of not proceeding with this proposal will have a negative impact on economic and employment growth in a major urban growth corridor of the South West Growth Centre. This will largely be due to the floorspace limitation adversely impacting on attracting early investment within the Turner Road Employment Lands and the delivery of a commercial activity that has significantly higher employment rates in comparison to other uses permitted within the B5 zone. The other implication relates to not being able to fulfil an established undersupply of suitable land for bulky goods development to service existing and new residents in the locality.</p>

ORD11

Attachment 1

ORD11

Planning Proposal for amendment to SEPP (Sydney Region Growth Centres) 2006 in relation Turner Road Employment Lands

**Appendix 4: Response from Deep End Services to Hill PDA Peer Review.**

Attachment 1

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13 April 2012

David Taylor  
General Manager – Property  
Dart West Developments Pty Ltd  
18 McKenzie Boulevard  
Gregory Hills NSW 2557

Email: david.taylor@dartwest.com.au

Dear David

**RESPONSE TO HILL PDA PEER REVIEW OF BULKY GOODS RETAIL ANALYSIS FOR TURNER ROAD PRECINCT**

As you are aware, Deep End Services prepared the report “Turner Road Precinct, Bulky goods analysis” for Dart West Developments on 14 October 2011. The report’s key conclusion was:

*We are therefore of the opinion that the bulky goods floorspace cap at the Turner Road precinct should be removed and that the precinct be allowed to develop in line with market demands.*

The report was provided to Camden Council which commissioned Hill PDA to undertake a peer review of the report. The peer review was completed on 18 November 2011, with a key conclusion being:

*This peer review and our bespoke modelling have demonstrated that there is a need to plan for a significant increase in bulky goods floorspace within the Macarthur Region and particularly within the SWGC as a result of future population growth to 2036. In our view the Turner Road Precinct is well positioned cater [sic] for this demand, given its location at the convergence of several major road networks and its ability to service existing residents of Camden-Narellan area and future residents of the southern precincts of the SWGC. As such, the removal of the bulky goods floorspace cap can be justified in economic terms.*

To assist Camden Council further, you have asked us to provide comment on some specific issues raised within the peer review. These are now addressed in order of discussion within the peer review.



ORD11



### Trade Area

Hill PDA agrees with the trade area definition exception for the inclusion of the Eagle Vale area within the Narellan/Camden/Eagle Vale sector. The reasons for this are:

- The M5 is not judged by Hill PDA to be a barrier to movement for residents of this area to travel to bulky goods retailers already located on Blaxland Road in Campbelltown; and
- Residents of the area will not travel “6 km away” to Turner Road compared to “4 km to the southeast” to Blaxland Road.

We would agree with this assessment at the current time. However, the extension of Gregory Hills Drive through to Badgally Road will significantly improve access for from the Eagle Vale area (which comprises the suburbs of Eagle Vale, Claymore, Kearns and Raby) to Gregory Hills and the Turner Road precinct. Indeed, some residents of Claymore would be within 4 km of Turner Road once the road extension is completed and all residents of the area would be within 8 km.

Our experience with bulky goods clients such as The Good Guys, Spotlight, Beacon Lighting and Masters is that customers will travel at least 10 km outbound or sidebound to access well-located and well-sized bulky goods facilities. This will be the case here, despite the presence of Blaxland Road, once Gregory Hills Drive is connected to Badgally Road.

However, we do not regard this issue as being a major point of difference with Hill PDA. This is because the Eagle Vale area currently contains a population of approximately 20,400 (19% of total trade area population) but the area will experience relatively little population growth over the forecast period and so will only represent 9% of the trade area population by 2036.

What is important, however, is that the development of the Turner Road Precinct will provide residents of the Eagle Vale area with a very good range of convenient choice for bulky goods shopping.

### Floorspace Supply-Demand Assessment

Hill PDA expresses concern at the end of this sub-section of its review that bulky goods floorspace development at Turner Road be “phased” so as to avoid excessive impacts on existing retailers in the region and, in particular, those on Blaxland Road.

We are concerned with the concept of imposing a phasing regime at Turner Road. The obvious issue is determining how such a regime would be framed. Would it be time-based, population-based or implemented by some other means?

Attachment 1



This is an issue for the market to decide. For example, and as discussed later in this review, we do not believe that retailers already operating at Blaxland Road will choose to operate stores at Turner Road before both stores will be profitable. Retailers are sophisticated and do not simply open stores for the sake of additional representation – they need each store to make a contribution in its own right.

#### **Potential Risks of Removing the Bulky Goods Floorspace Cap**

##### **Impact upon Campbelltown-Macarthur Major Centre**

Hill PDA correctly highlights the fact that this Major Centre contains a relatively small amount of bulky goods floorspace and that it carries out a different role in the retail hierarchy compared to that envisaged at Turner Road.

We agree with this assessment and note that the retail floorspace of the three enclosed centres within the Major Centre (i.e. Macarthur Square, Campbelltown Mall and Marketfair Campbelltown) is 120,000 sqm and therefore almost 50% more than all bulky goods floorspace located within the Campbelltown LGA. These centres contain department and discount department stores, supermarkets and specialty shops, most of which will experience no competitive impact due to the development of bulky goods floorspace at Turner Road.

##### **Impact on Blaxland Road**

Blaxland Road contains a total of approximately 66,000 sqm of bulky goods floorspace, making it the fifth largest suburban bulky goods precinct in Sydney (behind Alexandria-Moore Park, Auburn, Castle Hill-Bella Vista and Penrith). The floorspace is provided within three relatively small homemaker centres and in freestanding stores along the 1.5 km strip.

Blaxland Road contains an excellent array of national bulky goods retailers such as:

- Barbeques Galore
- BCF
- Beacon Lighting
- Domayne
- Fantastic Furniture
- Forty Winks
- Harvey Norman
- Nick Scali
- Ray's Outdoors
- Repco
- Supercheap Auto
- The Good Guys

ORD11

Attachment 1



- The Outdoor Furniture Specialists.

We have experience with the trading characteristics of all of these retailers. Indeed, some of these retailers are current or past clients and we therefore have intimate knowledge of the sales levels being recorded and customer distribution characteristics for these retailers.

Blaxland Road retailers serve a catchment area which currently includes both the Campbelltown and Camden-Wollondilly corridors. The size of these corridors is now such that many of the retailers at Blaxland Road are starting to seek opportunities for second stores to be located within the area. Turner Road will be an appropriate location for a second store but the decision to open such a store will be made by each retailer when it is assessed that the opening will be profitable and not impact upon the Blaxland Road store to such a degree so as to render it unprofitable.

It is therefore our opinion that there will be relatively few store closures on Blaxland Road as the Turner Road precinct develops. At the same time, the availability of suitably zoned and masterplanned bulky goods land at Turner Road will enable large-format retailers unable to find suitable sites on Blaxland Road to open their first stores within the region. This will support additional local employment and competition.

#### Range of Goods Sold

The Hill PDA concern regarding the potential operation of non-bulky goods retail outlets at Turner Road is understandable. However, our understanding is that the current restrictions of 2,500 sqm for total non-bulky goods retail floorspace across the precinct and 500 sqm of non-bulky goods retail floorspace for any individual use are to remain in place. Such restrictions should mitigate Hill PDA's concern.

#### Conclusion

We trust that this satisfies your requirements at the current time but please contact the undersigned on (03) 8825 5800 if you should wish to discuss any matters raised in this letter.

Kind regards

**DEEP END SERVICES PTY LTD**

**JUSTIN GANLY**  
Managing Director

Planning Proposal for amendment to SEPP (Sydney Region Growth Centres) 2006 in relation Turner Road Employment Lands

**Appendix 5: Council response to matters raised in Gateway Determination.**

**ORD11**

**Attachment 1**

ORD11

## CAMDEN COUNCIL RESPONSE TO MATTERS RAISED FOR CONSIDERATION IN GATEWAY DETERMINATION

1. **Council is to provide further consideration of the impacts of removing the existing bulky goods floorspace cap in the context of the provision of broader retail and bulky goods opportunities across the SWGC. The outcomes of this further consideration are to be included in the public exhibition material for the planning proposal.**

### Response

Council officers have undertaken a further review of the initial report undertaken by Deep End Services dated October 2011, the Hill PDA peer review undertaken in November 2011, and the response to the Hill PDA peer review from Deep End Services undertaken in April 2012. A copy of the Deep End Services response has been included with the exhibition material.

Council officers concur with the recommendations of the reports which indicate that the removal of the bulky goods cap is warranted in the context of the planning framework for the South West Growth Centre (SWGC).

2. **Following this further consideration, Council is to determine whether it is appropriate to introduce FSR, building height and other development controls for the land zoned B5 within the Turner Road Precinct to control the amount of available floorspace within the precinct ensuring that development within this precinct does not adversely impact on the provision of bulky goods premises across the SWGC, and in particular within the key centre planned within the Leppington Precinct.**

### Response

Council officers have undertaken a further review of the existing controls applying to development in the B5 zone under the Turner Road DCP 2007. It is considered that imposing further controls relating to FSR and building height is not required in this instance.

It is considered that the existing Turner Road DCP 2007 controls applying to the land, in conjunction with the car parking requirements under Camden DCP 2011, provide sufficient control regarding the built form and bulk and scale of such development. It is noted that the car parking requirements serve as a de-facto FSR control for bulky goods developments. This is because car parking for bulky goods developments is typically provided at-grade due to the significant costs associated with underground car parks, making them economically unfeasible in conjunction with bulky goods developments.

Imposing further development controls, whether via the SEPP or DCP, is considered to add an extra layer of planning complexity which is unlikely to deliver a better planning outcome than can (and has) already be achieved under the existing controls applying to the land.

Council has already determined development applications for development in the B5 zone at Turner Road and has found that the existing controls deliver good planning outcomes.

Attachment 1

3. **Council is to ensure that any amendments required to the Turner Road Development Control Plan (DCP) to facilitate this planning proposal are made. The revised DCP is to be included as part of the public exhibition material for this proposal.**

Response

Noted. The amendments required to the Turner Road DCP 2007 are minor and involve the amendment of the DCP as noted below. A copy of the DCP will be exhibited along with a schedule outlining the amendments to be made to the DCP as per below:

- (a) Part A Precinct Wide DCP

Table 1 in Section 2.5 Hierarchy of Centres and Employment Areas.

For the Turner Road Business Development Area, delete "The maximum aggregate of bulky good premises (not including landscape and garden supplies and timber and building supplies) is 40,000m<sup>2</sup> GFA".

- (b) Part B Site Specific DCPs – Controls for the Turner Road Employment Area

Delete Clause 5 under 'Controls' in Section 3.1 Land Uses, which states "A total maximum of 40,000m<sup>2</sup> of GFA of bulky goods premises is to be provided in the Business Development Lands fronting Badgally Road. Of this maximum, no more than 20,000m<sup>2</sup> is to be provided along either the northern or southern frontages of Badgally Road".

4. **Community consultation is required under sections 56(2)(c) and 57 of the Environmental Planning and Assessment Act 1979 ("EP&A Act") as follows**
- a. **The planning proposal must be made publicly available for 28 days; and**
  - b. **The relevant planning authority must comply with the notice requirements for public exhibition of planning proposals and the specifications for material that must be made publicly available along with planning proposals as identified in section 4.5 of A Guide to Preparing LEPs (Department of Planning 2009).**

Response

Noted. The proposal will be exhibited for 28 days and will occur in accordance with DP&I requirements.

ORD11

Attachment 1

5. Consultation is required with the following public authorities under section 56(2)(d) of the EP&A Act:
  - a. NSW Maritime and Road Services
  - b. Adjoining local government authorities

Each public authority is to be provided with a copy of the planning proposal and relevant supporting material. Each public authority is to be given at least 21 days to comment on the proposal, or to indicate that they will require additional time to comment on the proposal. Public authorities may request additional information or additional matters to be addressed in the planning proposal.

Response

Noted. The abovementioned authorities will be consulted in conjunction with the public exhibition period.

6. A public hearing is not required to be held into the matter by any person or body under Section 56(2)(e) of the EP&A Act. This does not discharge Council from any obligation it may otherwise have to conduct a public hearing (for example, in response to a submission or if reclassifying land).

Response

Noted.

7. The timeframe for completing the LEP is to be 12 months from the week following the date of the Gateway determination.

Response

Noted.



## ORDINARY COUNCIL

ORD12

ORD12

**SUBJECT:** SPRING FARM EAST PLANNING PROPOSAL  
**FROM:** Director Governance  
**BINDER:** Amendment 18 Spring Farm East

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### PURPOSE OF REPORT

The purpose of this report is to seek a Council Resolution to proceed with the submission of a Planning Proposal to the Department of Planning and Infrastructure (DPI) to correct zoning anomalies that resulted during the transition between Camden LEP 121 – Spring Farm and CLEP 2010 and carry out minor rezonings to reflect the 2011 amended Spring Farm Masterplan. The Planning Proposal is provided as **Attachment 1 to this report.**

### BACKGROUND

The Spring Farm Residential Release Area was approved by the Minister in May 2004, with the gazettal of the Camden Local Environmental Plan No. 121 and Council's adoption of the Spring Farm Development Control Plan No. 123. Since the adoption of these plans, Council has undertaken a process, in accordance with State Government directions, to transition these plans into the consolidated Camden Local Environmental Plan 2010 (CLEP 2010) and Camden Development Control Plan 2011 (DCP 2011).

Landcom representatives met with Council officers in respect to the proposed changes to the Spring Farm Master Plan that related to the Spring Farm East Village and are supported by a Concept Masterplan by GM Urban Design & Architecture.

In July 2011, DCP amendments were submitted to Council which only applied to land already zoned residential. This was done in order to expedite consideration of the DCP amendment request and facilitate the earliest consideration of a Subdivision Application for Eastern Village. The DCP amendment was adopted in September 2011, and subsequently the only aspects of the Master Plan that are outstanding are those pertaining to this Planning Proposal.

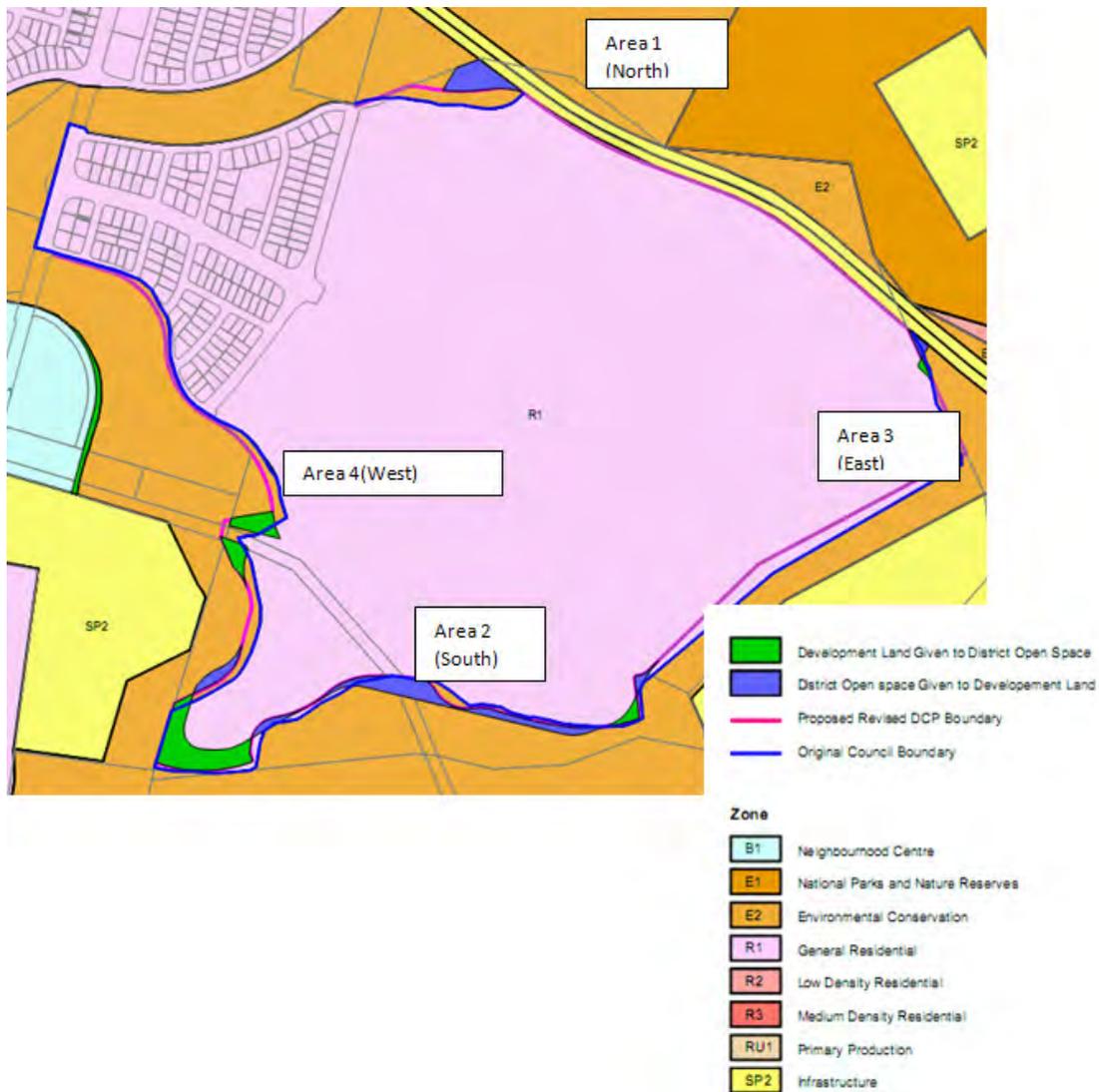
### MAIN REPORT

The purpose of the Planning Proposal is to correct zoning anomalies that resulted during the transition between Camden LEP 121 – Spring Farm and CLEP 2010 and to carry out minor rezonings to reflect the 2011 amended Spring Farm Masterplan. The intended outcome is to create a more regularised road design which will allow the co-location of an electrical easement.

#### ***Planning Proposal***

The subject site, being Spring Farm East, is currently zoned R1 'General Residential' and E2 'Environmental Conservation' under CLEP 2010. Extracts of the LEP Zoning map as they relate to the sites are represented in *Attachment A of the Planning Proposal*. This planning proposal will achieve the intended outcome by making various minor mapping amendments which are discussed in the Planning Proposal and shown in the following plan.

Figure 1: Proposed changes to Spring Farm East. (Source: Camden Council. 2012)



The amendments to the zone boundaries will primarily require the Land Zoning map (Sheets 13 and 14) to be amended, with other related maps to be amended as a flow on effect. The amendments to the zone boundaries are shown diagrammatically in *Attachment A of the Planning Proposal*.

A portion of the land which forms part of Area 3 East is proposed to be rezoned E2 – Environmental Conservation. Correspondence received from the former NSW Department of Environment and Conservation (now known as Office of Environment and Heritage) dated 20 January 2011 and provided as *Attachment B to the Planning Proposal* raised no objection as the vegetation is in poor condition and its rezoning does not jeopardise the deemed concurrence for development in the release area.

In summary, the proposed amendment to the zone boundaries is essentially a 'zoning swap' which will result in an additional 1.20ha of Residential zoned land which will

present further housing opportunities and development opportunities. On the southern part of the Eastern Village, the regularised road and layout design will facilitate the implementation of the required electrical easement. The proposed electricity easement south of the precinct will result in improved ecological outcomes.

If Council determines to proceed with the Spring Farm East Planning Proposal, it will be sent to the DPI for gateway determination. Following receipt of a gateway determination, the Planning Proposal will be exhibited and consultation with public authorities will be undertaken.

The outcomes of the public exhibition and State Government consultation will be reported to Council at the conclusion of the public exhibition period. It is proposed to consult with the following authorities:

- Rural Fire Service
- Office of Environment and Heritage
- Endeavour Energy
- NSW Department of Primary Industries – Minerals and Petroleum
- Mine Subsidence Board

### **CONCLUSION**

The Planning Proposal incorporates correcting minor zoning anomalies in the Camden Local Environmental Plan 2010 ('CLEP 2010') and proposed amendments to reflect the amended 2011 Masterplan. Through the proposed land zoning swaps, particularly on the southern part of Spring Farm East, a more regularised zoning boundary will be achieved allowing for better road and layout design outcomes. Further, the streamlined road will facilitate the implementation of the required electrical easement.

### **RECOMMENDED**

**That Council:**

- i. support the Planning Proposal for Spring Farm East as outlined in the report;**
- ii. forward the Spring Farm East Planning Proposal to the Department of Planning and Infrastructure for gateway determination;**
- iii. upon receipt of a favourable gateway determination:**
  - a. consult relevant Public Authorities in accordance with the terms of the gateway determination;**
  - b. publicly exhibit the Planning Proposal in accordance with the terms of the gateway determination notice; and**
- iv. prepare a further report for Council Consideration at the conclusion of the public exhibition period.**

ATTACHMENTS

1. Planning Proposal

ORD12

Attachment 1



## **CAMDEN COUNCIL**

# **PLANNING PROPOSAL**

**Amendment No. 18 – Spring Farm East  
Zone Boundary Adjustments**

August 2012

Amendment No. 18 – Spring Farm East Zone Boundary Adjustments

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**ORD12**

**Attachment 1**

ORD12

Attachment 1

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Amendment No. 18 – Spring Farm East Zone Boundary Adjustments

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**BACKGROUND**

The Spring Farm Residential Release Area was approved by the Minister in May 2004, with the gazettal of the Camden Local Environmental Plan No. 121 and Council's adoption of the Spring Farm Development Control Plan No. 123. Since the adoption of these plans, Council has undertaken a process in accordance with State Government directions to transition these plans into the consolidated Camden Local Environmental Plan 2010 (LEP 2010) and Camden Development Control Plan 2011 (DCP 2011).

Landcom representatives met with Council officers in respect to the proposed changes to the Spring Farm Master Plan that related to the Spring Farm East Village and are supported by a Concept Masterplan by GM Urban Design & Architecture.

In July 2011, DCP amendments were submitted to Council which only applied to land already zoned residential. This was done in order to expedite consideration of the DCP amendment request and facilitate the earliest consideration of a Subdivision Application for Eastern Village. The DCP amendment was adopted in September 2011, and subsequently the only aspects of the Master Plan that are outstanding are those pertaining to this Planning Proposal.

## Amendment No. 18 – Spring Farm East Zone Boundary Adjustments

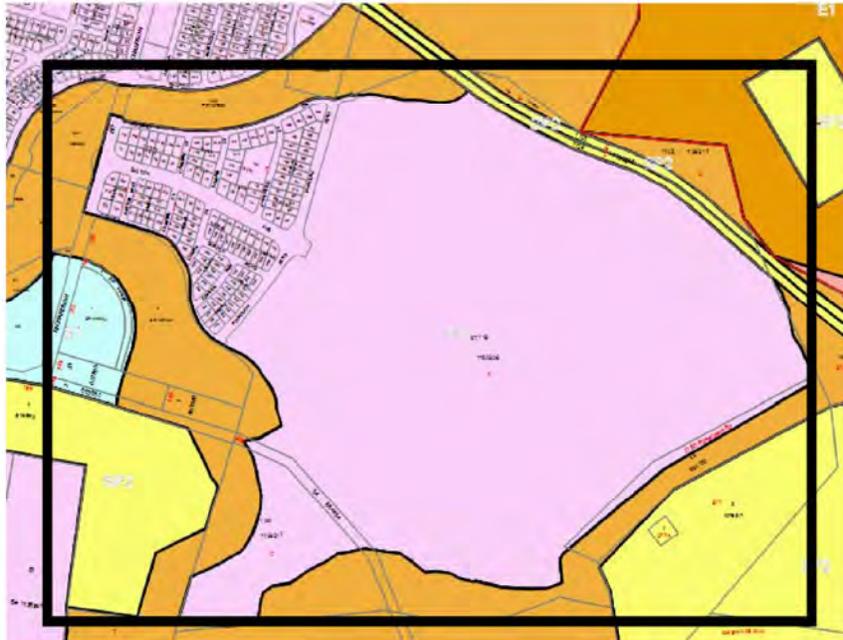
**PART 1 – OBJECTIVES OR INTENDED OUTCOMES**

The objective of this Planning Proposal is to correct zoning anomalies that resulted during the transition between Camden LEP 121 – Spring Farm and CLEP 2010 and carry out minor rezonings to reflect the amended 2011 Spring Farm Masterplan. The intended outcome is to create a more regularised road design which will allow the co-location of an electrical easement.

**PART 2 – EXPLANATION OF PROVISIONS**

The subject site, being Spring Farm East, is currently zoned R1 'General Residential' and E2 'Environmental Conservation' under Camden LEP 2010 (see **Figure 1** below). Extracts of the LEP Zoning map as they relate to the sites are represented in **Figure 2** below.

**Figure 1: Subject Site**



*Figure 1: Spring Farm East Village. Source (Camden Council, 2012).*

ORD12

Attachment 1

## Amendment No. 18 – Spring Farm East Zone Boundary Adjustments

**Proposed Amendments to the Spring Farm Masterplan**

This planning proposal will achieve the intended outcome via making various mapping amendments which are described below. **Figure 2** illustrates the proposed changes to Spring Farm East Village.

The Camden LEP 2010 will be amended in the following manner:

Location	Proposed amendment
Area 1 (North)	Rezone 8124sqm from E2 – Environmental Conservation to R1 – General Residential  Rezone 884sqm from R1 General Residential to E2 –Environmental Conservation
Area 2 (South)	Rezone 8739sqm from E2 – Environmental Conservation to R1 General Residential  Rezone 10697sqm R1- General Residential to E2 – Environmental Conservation
Area 3 (East)	Rezone 1195sqm from E2 – Environmental Conservation to R1 – General Residential  Rezone 8212sqm from R1 –General Residential to E2 – Environmental Conservation
Area 4 (West)	Rezone 31,824sqm from E2 – Environmental Conservation to R1 – General Residential  Rezone 33,866sqm from R1 – General Residential to E2 – Environmental Conservation
Town Centre	Rezone 1,774.64sqm from B1 – neighbourhood centre to E2 – Environmental Conservation

These items will require amendment to the land zoning maps in accordance with the above. As a consequence, the height of building map, minimum lot size map and the additional permitted uses map will be amended to coincide with the amendment of the zone boundaries. In this regard, the following maps are proposed to be updated:

- Land Zoning Map – Sheet LZN\_013
- Land Zoning Map – Sheet LZN\_014
- Height of Building Map – Sheet HOB\_013

Amendment No. 18 – Spring Farm East Zone Boundary Adjustments

- Height of Building Map – Sheet HOB\_014
- Minimum Lot Size Map – Sheet LSZ\_013
- Minimum Lot Size Map – Sheet LSZ\_014

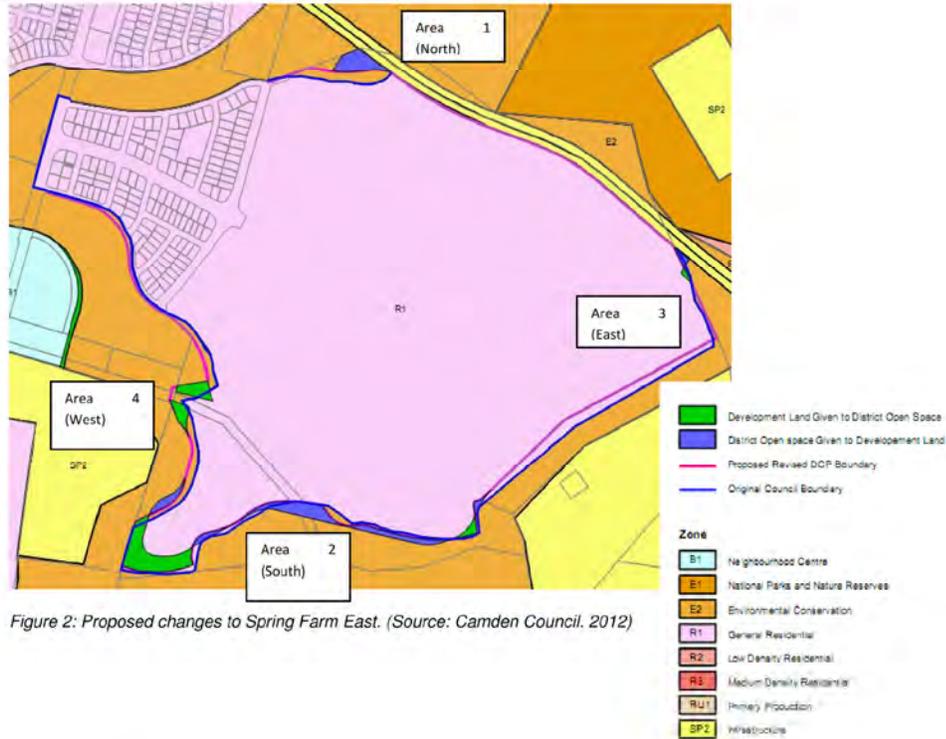


Figure 2: Proposed changes to Spring Farm East. (Source: Camden Council, 2012)

**Proposed Outcome**

In summary, the proposed amendment to the zone boundaries is a zoning 'swap' which will result in an additional 1.20ha of Residential zoned land and will present further housing opportunities and development opportunities. The Town Centre amendment will correct a mapping error which occurred during the transition between Camden LEP 121 – Spring Farm to Camden LEP 2010. On the southern part of the eastern village, the regularised road and layout design will facilitate the implementation of the required electrical easement. The proposed electricity easement south of the precinct will result in improved ecological outcomes.

Other associated maps will be amended to coincide with the zone boundaries described above.

**PART 3 – JUSTIFICATION****Section A – Need for the planning proposal.****1. Is the planning proposal a result of any strategic study or report?**

This planning proposal is not the result of any strategic study or report.

**2. Is the planning proposal the best means of achieving the objectives or intended outcomes, or is there a better way?**

The planning proposal is considered to be the only means of facilitating the objectives or intended outcomes.

**3. Is there a net community benefit?**

A Net Community Benefit Test as adapted from the Draft Centres Policy is provided as **Attachment C** to this Planning Proposal. In summary, it is considered that the proposal would offer a Net Community Benefit by facilitating the development of additional residential land at Spring Farm which would otherwise be sterilised.

**Section B – Relationship to strategic planning framework.****4. Is the planning proposal consistent with the objectives and actions contained within the applicable regional or sub-regional strategy (including the Sydney Metropolitan Strategy and exhibited draft strategies)?**

On 16th December 2010, the NSW Government released the Metropolitan Plan 2036, which is a follow up of the 'City of Cities' Metropolitan Strategy released in 2005. The Draft South West Subregional Strategy still remains a draft and is considered in this submission.

It is considered that the planning proposal is consistent with the Metropolitan Plan and the Draft Subregional Strategy. Objective D1 of the Metropolitan Plan 2036 is to ensure an adequate supply of land and sites for residential development.

**5. Is the planning proposal consistent with the local council's Community Strategic Plan, or other local strategic plan?**

The planning proposal is consistent with Camden Council's Strategic Plan Camden 2040.

**6. Is the planning proposal consistent with applicable state environmental planning policies?**

The planning proposal is consistent with the following applicable State planning policies:

\* State Environmental Planning Policy No. 55 – Remediation of Land (SEPP 55); and

\* Sydney Regional Planning Policy No. 20 – Hawkesbury Nepean River (SREP 20).

**7. Is the planning proposal consistent with applicable Ministerial Directions (s.117 directions)?**

## Amendment No. 18 – Spring Farm East Zone Boundary Adjustments

The planning proposal is consistent with the applicable Ministerial Directions. Please refer to the assessment as **Attachment D** to this Planning Proposal.

**Section C – Environmental, social and economic impact.**

- 8. Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?**

Vegetation mapping undertaken as part of initial environmental investigations for Spring Farm does not identify the region of the proposal as having an impact on high biodiversity conservation lands.

A portion of the land which forms part of Area 3 East is proposed to be rezoned E2 – Environmental Conservation.

Correspondence received from the former NSW Department of Environment and Conservation (now known as Office of Environment and Heritage) dated 20/01/2011 and provided as **Attachment B** to this Planning Proposal outlines (i) the proposed amendment removes 0.35ha of poor condition Cumberland Plain Woodland from the bush corridor; and (ii) would not jeopardise the deemed concurrence for development in the release area.

It is intended that the proposal will be referred to the Office of Environment and Heritage and Rural Fire Service to further comment on the transmission line (132KV) works associated with the Macarthur Bulk Supply Point.

- 9. Are there any other likely environmental effects as a result of the planning proposal and how are they proposed to be managed?**

There will not be any other likely environmental effects due to the minor nature of the proposed rezoning.

- 10. How has the planning proposal adequately addressed any social and economic affects?**

The planning proposal is considered the best means of creating a regularised zone boundary which will allow for a better overall road and layout design.

Given the minor nature of the proposal, social and economic effects over and above those associated with the already planned Spring Farm Release Area would be negligible.

**Section D – State and Commonwealth interests.**

- 11. Is there adequate public infrastructure for the planning proposal?**

The implementation of the proposed rezoning will aid in providing public infrastructure as it will allow for the best solution to integrate the power lines. The rezoning itself is not considered to create any additional strain on the existing public infrastructure.

**12. What are the views of state and Commonwealth public authorities consulted in accordance with the gateway determination?**

Given the minor nature of the issues listed in this planning proposal no Commonwealth public authorities have been consulted as of yet. However, as part of this process, Council intend to consult with a range of relevant State government agencies.

The following state agencies are proposed to be consulted with:

- Rural Fire Service
- Office of Environment and Heritage
- Endeavour Energy
- NSW Department of Primary Industries – Minerals and Petroleum
- Mine Subsidence Board

**PART 4 – COMMUNITY CONSULTATION**

Council intends to place the Planning Proposal on public exhibition for a 28 day period in accordance with the provisions of the Environment Planning and Assessment Act and Regulations.

**SCHEDULE OF ATTACHMENTS**

- Attachment A - Proposed Map changes**  
**Attachment B - DEC Letter Dated 20/01/2011**  
**Attachment C - Net Community Benefits Test**  
**Attachment D - Section 117 Directions**



ORD12

Attachment B - DEC Letter Dated 20/01/2011

Our reference: FIL0014504 DOC1002431  
Contact: Ray Giddins, 99358811



Mr Richard Wood  
Development Director  
Landcom  
PO Box 237  
Parramatta, NSW 2124

Dear Mr Wood

Garden Gates and Spring Farm Land Use Proposals

I refer to your letter of 12 July 2010, our meeting of 7 September 2010 and subsequent discussions and meetings you have had with Ray Giddins regarding the above.

**Spring Farm**

Landcom has proposed some changes to its developable area within the Spring Farm release area as shown in the map you provided with your letter (Ref 76744.01.M100).

- The proposed adjustment near the proposed Garner St in the far east of the site does not impact on any of the bushland corridors planned for the release area. As such, it has no impact on the Department of Environment, Climate Change and Water's (DECCW's) deemed concurrence for development in the release area.
- The proposed adjustments near Glenlao Road (approx. AMGs 290767 6227389 (AGD 1986)) are additions to the bushland corridor system. As such, they have no impact on DECCW's deemed concurrence for development in the release area.
- The proposed adjustment in the north of the site, near the future link road (approx. AMGs 291119 6228119), removes 0.35 ha of poor condition Cumberland Plain Woodland from the bushland corridor. This would not jeopardise DECCW's deemed concurrence for development in the release area.
- There are a series of adjustments along the southern and south western boundaries of the development. The largest is 8232 m<sup>2</sup> and is an addition to the bushland corridor net work. It is mostly, however, under a proposed Integral Energy powerline easement and would not be able to be completely regenerated. There are also likely to be 2-3 pairs of powerline poles, with access tracks, within this area, which would require permanent clearing. Without these restrictions it is likely that this area would be regenerated as Elderslie Banksia Scrub Forest.
- A small area at the western end of the southern boundary (1287 m<sup>2</sup>) proposed for addition to the bushland corridors is also substantially within the easement and may not be able to be completely regenerated.
- The three areas along the southern boundary proposed to be removed from the bushland corridors (673 m<sup>2</sup>, 8185 m<sup>2</sup> and 403 m<sup>2</sup>) are almost entirely within the area mapped to be recreated as EBSF, as is the final area to be added to the corridors (472 m<sup>2</sup>). This makes a balance of 8788 m<sup>2</sup> to be removed from the bushland corridors.

The Department of Environment and Climate Change NSW is now known as the Department of Environment, Climate Change and Water

PO Box 608 Parramatta NSW 2124  
Level 7, 79 George Street Parramatta NSW  
Tel (02) 9996 0000 Fax (02) 9995 9900  
ABN 30 841 307 271  
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Department of Environment and Climate Change NSW

Attachment 1

## Amendment No. 18 – Spring Farm East Zone Boundary Adjustments

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- It is understood that the area in the south west corner of the site (fourth dot point, above) is proposed as an offset for these losses. However, as noted above, this area will not be able to be completely recreated as EBSF if the Integral Energy easement is present. It is also noted that, at a recent meeting you had with Ray Giddins and Integral Energy staff, this area was also proposed as partial offset for the impacts that the remainder of the easement will have. It is unlikely that this part of the site will be able to act as an offset for both the additions to the Landcom development area and the impacts of the Integral Energy easement.

DECCW recommends that a more detailed study of the likely impacts and benefits of the additions and losses from the bushland corridor network along the southern and south western boundaries of the development be conducted in order to better quantify the relative gains and losses. It would be useful if this was done in conjunction with any assessment that Integral Energy makes of the impacts of its easement as the two proposals share common sites. DECCW will then be in a position to review that information and provide further advice.

**Garden Gates**

At our meeting of September last year, DECCW advised that the land that Landcom wishes to transfer to the NPWS for addition to William Howe Regional Park, appeared to have few conservation values, but that we had little data on it. Landcom said at the time that it would review previous development applications for Garden Gates to see if any relevant data existed. That information is yet to be received by DECCW.

If you have any further questions in relation to this matter, please contact Ray Giddins, Regional Biodiversity Conservation Officer, on 99956811 or ray.giddins@environment.nsw.gov.au.

Yours sincerely

 20/1/11

**Deborah Stevenson**  
A/Manager, Metro Projects and Support  
Environment Protection and Regulation

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Attachment 1

## Amendment No. 18 – Spring Farm East Zone Boundary Adjustments

ORD12

Attachment 1

**Attachment C - Net Community Benefits Test**

Key Criteria	Y/N	Assessment
Will the LEP be compatible with agreed State and regional strategic direction for development in the area (e.g. land release, strategic corridors, development within 800 metres of a transit node)?	Y	The LEP is considered to be compatible with the Metropolitan Plan for Sydney 2036 and the Draft South West Subregional Strategy by supporting increased opportunities for residential housing within the Camden Local Government Area without compromising environmental objectives.
Is the LEP located in a global/regional city, strategic centre or corridor nominated within the Metropolitan Strategy or other regional/subregional strategy?	N	The subject land is not identified within a key strategic centre or corridor.
Is the LEP likely to create a precedent or create or change the expectations of the landowner or other landholders?	N	The LEP amendment is unlikely to change the expectation of landowners or other landholders. The purpose of this submission is to correct zoning anomalies between Camden Local Environmental Plan 2010 ('CLEP 2010') and the original Spring Farm Masterplan as detailed in Camden LEP 121 – Spring Farm and to regularize the zone boundaries through strategic land swaps.
Have the cumulative effects of other spot rezoning proposals in the locality been considered? What was the outcome of these considerations?	Y	A spot rezoning proposal for the Southern and Western village of Spring Farm has received Gateway determination (passed with conditions) on 17 February 2012. Both the spot rezoning and the rezoning as proposed in this submission aims to improve overall road design and lot layout of the locality. The Southern & Western Village proposal also slightly increased the residential yield. It is considered unlikely that there will be any adverse effects.
Will the LEP facilitate a permanent employment generating activity or result in a loss of employment lands?	N	The LEP amendment does not facilitate permanent employment generating activity. It would not result in a loss of employment lands.
Will the LEP impact upon the supply of residential land and therefore housing supply and affordability?	Y	The LEP would have a positive impact on residential land & housing supply and affordability and allow for a better road and layout design.
Is the existing public infrastructure (roads, rail, and utilities) capable of servicing the proposed site? Is there good pedestrian and cycling access? Is public transport	Y	This matter was dealt with as part of the original Spring Farm rezoning process. Relatively speaking the amendments as proposed in this submission are relatively minor and would not

Amendment No. 18 – Spring Farm East Zone Boundary Adjustments

currently available or is there infrastructure capacity to support future public transport?		cause an increased demand.
Will the proposal result in changes to the car distances travelled by customers, employees and suppliers? If so, what are the likely impacts in terms of greenhouse gas emissions, operating costs and road safety?	N/A	N/A

Key Criteria	Y/N	Assessment
Are there significant Government investments in infrastructure or services in the area whose patronage will be affected by the proposal? If so, what is the expected impacts	N	The rezoning to the southern portion of the eastern village will ultimately enable the undergrounding of the existing overhead electricity power lines., There will be negligible impacts on the patronage.
Will the proposal impact on land that the Government has identified a need to protect (e.g. land with high biodiversity values) or have other environmental impacts? Is the land constrained by environmental factors such as flooding?	Y	Part of the amendment sought to the northern edge of the eastern village has been identified as a part of the Spring Farm bush corridor. DEC's letter of 20/1/11 confirms that these amendments to the northern edge would only affect degraded Cumberland Plain Woodland and that this would not affect the deemed concurrence. The DEC letter also states that the amendments to the eastern and western edges of the Eastern Village would also not affect the deemed concurrence. In respect to the southern edge the comments of DEC in their letter have been taken into account in the planning for the route of the relocated 132kv transmission line. Endeavour Energy's draft REF concludes that the proposed route will not have a significant impact on the environment. The proposal provides an outcome capable of facilitating the transmission line relocation, restoration of EBSF in a sustainable manner and providing an appropriate buffer to residential development.
Will the LEP be compatible /complementary with surrounding land uses? What is the impact on amenity in the location and wider community? Will the public domain improve?	Y	The LEP will be compatible/complementary with surrounding land uses. The planning proposal would ultimately correct zoning anomalies between the current LEP and the previous LEP and also regularise the zoning boundary of the subject site to allow for a better road and layout design and increase E2 – Environment Conservation Zone. It does not represent a significant change to the future planned outcome

ORD12

## Amendment No. 18 – Spring Farm East Zone Boundary Adjustments

		for the Spring Farm Release Area.
Will the proposal increase choice and competition by increasing the number of retail and commercial premises operating in the area?	N	The proposal will not increase the number of retail and commercial premises operating in the area.
If a stand-alone proposal and not a centre, does the proposal have the potential to develop into a centre in the future?	N/A	N/A
What are the public interest reasons for preparing the draft plan? What are the implications of not proceeding at that time?		This proposal will ultimately finalise the adopted Spring Farm Master Plan relating to the Eastern Village and balance both urban and environmental outcomes, especially in that portion to the south.

Attachment 1

**Attachment D – Section 117 Directions**

	<b>Objective</b>	<b>Response</b>
<p>s.117 Direction</p> <p><b>1.3 Mining Petroleum and Production and Extractive Industries</b></p>	<p>The objective of this direction is to ensure that the future extraction of State or regional significant reserves of coal, other minerals, petroleum and extractive materials are not compromised by inappropriate development.</p>	<p>There are two areas of consideration. These are coal mining and sand extraction. Having regard to these, it can be noted that the whole site is located within a Mine Subsidence District and any future subdivision development would not preclude underground coal mining.</p> <p>The sand extraction will continue with normal operations until resources are extinguished which would then permit the planned development of the land for residential and recreation purposes.</p>
<p><b>2.1 Environment Protection Zones</b></p>	<p>The objective of this direction is to protect and conserve environmentally sensitive areas</p>	<p>It is considered that the proposal will facilitate the protection and conservation of environmentally sensitive areas. DEC's letter of 20/1/11 confirms that the amendments to the northern, eastern and western edges of the Eastern Village would not affect the deemed concurrence. In respect to the southern edge the comments of DEC in their letter have been taken into account in the planning for the route of the relocated 132kv transmission line. Endeavour Energy have prepared a draft review of environmental factors (REF) which concludes that the proposed route will not have a significant impact on the environment. The Planning Proposal including a copy of the REF will be referred to the</p>

# Attachment 1 ORD12

Amendment No. 18 – Spring Farm East Zone Boundary Adjustments

		office of environment and Heritage.
<p><b>3.1 Residential Zones</b></p>	<p>The objective of this direction are:</p> <ul style="list-style-type: none"> <li>(a) to encourage a variety and choice of housing types to provide for existing and future housing needs,</li> <li>(b) to make efficient use of existing infrastructure and services and ensure that new housing has appropriate access to infrastructure and services, and</li> <li>(c) to minimise the impact of residential development on the environment and resource land</li> </ul>	<p>The proposal seeks to rezone parts of the subject site from E2 Environmental Protection to R1 General Residential. The amendment will facilitate residential development and provide for future housing needs.</p> <p>The regularised road and layout design will be the best way to implement the required electrical easement required to service future development.</p>
<p><b>3.4 integrating Land Use and Transport</b></p>	<p>The objective of this direction is to ensure that urban structures, building forms, land use locations, development designs, subdivision and street layouts achieve the following planning objectives:</p> <ul style="list-style-type: none"> <li>(a) improving access to housing, jobs and services by walking, cycling and public transport, and</li> <li>(b) increasing the choice of available transport and reducing dependence on cars, and</li> </ul>	<p>The proposed rezoning will only be minor extensions to an already zones residential release area and therefore will not affect transport.</p>

Amendment No. 18 – Spring Farm East Zone Boundary Adjustments

	<p>(c) reducing travel demand including the number of trips generated by development and the distances travelled, especially by car, and</p> <p>(d) supporting the efficient and viable operation of public transport services, and</p> <p>(e) providing for the efficient movement of freight.</p>	
<p><b>4.4 Planning for Bushfire Protection</b></p>	<p>The objectives of this direction are:</p> <p>(a) to protect life, property and the environment from bush fire hazards, by discouraging the establishment of incompatible land uses in bush fire prone areas, and</p> <p>(b) to encourage sound management of bushfire prone areas</p>	<p>The proposed amendments to the southern edge of the Eastern Village have taken into account APZ requirements in the location of the transmission line easement and proposed EBSF restoration areas.</p> <p>Whilst portions of the subject land are bushfire affected, the additional residential development created as a result of the rezoning will be subject to the same bushfire assessment procedures as the rest of the bushfire affected lots in the release area.</p>
<p><b>6.1 – Approval and Referral Requirements</b></p>	<p>The objective of this direction is to ensure that LEP provisions encourage the efficient and appropriate assessment of</p>	<p>The requested planning proposal does not include provisions that require the concurrence, consultation and referral of development</p>

# Attachment 1 ORD12

Amendment No. 18 – Spring Farm East Zone Boundary Adjustments

<p><b>6.2 Reserving land for Public Purposes</b></p>	<p>development.</p> <p>The objectives of this direction are:</p> <p>(a) to facilitate the provision of public services and facilities by reserving land for public purposes; and</p> <p>(b) to facilitate the removal of reservation of land for public purposes where the land is no longer required for acquisition.</p>	<p>applications to a minister or public authority.</p> <p>The planning proposal would alter the existing E2 <i>Environmental Conservation</i> zone, proposed for bush corridor regeneration and public dedication. DEC's letter of 20/1/11 confirms that the amendments to the northern, eastern and western edges of the Eastern Village would not affect the deemed concurrence. The proposal provides an outcome capable of facilitating the transmission line relocation, restoration of EBSF in a sustainable manner and providing an appropriate buffer to residential development. Its impact on land for public purposes is considered to be of minor significance having regard to the Direction's objectives of:</p> <p>(a) to facilitate the provision of public services and facilities by reserving land for public purposes; and</p> <p>(b) to facilitate the removal of reservations of land for public purposes where the land is no longer required for acquisition.</p>
<p><b>7.1 – Implementation of the Metropolitan</b></p>	<p>The objective of this direction is to give legal</p>	<p>The proposed rezoning is relatively minor in the</p>

Amendment No. 18 – Spring Farm East Zone Boundary Adjustments

<p><b>Plan for Sydney 2036</b></p>	<p>effect to the vision, land use strategy, policies, outcomes and actions contained in the Metropolitan Strategy.</p>	<p>context of the Metropolitan Plan for Sydney 2036 and will have the same consistency with the objectives and actions contained in the above strategies as the current zoning.  Please refer to Part 3.0 Section B of this Planning Proposal for the discussion of how the Planning Proposal is consistent with the metropolitan plan.</p>
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ORD13

## ORDINARY COUNCIL

ORD13

**SUBJECT:** TRANSFER OF TEMPORARY PUBLIC ROAD FROM COUNCIL OWNERSHIP - LOT 809 DP 1165237, STAGE 8 HILLCREST ESTATE, ELDERSLIE  
**FROM:** Director Governance  
**BINDER:** Roads Act Matters

---

### PURPOSE OF REPORT

The purpose of this report is to obtain a Council resolution to transfer Lot 809 DP 1165237, utilised as a temporary road, from Council ownership to the original developer in accordance with the Development Consent (DA 1425/2010).

### MAIN REPORT

In 2011 a subdivision creating Stage 8 Hillcrest Estate, was approved for a 7 lot subdivision, 1 residual lot and construction of roads including a temporary road (proposed Lot 809). The development consent was conditional, condition 1(7) providing that *"any temporary road created as part of this development will expire when alternative access can be provided"*.

The Developer, Crownland Developments Elderslie (No. 2) Pty Limited ('Crownland Developments') has requested that the temporary road now be closed and the title for Lot 809 be transferred back to their ownership. The temporary road was primarily required to provide access between the northern and southern section of Asimus Circuit.

The works associated with Stage 9 of the development (DA 1554/2010), which is almost completed, has extended Asimus Circuit which will alleviate the need for the temporary public road that was created in Stage 8. In order to dedicate the new connection of Asimus Circuit as a public road, the temporary road needs to be formally closed. The construction of the extension of Asimus Circuit will be completed prior to the formal transfer of the temporary road.

Sections 39 and 40 of the Roads Act 1993 allows for the closure of a temporary public road and requires the land be transferred to the original subdivider.

Council has published a notice in the New South Wales Government Gazette, Issue 32 on 10 August 2012 closing the temporary public road and Land and Property Information Service now require a resolution endorsing the road closure and transfer.

Crownland Developments has arranged for the appropriate Transfer documents to be prepared in order to transfer Lot 809 DP 1165237 back into their ownership.

The documentation requires formal Council approval in order to proceed with the transfer of the land. All costs associated with the transfer of the land will be met by the Developer.

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## **CONCLUSION**

Council officers are satisfied that alternative access has been provided which alleviates the need for the temporary public road. In accordance with the Roads Act 1993, Lot 809 is required to be transferred to the original developer's ownership and the Council resolution is merely a procedural requirement.

## **RECOMMENDED**

### **That Council:**

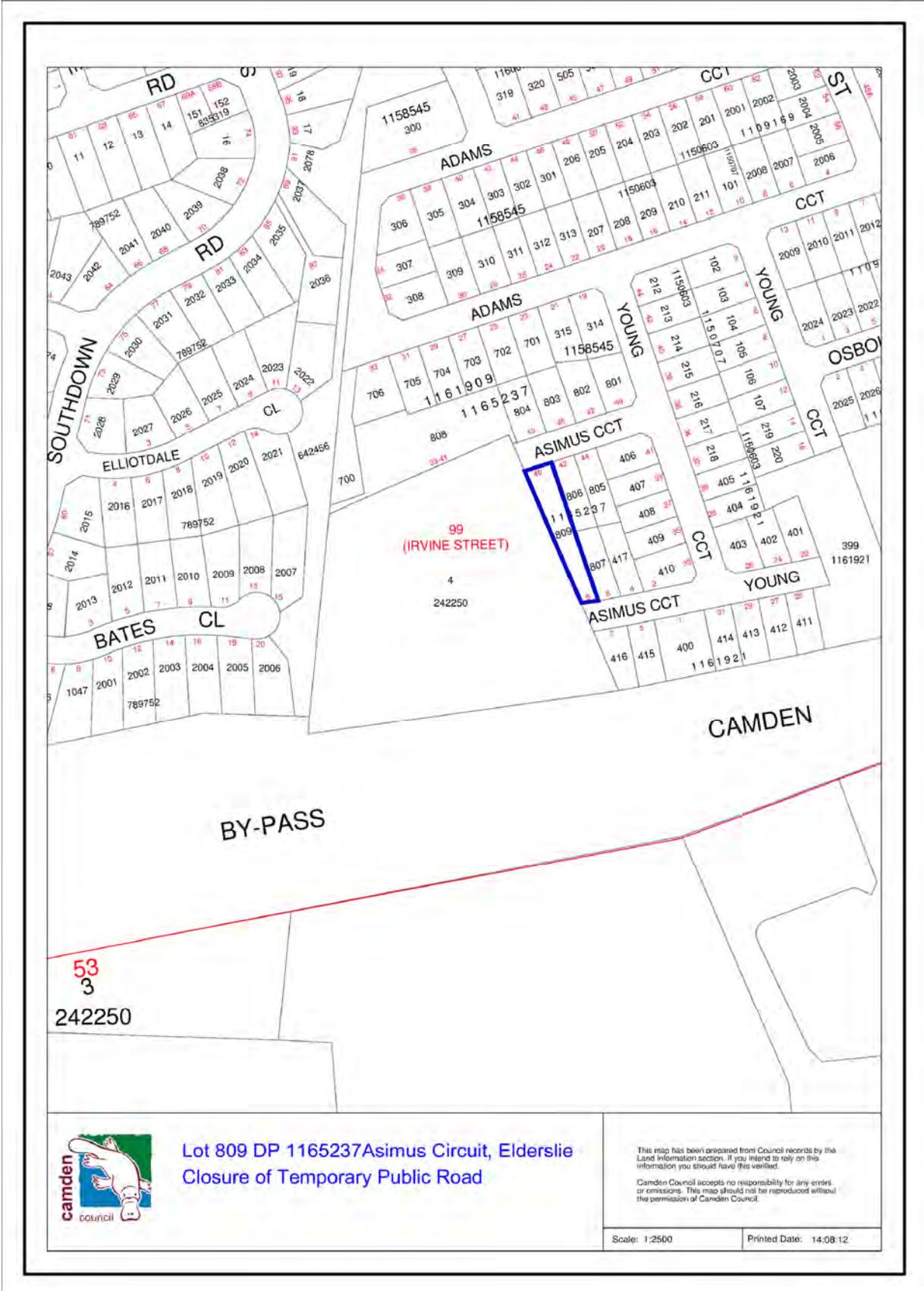
- i. consent to the closure of the temporary public road comprising Lot 809 DP 1165237 Asimus Circuit, Elderslie and the transfer of this lot to Crownland Developments Elderslie (No. 2) Pty Limited, as provided under the Roads Act 1993; and**
- ii. authorise the seal of Council to be affixed to all transfer documentation associated with Lot 809 DP 1165237 Asimus Circuit, Elderslie to Crownland Developments**

### **ATTACHMENTS**

1. Location Plan

ORD13

Attachment 1



**Lot 809 DP 1165237 Asimus Circuit, Elderslie**  
**Closure of Temporary Public Road**

This map has been prepared from Council records by the Land Information section. If you intend to rely on this information you should have this verified.

Camden Council accepts no responsibility for any errors or omissions. This map should not be reproduced without the permission of Camden Council.

Scale: 1:2500      Printed Date: 14/08/12



## ORDINARY COUNCIL

ORD14

ORD14

**SUBJECT:** CAMDEN 2040 END OF TERM REPORT

**FROM:** Director Governance

**BINDER:** Camden 2040

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### PURPOSE OF REPORT

To present Council's End of Term Report on its achievements in implementing *Camden 2040*.

### BACKGROUND

The Integrated Planning and Reporting (IP&R) amendments to the NSW Local Government Act came into effect in October 2009. This new planning framework seeks to involve local communities in setting the long term vision for their local area, with the intention of better linking the various plans that make this vision a reality, and a greater commitment to reporting progress to the community.

All NSW councils were required to nominate into a group for compliance with the legislative amendment, being June 2010, June 2011 or June 2012. Camden Council elected to join Group 2 for compliance, and adopted the necessary elements of the IP&R requirements in June 2011.

The Community Strategic Plan, Camden 2040, is required to be reviewed every four years, by each newly elected council. Part of this review involves the presentation a report on the progress made in implementing the Community Strategic Plan by the previous council. This is called the End of Term Report and is provided as **Attachment 1 to this report**. The End of Term Report is an important resource to provide the new Council direction and feedback to facilitate the review of Camden 2040 and the associated Delivery Program for the 4 Year Term. The End of Term Report becomes part of the Annual Report in the year of the election.

### MAIN REPORT

Under the IP&R requirements, the End of Term Report is to be presented at the final meeting of the outgoing council and is to focus on the implementation and effectiveness of the Community Strategic Plan in achieving its social, environmental, economic and civic leadership objectives over the past four years.

Given the timing of the implementation of IP&R, this first End of Term Report is to cover the period since the Community Strategic Plan was adopted, which in Camden's case was December 2010.

Council's End of Term Report (**attached**) is in two parts. Part A reports Council's performance against the vision and indicators contained within *Camden 2040*. This section describes the growth context within which Council is operating, reports the progress of the indicators within *Camden 2040*, and presents key results in terms of Council's performance, including community and staff satisfaction and some of the significant achievements that have been made in the period since *Camden 2040* was adopted.

Part B contains the detailed catalogue of the many achievements that Council has made under the Key Directions in *Camden 2040*.

### **End of Term Report Summary**

In the relatively short time since *Camden 2040* has been in place (a little over 18 months), Council has made significant progress towards achieving the community's vision for the future. Not only do the vast majority of residents still feel that Camden has the "best of both worlds", there has been a significant increase in community pride, and in satisfaction with access to basic services and recreation facilities. This is noteworthy given the importance this community gives to both retaining the valued aspects and characteristics of the Camden area, and their desire to have access to high quality services and facilities.

Council's recent telephone survey of residents, aimed at measuring the sustainability indicators, yielded a range of positive results as to how Council is tracking in the key directions contained within *Camden 2040*. It is pleasing to note that none of the indicators measured by telephone survey worsened. In fact, in a range of areas there was a significant improvement based on the last survey conducted in 2010. This included such areas as satisfaction with access to services and facilities, community pride, and increased use of Council's website and Let's Connect as the main source of information on local issues and services.

In this period Council achieved another strong community satisfaction rating, with 85% of residents satisfied with Council's overall performance. This result is higher than other comparable metropolitan councils who ask their residents the same question. A staff survey was also conducted, for the first time in many years. This also provided some very positive results, with 72% of staff regarding Camden Council as "a good place to work", and 75% of employees feel motivated to do their jobs well. These surveys enable Council to understand a range of areas where future attention can be directed in order to further improve these results.

The significant list of achievements speaks for itself as a testament to the dedication of Council's staff, who remain committed to achieving positive outcomes for this community despite heavy workloads and low relative staff numbers. This is particularly impressive given that this report covers Council's achievements over the last 18 months only.

The results that Council has achieved since the adoption of *Camden 2040* are most pleasing given the substantial growth and associated pressures that this places on service delivery, finances, staff and assets. Camden Council remains committed to managing the growth of the Camden area, and to bettering these results, in such a way as to achieve a quality of life that continues to make this community proud to call Camden home.

The next Council term will continue to be full of opportunities and challenges in delivering the community's vision for the area. There will need to be an ongoing focus on urban and rural planning, a more active role in economic development and community engagement, and continued efforts in lobbying for the timely provision of infrastructure, particularly as it relates to transport. The relationships and partnerships Council has with government agencies, community groups, businesses and residents are a critical part of delivering the community's vision for Camden, and these will continue to be nurtured into the coming term and beyond.

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## **CONCLUSION**

Council has achieved very pleasing results in the period of time since *Camden 2040* was adopted. These results include significant progress towards meeting the community's vision for the future, community satisfaction with Council's performance, staff satisfaction, and in the great number of achievements that Council has made within each priority area in *Camden 2040*.

This report is a testament to the dedication and commitment of the outgoing Council and of staff to the community of Camden in working to achieve their vision for the future of their place and community. It will be of particular value to the new Council in providing direction and feedback for their review of *Camden 2040* and preparation of a new 4 Year Delivery Program for their council term.

## **RECOMMENDED**

**That Council:**

- i. note the report; and**
- ii. publish the report as part of the Annual Report in November 2012.**

## ATTACHMENTS

1. End of Term Report

ORD14

Attachment 1

**camden council**

**Camden 2040**  
**End of Term Report**  
**August 2012**

*Transforming Community  
Vision into Action*

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**ORD14**

**Attachment 1**

ORD14

Attachment 1

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### ***Foreword by the General Manager***

Any one of the 152 local government authorities in New South Wales could easily be described as being among the most diverse businesses in the country. Councils deliver services and facilities across a broad spectrum of activities ranging from "hard" infrastructure such as roads, buildings and drainage systems right through to "people focused" services such as community development, children's services, health and libraries as well as many other activities in between. Add to the complexity of a normal Council, the added responsibility for accommodating five fold population growth and the delivery of new towns and suburbs all in a cohesive and sustainable fashion; and you have the challenges facing Camden Council as an organisation.

As a Council we have both a statutory and a moral obligation to report to our constituents. In previous years we have reported annually on our achievements and progress. We now report our activities six monthly to our elected councillors, and are required to present a report at the end of each council term as to our achievements in implementing the community's vision and plan for the future – Camden 2040. Ordinarily this report would cover the entire four year term of the Council, however given we have only been operating under the new requirements for the past 18 months (since December 2010), this End of Term Report covers our achievements for that period. Much more was achieved for the community within this Council term, and this can be found in our previous annual reports.

As the first report under the new legislation, it has presented some challenges. Compiling a catalogue of activity and achievement over the period is a daunting prospect. Particularly when – as an organisation – you are more concerned with getting on and delivering for your community rather than with shouting your own praises from the rooftops! Over the four year term Camden Council has turned over more than \$450 million dollars and managed more than \$700 million of community assets. This report sets out just what we have done and what we have achieved for our community.

While the spending and the statistics incorporated in this report are important, the real story lies in the way a community works and feels. I'm delighted to report that a significant proportion of our residents (85% in fact) express satisfaction with the way in which the Council delivers for them. Further proof of our success lies in the fact that 87% of Camden residents feel that they still have "the best of both worlds" despite the substantial growth occurring and the stresses and strains that growth brings.

Each of our nine elected councillors and each of the 320 Council employees are proud of the way in which we have been able to not only meet the challenges of a growing community but also that we have done so in an innovative and sustainable fashion. I hope that you will also be proud of your community and what it has achieved.

Greg Wright  
General Manager



# Attachment 1

## ORD14

### Introduction

#### Integrated Planning and Reporting Requirements

In 2009 the NSW Government amended the Local Government Act to include a new set of requirements for how councils undertake long term community strategic planning and reporting back to their communities. This new planning framework, called Integrated Planning and Reporting, seeks to involve local communities in setting the long term vision for their local area, with the intention of better linking the various plans that make this vision a reality, and a greater commitment to reporting progress towards this vision back to the community.

Implementation of the new requirements was staged, with councils across the state nominating a date for compliance. Camden Council opted to join the second group of councils to become compliant with the legislation, and adopted the necessary elements of the framework in June 2011. This involved engaging our community in the preparation of *Camden 2040* as our long term vision and strategic plan. This was adopted by Council in December 2010. Council then prepared and adopted a Resource Strategy (comprising a Long Term Financial Plan, a Workforce Plan and an Asset Management Strategy and Plans) and a 4 year Delivery Program covering the activities that Council is responsible for delivering in implementing *Camden 2040*.

An element of the Integrated Planning and Reporting requirements is that the community strategic plan (*Camden 2040*) are to be reviewed every four years by each newly elected council. Part of this review involves the preparation of a report by the outgoing council on the progress made in implementing *Camden 2040* during its term. This is called the **End of Term Report**, and forms part of Council's Annual Report in the year of the election. The End of Term Report is an important resource to provide the new council with direction and feedback to facilitated their review of *Camden 2040* and the associated Delivery Program for their 4 year term.

Given that this is the first cycle of Integrated Planning and Reporting, and that it was commenced mid-way through the current council term, the End of Term Report for August 2012 covers the period December 2010 to August 2012 only, to report progress on *Camden 2040* since its adoption. The next End of Term Report, prepared for the outgoing council in 2016 will cover the full four year term.

#### Camden 2040

*Camden 2040* is the community strategic plan for the people and place of the Camden area over the coming decades. It was prepared following extensive community engagement and input with residents of this area, and aims to translate the community's aspirations and priorities into action. Almost 1,400 residents, workers and visitors to the area had their say in the formulation of this vision and the priorities requiring focus during that time. This has been the largest community engagement exercise undertaken by Camden Council to date.

*Camden 2040* was prepared as a strategic response to the large-scale urban and population growth that has been planned for the area under the State Government's Metropolitan Strategy. It acknowledges that whilst many in our community would prefer not to have this growth occur, that it is now part of Camden's future and needs to be managed actively and effectively in order to deliver quality places and lifestyles for the people that have the Camden area as their home, both now and into the future.

#### *Measuring Progress*

*Camden 2040* contains a set of indicators which enable Council to measure whether progress is being made towards the community's vision, and then report this progress to the community. These indicators are to be measured over time, and allow Council to understand the areas which are progressing well, and those areas that may require some additional focus and resources in order to get them on track towards delivering the community's vision.

Camden Council has had a set of sustainability indicators in place for some years, and these are the indicators that have been used to *Camden 2040*. They comprise indicators to measure environmental, economic, social and leadership outcomes, as well as how effectively Camden's growth is being managed. They are measured using a range of information, including community perception (telephone survey) and Census data, as well as information provided by a range of other agencies.

It should be noted that for this End of Term Report, Council has only included the indicators for which information was able to be sourced at the time of reporting. Some Census data is still to be released, for example. It is anticipated that most of the indicators will have current information against them in the Annual Report to be published in November 2012.

#### *Reviewing Camden 2040 – Next Steps*

This End of Term Report is the first step in the review process of *Camden 2040* by the new Council that will be elected in September 2012. It highlights the progress towards the community's vision and the many achievements that Council has made to the end since the adoption of *Camden 2040* in December 2010.

A Community Engagement Strategy has been drafted for the review of *Camden 2040*, with the intention of the community engagement process to take place in the coming months. This will also involve engaging with the various partners and other stakeholders who have a part in delivering *Camden 2040* to consider their achievements to date, and their continued involvement and actions in the next term. Both partners and residents will have further opportunity to provide input into the revised draft to ensure that we have adequately reflected their aspirations and concerns.

Council will adopt the revised *Camden 2040* and will then use this as a basis for preparation of its new Resource Strategy and 4 Year Delivery Program, to be adopted by June 2013. The 4 Year Delivery Program is the specific action plan for the term of the new council in continuing the progress towards the community's vision that the outgoing Council has achieved.

Integrated Planning and Reporting is still new in NSW, and for Camden Council it has created a range of opportunities and challenges to ensure that we are planning well for the future of this area, with quality engagement with our community, and in measuring and reporting progress to our residents in a meaningful way. There is still work to be done, and Council is committed to continuing this improvement process into the coming term for the benefit of both current and future residents of this area.

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*Part A –*

*Our Performance in Implementing Camden 2040*

### **Camden 2040 – A Plan for a Growing Place**

*Camden 2040* is a plan for the future of the Camden area as it experiences five-fold population growth. Growing this population involves much more than putting houses on the ground.

Think about Camden now – with a population of about 59,500 people. Consider the services, the infrastructure and the facilities that this current population need.

Think, then, of a Camden with a population of more than 250,000 people. Consider:

- The kilometres of roads, footpaths and drainage; the hectares of parks, the sports grounds, swimming pools and play equipment.
- The kind of work that needs to go into protecting the natural environment from this significant change in land use, and in creating suburbs and town centres that are attractive, liveable and healthy.
- The need for suitable transport, employment, health and education.
- The many services that will be needed to ensure a vibrant and supportive community – services for children and young people, libraries, information, community and cultural events, support for older people and people who have a disability.
- The many services that contribute to the amenity and health of a local area – waste, managing domestic animals, parking, inspecting food shops, managing noise complaints, cleaning and beautifying town centres.
- The need to ensure our existing centres and neighbourhoods continue to thrive in the midst of new urban growth around the LGA.

*Camden 2040* considers these many issues as it not only plans for future communities, but also to ensure that the quality of life and the services provided to the current community are of the high level they desire and expect.

*Camden 2040* serves as a “road map” directing the kinds of actions and priorities that will be necessary to reach the vision that the community of the Camden area has for its future.

#### **Population and Urban Growth**

The estimated resident population of the Camden Local Government Area in 2011 was 58,306 people (based on Australian Bureau of Statistics information). Given that waste services and rate assessments have both increased by about 2% during the 2011/12 financial year it is reasonable to estimate that the current population is close to 59,500 people.

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With an expected final population over 250,000 people, the Camden area will see higher annual growth rates than have been experienced in this area for a decade. To 2021 this growth is expected at an average annual rate of 4.20% per annum.

In the past three financial years, Council has assessed a total of \$1.2 billion worth of development. The annual value has increased by 25% over that period, from \$349 million in 09/10 to \$473 million in 11/12.

Council is currently working on the precinct planning process for the Austral and Leppington North Precinct, which will be a Major Centre in the South West (on par with the size of Liverpool). The South West Rail Link will run through the precinct with a station at the Leppington Major Centre. Construction for this rail link is underway. Development in the Oran Park and Turner Road Precincts is continuing, with 500 lots already released in both precincts. The Oran Park Precinct will be home to over 21,000 people once fully developed. Oran Park has the capacity for over 4,000 jobs with 18 hectares of employment land and a town centre with 50,000m<sup>2</sup> of retail space, as well as other commercial, civic, recreation and education facilities and services. The Turner Road Precinct will house almost 13,000 residents and has the capacity for 5,000 jobs, with 96 hectares of employment land and a 15,000 m<sup>2</sup> town centre.

Precinct planning work continues for the Leppington and Leppington East Precincts (8,000 and 4,100 lots respectively, or approximately 24,000 and 12,000 total population), the Catherine Fields South Precinct (up to 3,000 lots or 9,000 residents), and the El Caballo Blanco Gledswood Precinct (about 860 lots, 2,500 people).

### A Picture of Infrastructure Growth

Council's Asset Management Strategy (June 2011) identifies the anticipated amount of new local infrastructure that will be constructed by 2040 based on a population size of 256,000 people. This is shown in the table to the right. This infrastructure is calculated by using the provision rates for different types of infrastructure, such as square metres of roads and footpaths per residential lot or hectares of open space per 1000 population. This provides a good picture of the substantial increase in infrastructure that will take place during the life of Camden 2040.

Whilst it is intended that much of this infrastructure will be funded by way of developer contributions, the recent state government cap on the amount that councils are able to levy may have a significant impact on the ability for the required infrastructure to be funded into the future. The funding provision of required infrastructure therefore presents a significant challenge to Council.

Asset Type	Additional Assets	
Footpath & Cycleways	1,651,613 m <sup>2</sup>	The length of this would reach from Camden to Melbourne!
Kerb & Gutter	1,376,344 m <sup>2</sup>	
Road Pavement	4,817,204 m <sup>2</sup>	This is equivalent to a highway between Camden and Canberra!
Road Surface	4,817,204 m <sup>2</sup>	
Stormwater Pipes	688,172m	If laid in a straight line these pipes would stretch from Camden to the Sydney CBD 6 times!
Stormwater Pits	16,516	
Open Space (half active and passive)	724Ha	This is the size of 330 football fields!
Sports Grounds	138	
Outdoor Courts (Netball, tennis, basketball)	238	
Athletics track	3	
Leisure Centre	7	
Youth Recreation Facility	22,784 m <sup>2</sup>	
Multi-purpose Community Centre	10,752 m <sup>2</sup>	
Community Resources Space	56,320 m <sup>2</sup>	If all put in one building this would be 1.5 times the size of Narellan Town Centre!
Branch Library	11,981 m <sup>2</sup>	

One of the most significant infrastructure requirements for Council as a result of this growth, and which cannot be funded with developer levies, is a new Central Administration Building to accommodate the necessary growth that Council will undergo, both in terms of its staff and service delivery requirements.

A particular consideration for Council's forward planning is the cost in maintaining these and existing assets into the future.

#### **A Picture of the Organisation's Growth**

- Workforce - the number of staff working for Council in December 2010 (full time equivalent) was 280. Future staff numbers are forecast to be 850-900 people to service a population over 250,000.
- Finance - Council had a total budget of \$106 million in 2011/12. This is forecast to increase to \$162 million by 2020/21 (which is the period covered by Council's Long Term Financial Plan).
- Waste Services – Council currently provides 17,869 domestic waste services. This is forecast to increase to 33,020 in the next decade, which is an increase of almost 75%.
- All of Council's services will undergo significant growth in the coming years in order to respond to deliver services and facilities to this rapidly growing population.

#### **How Are We Tracking in Terms of the Community's Vision?**

*Camden 2040* has a range of indicators that enable us to measure whether we are on track in terms of delivering the community's vision for the future. They will enable each elected Council over the term of the plan to understand if we are moving towards or away from the community's vision, and the areas which will need attention in order to move in the right direction.

The community's vision in *Camden 2040* is:

***"In the year 2040, the Camden Local Government Area is a dynamic, modern, urban place which is defined by its unique history and rural backdrop, and has realised the many opportunities presented by urban development and population growth"***.

Council conducted its annual survey of residents in 2012, which is a statistically valid telephone survey involving a sample of residents across the Camden Local Government Area that ensures appropriate representation in terms of suburb, age group and gender. This survey is conducted in such a way that we can be confident that if it were repeated again with different residents the results would be the same. This means that we can assume the results are applicable across the entire community.

This survey identified a number of noteworthy results in relation to how we are tracking in terms of the community's vision. Firstly, 87% of residents believe that Camden "has the best of both worlds". *This figure has not changed since the survey was first conducted in 2005, despite the announcement by the State Government of the South*

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West Growth Centre in 2005, and the community's fears that the valued aspects of Camden will be lost as the area grows and develops (as raised during community consultation for *Camden 2040*).

Secondly, there has been a statistically significant increase in the proportion of residents who are satisfied with their level of access to a range of basic services, including specially shopping, general practitioners and child care, and recreation facilities, including libraries, swimming pools and walking tracks. Thirdly, there has been a significant increase in the proportion of residents who are proud of the neighbourhood they live in.

Taken together, these results indicate that we have made significant progress in terms of the community's vision for a place where residents enjoy the best aspects of place with a rural backdrop and heritage and the services and facilities that are realised with urban growth.

The vision in *Camden 2040* is to be delivered through focusing on six areas of activity, and the table below provides further detail as to how we are tracking in terms of these Key Directions:

Vision	Indicators
<p><b>actively managing Camden's growth</b></p>	<ul style="list-style-type: none"> <li>• 87% of residents believe that Camden has "the best of both worlds", which has not changed since 2005.</li> <li>• Residents are more satisfied now with their access to basic services than they were in 2010, particularly convenience and speciality.</li> <li>• Internet access has increased, with less households having no internet access. Camden continues to have a smaller proportion of households with no internet connection than the Greater Sydney Area.</li> <li>• There is starting to be a greater diversity of housing types available within the area to suit a greater range of needs</li> </ul>
<p><b>healthy urban and natural environments</b></p>	<ul style="list-style-type: none"> <li>• There were 2 days in 2011/12 where Camden's air quality exceeded acceptable levels for particulates (particles in the air which potentially affect people with respiratory conditions, based on National Standards).</li> <li>• Council commenced testing water quality in one of the local catchments, reporting of which will be ready for Council's State of the Environment Report in November 2012.</li> <li>• 90% of households use energy saving light globes or other devices, and there is an increasing proportion of buildings that incorporate energy efficient design principles.</li> <li>• Bushcare volunteer hours have almost tripled in the last 2 years.</li> <li>• Two out of five of households compost food or garden waste, and the Camden Local Government Area has one of the highest rates of diversion of waste to landfill in NSW.</li> <li>• There has been a significant increase in residents' pride in their neighbourhoods. Clean streets and parks, friendly</li> </ul>

	<ul style="list-style-type: none"> <li>neighbours and good quality housing are the main reasons for community pride.</li> <li>Residents are more satisfied now with their access to recreation facilities than they were in 2010, particularly libraries, swimming pools and walking tracks.</li> </ul>
<p style="text-align: center;"><b>prosperous local economy</b></p>	<ul style="list-style-type: none"> <li>The Gross Regional Product of the Camden Local Government Area is increasing annually.</li> <li>Rough estimates indicate that there continues to be about 50 jobs per 100 resident workers (final Census data will be needed to verify this, which is due in late 2012).</li> <li>There has been a decrease in the proportion of residents who have completed Year 12 (highest level of educational achievement data from the Census is still to come in late 2012).</li> <li>90% of households have at least one member undertaking some form of education, including self-learning, work-related course or school.</li> <li>91% of residents continue to be satisfied with their standard of living.</li> </ul>
<p style="text-align: center;"><b>effective and sustainable transport</b></p>	<ul style="list-style-type: none"> <li>Road accidents (fatal and non-fatal) decreased slightly between 2009 and 2010.</li> <li>Four out of five residents prefer to travel by car and the Camden LGA continues to have a very high rate of car ownership per household compared to the Greater Sydney Area.</li> <li>Three out of five residents believe it is more difficult to travel within the LGA now than it was 12 months ago, with Narellan Road and Camden Valley Way cited as the most difficult roads to travel on.</li> </ul>
<p style="text-align: center;"><b>enriched and connected community</b></p>	<ul style="list-style-type: none"> <li>Crime rates have decreased over the past few years, and residents feel the same levels of safety as in 2010 (90% feel safe walking alone during the day and 50% at night).</li> <li>92% of households have had at least one member attend a community event in the past 12 months, with the Camden Show and local craft or produce markets being the most-attended events.</li> <li>Two out of five households have at least one member involved with a sporting group, and one out of five with a community group. Two out of five households have no involvement with community or sporting groups in the past 12 months.</li> <li>Four out of five of residents believe that their neighbourhood is a friendly place to live and there has been a significant increase in community pride since 2010.</li> <li>Residents are spending more time on average walking than 2 years ago, though rates for other types of exercise have not changed. Only a quarter of residents surveyed play sport.</li> <li>The rate of chronic illness has not changed according to the resident survey, with one third of households containing someone with a chronic illness such as arthritis, high blood pressure or asthma.</li> </ul>

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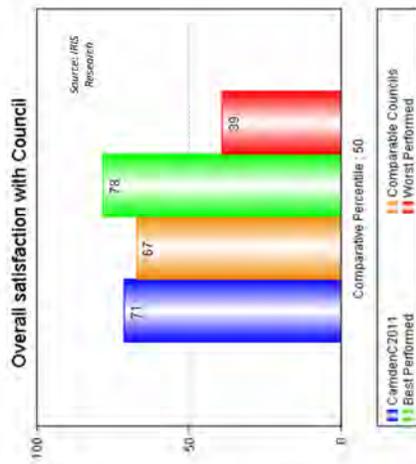
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	<p style="text-align: center;"><b>strong local leaders</b></p> <ul style="list-style-type: none"> <li>• Two out of five households had a member who took action to address a local issue in the past year, with contacting a Councillor or Council officer being the most preferred methods.</li> <li>• Of these residents, about one third were confident that Council had considered what they had to say and about the same proportion were not confident. This has not changed since 2010.</li> <li>• Two in five Camden residents are able to name at least one of their elected Councillors.</li> <li>• Council's website and Let's Connect are increasing as residents' main source of information about local services and activities. Two thirds of residents are satisfied with the level of information available.</li> <li>• Council continues to manage its finances prudently as evidenced by its unqualified audit reports. The ongoing area of concern for Council is the Buildings Infrastructure Renewal Ratio, with the infrastructure renewals gap larger than it should be. Council attempted to address this problem in applying for a special rate variation in 2009 however this was only approved for three years, which is insufficient to address this backlog.</li> <li>• The community continues to be satisfied with Council's overall performance - 85% of residents surveyed indicated that they were <i>satisfied</i> and 72% said they were <i>very satisfied</i>, which has not changed since 2009.</li> </ul>
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For the indicators we are currently able to measure, the picture is overall a positive one in that generally the indicators are moving in the right direction – in other words, progressing towards the community's vision for Camden.

The areas for ongoing concern are roads and transport, and education and employment. Whilst there hasn't been a decline in the community's dissatisfaction with local roads and transport in the last two years, the level of dissatisfaction continues to be high. It is important to note, however, that there has recently been significant investment committed to improving roads and transport within the Camden Local Government Area. This includes funding for the Camden Bypass Intersection (of which Council's contribution will exceed \$4.2 million), the fast-tracking of upgrade works on Camden Valley Way and Narellan Road, and construction of the South West Rail Link. The investment in these projects, along with the M5 widening, has the potential to benefit Camden residents by more than \$2.5 billion. In addition, work carried out under Council's Asset Management Plan exceeded \$13.2 million in the last year alone, and more than 20 km of roads have been added or upgraded by developers.

In relation to education and employment, Council will be taking a more active role in economic development from July 2012 with the preparation of an economic development strategy and employment of a dedicated Economic Development Officer and this will enable increased focus to improve the results of these indicators.



### **A Satisfied Community**

In September 2011 Council conducted its bi-annual community satisfaction survey of residents, to understand the community's satisfaction with Council and its services. This survey is a statistically valid telephone survey involving a sample of residents across the Camden Local Government Area that ensures appropriate representation in terms of suburb, age group and gender. As explained earlier, this survey is conducted in such a way that we can be confident that if it were repeated again with different residents the results would be the same. This means that we can assume the results are applicable across the entire community.

**85% of residents surveyed indicated that they were satisfied with Council's overall performance, and 72% said they were very satisfied.** This resulted in a mean score of 7.14 out of 10, which is a very pleasing result, and is on par with the result achieved last time the survey was conducted in 2009.

Camden continues to perform well in terms of its community satisfaction ratings compared to other councils throughout Sydney and NSW, which is demonstrated in the graph to the right which shows Camden's rate of "high satisfaction" (the blue bar) compared to that achieved by "comparable" councils (the orange bar).

The next community satisfaction survey will be conducted in 2013 so we can continue to monitor the community's satisfaction with Council overall, and the many services we deliver to our residents.

### **A Satisfied Workforce**

In May 2012 Council conducted a survey of its employees called the "Workplace Wellbeing Index". The Index measures seven dimensions that predict workplace wellbeing and which are strongly related to organisational performance.

83% of Council's workforce chose to participate in this survey, which is planned to be conducted every two years.

Some highlight results are that:

- 72% of employees regard Camden Council as "a good place to work"
- 72% of staff feel that they are personally aligned to the organisation's stated mission and values
- 71% of staff believe they have adequate access to training and development opportunities

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- 75% of employees feel motivated to do their jobs well
- 77% of employees feel confident to discuss issues that impact on their work with their manager

Some areas for attention include:

- Council's recruitment and promotion, and performance appraisal practices and procedures
- Communication between management and staff
- Adequate staff and resources to enable staff to perform to the best of their capabilities

Council operates with a lean staff establishment which is below the state average. Recently released data from the Federal Department of Regional Australia, Local Government, Arts and Sport indicates that if Camden's staff was at the "average" level of NSW councils it would currently employ an additional 141 staff, and even more to meet the "average" Australian council.

Council's staffing numbers will grow as the population does, however Council will continue to operate with a lean staff establishment and will never have staffing levels to equal some of the larger neighbouring councils, even when this area matches and surpasses their populations. Current workforce projections put Camden Council's staff at 850 when the population reaches 256,000. At a population that size we would have over 2,000 staff if we were to meet the Australian average of today.

It is pleasing to note, in this context of growth and lean staff establishment, that whilst only 50% of staff "rarely feel overwhelmed" in their jobs, 75% of our staff feel motivated to do their jobs well and 72% feel that it is a good place to work.

### Key Achievements – A Snapshot

The second section of this Report contains detailed information about the many achievements that Council has made towards implementing the community's vision in the 18 months that *Camden 2040* has been in place. Following is a selection of some of these key achievements:

<p><b>actively managing Camden's growth</b></p>	<ul style="list-style-type: none"> <li>• The Camden Town Centre Strategy has been adopted, with preliminary improvement works (Aigyle Street median landscaping) completed</li> <li>• The major new release precinct of Leppington North has recently been on exhibition and will be rezoned imminently - this precinct will ultimately accommodate 30,000 new residents in varied housing types and will include a major commercial centre and mainline railway station.</li> <li>• Council has negotiated Voluntary Planning Agreements with developers of the Oran Park and Turner Road (Gregory Hills) Precincts in excess of \$200 million for the provision of a range of infrastructure including community and recreation facilities, playing fields, roads and traffic management features and dedication of riparian corridor land.</li> <li>• Council has successfully negotiated the conservation of a range of the heritage-listed homesteads that form part of the rich history.</li> </ul>
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	<p>of the Camden area, to be undertaken as part of the development contribution of new precincts. These include Wivenhoe, Oriellton, Oran Park House and Harrington Park Homestead.</p> <ul style="list-style-type: none"> <li>Large tracts of critically endangered vegetation are being conserved and restored as a result of negotiation with developers at the rezoning stage of a number of new precincts, including the Harrington Grove and Mater Dei developments where more than half of the site areas are dedicated to this important work.</li> <li>Preparation of an Infrastructure Delivery Strategy for the whole of the Camden LGA has commenced. This strategy will ensure that infrastructure needs are identified and that Council plays an active role in providing and advocating for infrastructure as the population grows.</li> <li>Council continues to effectively manage its growing responsibilities for assessing development applications. An average of 1,500 applications are assessed and determined each year, with a total value approaching \$500 million annually. Processing times are well below the Sydney metropolitan average at 29 days.</li> </ul>
<p><b>healthy urban and natural environments</b></p>	<ul style="list-style-type: none"> <li>A total exceeding 1250 volunteer hours, managed by Council, were devoted to Bush Care over the term. Bush Care hours have almost tripled in the last 2 years alone.</li> <li>Significant bush corridors are being identified and regenerated by developers as part of the requirements of development.</li> <li>The design for a major new Gross Pollutant Trap in Lake Annan is in progress, with installation due to be completed in 2012/13.</li> <li>Water quality monitoring has commenced in the Narellan Creek Catchment, with data expected to be ready for reporting in Council's annual report in November 2012.</li> <li>Council is in partnership with the Macarthur Centre of Sustainable Living (MCSL) to help inform and educate the community - over 6,000 visitors have been to the MCSL since December 2010, participating in workshops and programs.</li> <li>Council conducts an annual tree giveaway, with 600 native groundcovers, shrubs and trees given away in 2011.</li> <li>National Tree Day events continue to be well-attended. In 2011, 150 volunteers assisted in planting 2,500 native groundcovers, shrubs and trees at Kings Bush Reserve. In 2012 over 120 volunteers assisted in planting over 2,000 (River-flat Eucalypt Forest) plants at River Road Reserve Elderslie.</li> <li>Camden residents achieved the second highest rate of diversion of waste from landfill (by recycling or reuse) in Sydney, diverting 66.3%.</li> <li>Council collects almost 3 million garbage bins each year in a weekly collection of domestic waste, recycling and greenwaste. Camden residents enjoy a higher level of service than many council areas, and despite this and our modern fleet, Camden's garbage rates are cheaper than many of our neighbour Council's fees</li> <li>Council implemented a number of initiatives under the Waste and Sustainability Improvement Payment, including preparation of a Strategic Waste Management Plan, an outreach and partnership program with Macarthur Centre for Sustainable Living, completion of an Energy and Water Audit of Council Premises and energy-saving installations at Narellan Library, Camden Pool and the Mt Annan Leisure Centre</li> <li>A significant landscape beautification program has been completed in Argyle Street Camden with the centre median improved along the length of Argyle Street – to substantial community acclaim.</li> <li>The Bicentennial Equestrian Park hosted over 52,000 spectators and almost 15,000 competitors during 2010 and 2011. The BEP continues to enjoy a high level of volunteer participation – the value of voluntary labour donated in 2011 was the equivalent of more than \$160,000.</li> <li>The Camden Pool upgrade was completed in 2011 with \$5 million in Federal Government grant funds. The redevelopment has modernized and diversified the facilities at the centre to the extent that in the six month season for 2011/12 there were over 45,000 attendances for a range of activities.</li> </ul>

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	<ul style="list-style-type: none"> <li>Mt Anihan Leisure Centre continued to exceed expectations in regard to the level of usage and memberships. In 2011/12 there were 348,938 total attendances.</li> </ul>
<p style="text-align: center;"><b>prosperous local economy</b></p>	<ul style="list-style-type: none"> <li>Council continues to be committed to the development of vibrant town centres as focal points for both new and existing areas. Council continues to work on matters such as the Camden Town Square project and conserving the heritage character of Camden Town. A Public Domain Strategy for the new Leppington major Centre is currently being developed.</li> <li>A Public Domain Strategy for Oran Park Town was adopted by Council in 2011. Council recently decided to commit to the new Oran Park Town Centre by way of constructing a new administration building there which will greatly assist in the development of vibrancy within that new centre.</li> <li>Council continued an active role in promoting and developing the tourist and visitor market in the Camden and Macarthur region, with publication of an annual 'Visitors' Guide, adopted of a new 'Tourism Action Plan and launch of a new "Visit Macarthur" campaign.</li> <li>Council's Library Service conducted 1,064 events since December 2010, with a total of 34,894 attendees.</li> <li>The Visiting Authors program hosted such a number of high-profile authors including Peter Fitzsimons, Andy Griffiths and Tess Gerritsen. Hundreds of residents attend each of these author talks.</li> <li>HSC lectures are delivered annually to over 350 local students.</li> </ul>
<p style="text-align: center;"><b>effective and sustainable transport</b></p>	<ul style="list-style-type: none"> <li>Council runs a very active Road Safety Program. 12 Log Book Run events have been conducted since December 2010, which has involved 367 learner drivers. 7 child restraint checking and fitting days have been conducted, with 572 child restraints checked and/or fitted. The school safety program was launched in 2011 to address road safety around the 15 primary schools in the area. This program has been rolled out to 11 schools to date, with a total student number of 5,281.</li> <li>Council has secured \$1,436,000 in black spot funding over the financial years 10/11, 11/12 and 12/13.</li> <li>Council has undertaken significant lobbying and advocacy work over the past few years in relation to upgrading transport infrastructure. This has resulted in funding for the Camden Bypass intersection to connect Spring Farm and Elderslie residents. Council's contribution will exceed \$4.2 million. Further outcomes have been fast-tracking of upgrade works on Camden Valley Way, Narellan Road, and the South West Rail Link. The investment in these projects, along with the M5 widening, has the potential to benefit Camden residents by more than \$2.5 billion.</li> <li>Work carried out as part of Council's Asset Management Plan exceeded \$14.1 million in the last year alone. In addition, more than 20 km of roads have been added or upgraded by developers.</li> </ul>
<p style="text-align: center;"><b>enriched and connected community</b></p>	<ul style="list-style-type: none"> <li>Council's annual Youth Week program has consistently been recognised as a finalist in Local Government Awards as an innovative program due to its diversity of events. In 2012 more than 1300 young people participated in the 25 events.</li> <li>Camden Family Day Care has had 390 children and 43 educators as part of its scheme since December 2010, including 293 new children enrolled and 8 new educators.</li> <li>The Camden Kids website, launched in August 2010, attracts an average of 68 visits per day, or 2,357 each month.</li> <li>Council's annual Family Fun Day is extremely well-attended, with 2500 attending in 2011 and 1500 - 2000 in 2012.</li> <li>There were in excess of 400 participants in Seniors Week activities in 2012, and Council commenced a new project in 2012 called</li> </ul>

	<ul style="list-style-type: none"> <li>• "Seniors in Caravan Parks". The first Neighbour Day event was conducted in March 2012.</li> <li>• The International Women's Day Trivia event grew so big in 2012 that it had to be relocated to the Civic Centre to cater for the almost 400 women.</li> <li>• The Narellan Rhythms Festival is run annually and in 2011 was attended by more than 1000 people.</li> <li>• The Camden Civic Centre celebrated its 30th birthday in 2012. This important community facility has hosted well in excess of 50,000 events and 1,500,000 people over the course of its life.</li> <li>• The Camden Town Farm continues to be well-utilised, with currently about 55 gardeners using the community garden plots, and a range of events utilise this facility including the fortnightly produce markets.</li> <li>• Council runs an annual Community Financial Assistance Program to the value of \$40,000, increasing to \$80,000 in 2012.</li> <li>• Charitable donations of \$50,000 over four years and \$80,000 in annual subsidies to local groups have been provided.</li> </ul>
<p style="text-align: center;"><b>strong local leaders</b></p>	<ul style="list-style-type: none"> <li>• Council undertook its largest community engagement exercise in the lead-up to the adoption of Camden 2040, with almost 1,400 residents involved.</li> <li>• Website visitation has increased 29% between December 2010 and July 2012, with a total of 629,653 hits in that period.</li> <li>• Council once again received an unqualified audit report for the 2010/11 financial year, indicating that Council's finances continue to be managed prudently. The 2011/12 audit report was not available at the time of reporting.</li> <li>• To address the need for expanded leadership capacity within our growing organisation, the Camden Leadership Development Program was instituted in 2011, with more than 100 staff participating to date.</li> <li>• Council invests approximately \$500,000 annually in training and development of its staff and councillors, and 71% of staff feel they have adequate access to training and development opportunities</li> <li>• A very successful Workplace English, Language and Literacy Program was conducted and received national recognition.</li> <li>• Council commenced implementation of nationally accredited training programs in 2012, including the Diploma of Management and the Certificate IV in Frontline Management.</li> <li>• There has been decrease in lost time from workplace accidents.</li> <li>• Council continues to have a low staff turnover rate in comparison to other councils.</li> <li>• This revealed that 72% of employees regard Camden Council as a "good place to work".</li> <li>• Over the past 18 months, more than \$1.8m has been invested in reducing the backlog of deteriorating assets alone.</li> <li>• A four year \$600,000 investment in the upgrade of Council's IT systems continues to deliver improvements in efficiency and accuracy.</li> <li>• Council adopted Oran Park as the site for the future central administration building to house the growing Council staff and service delivery needs. The decision to relocate to Oran Park (as opposed to staying at and redeveloping the current site in Narellan) will conservatively save the community \$5m.</li> </ul>

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### ***Council's Performance – A Summary***

In the relatively short time since *Camden 2040* has been in place (a little over 18 months), Camden Council has made significant progress towards achieving the community's vision for the future. Not only do the vast majority of residents still feel that Camden has the "best of both worlds", there has been a significant increase in community pride, and in satisfaction with access to basic services and recreation facilities. This is noteworthy given the importance this community gives to both retaining the valued aspects and characteristics of the Camden area, and their desire to have access to high quality services and facilities.

Our recent telephone survey of residents, aimed at measuring our sustainability indicators, yielded a range of positive results as to how we are tracking in the key directions contained within *Camden 2040*. It is pleasing to note that none of the indicators that are measured by telephone survey worsened. In fact, in a range of areas there was a significant improvement based on the last survey conducted in 2010. This included such areas as satisfaction with access to services and facilities, community pride, and use of Council's website and Let's Connect as the main source of information on local issues and services.

In this period Council achieved another strong community satisfaction rating, with 85% of residents satisfied with Council's overall performance. This result puts us above other comparable metropolitan councils who ask their residents the same question. We also conducted a staff survey for the first time in many years, and this also provided some very positive results, with 72% of staff regarding Camden Council as a "a good place to work", and 75% of employees feel motivated to do their jobs well. These surveys enable Council to understand a range of areas where future attention can be directed in order to further improve these results.

The significant list of achievements speaks for itself as a testament to the dedication of our staff, who remain committed to achieving positive outcomes for this community despite heavy workloads and low relative staff numbers. This is particularly impressive given that we are reporting our achievements over the last 18 months only!

The results that Council has achieved since the adoption of *Camden 2040* are most pleasing given the substantial growth and associated pressures that this places on our service delivery, our finances, our staff and our assets. Camden Council remains committed to managing the growth of the Camden area, and to bettering these results, in such a way as to achieve a quality of life that continues to make this community proud to call Camden home.

The next Council term will continue to be full of opportunities and challenges in achieving the community's vision for the area. We will need to ensure an ongoing focus on urban and rural planning, commencing a more active role in economic development and community engagement, and continued efforts in lobbying for the timely provision of infrastructure, particularly as it relates to transport. The relationships and partnerships Council has with government agencies, community groups, businesses and residents are a critical part of delivering the community's vision for Camden, and these will continue to be nurtured into the coming term and beyond.

**Part B**

**Detailed Achievements**

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## KEY DIRECTION 1 – Actively Managing Camden’s Growth

### Our Objectives:

- Camden has the best of both worlds
- People can access what they need
- There are housing choices

### Our Achievements:

#### Heritage

- Camden’s unique Heritage Homesteads continue to undergo extensive restoration work or are flagged for restoration as a result of development in the LGA. Wivenhoe, Orielton, Harrington Park Homestead and Gledswood refurbishments have all been part of developer obligations within Voluntary Planning Agreements (VPAs) negotiated by Council. These homesteads and others continue to be conserved.
- The Camden Town Centre Strategy has been adopted, with preliminary improvement works (Argyle Street median landscaping) completed and the next stage awaiting approval. The streetscape palette’s referral to Council is imminent.
- Council has negotiated for items of Camden’s diverse heritage to be restored and promoted through development consents. Examples include restoration of Camden Hospital, Harrington Park homestead and various workers cottages. These important historic

items are celebrated by Camden’s current community.

#### Planning and Development of New Growth Areas

- More than 2,500 new families have chosen to make their homes in the Camden LGA over the past four years, many in brand new communities planned and built since 2008.

#### Austral and Leppington North Precinct

- The major new release precinct of Leppington North has recently been on public exhibition. This precinct will accommodate 30,000 new residents and will have a commercial/town centre of a similar size to Liverpool CBD.
- As part of the precinct planning, Council has worked in partnership with key agencies to identify sites for key services and facilities including a TAFE, courthouse, police, an Integrated Health Facility and a train station.
- The South West Rail Link commenced construction with completion scheduled for 2016. This will provide, for the first time in 50 years, direct rail access to Camden residents.
- High quality passive open space will be a focal point of the new major centre.

#### East Leppington Precinct

- This precinct planning process has been completed and the precinct is currently on public exhibition.
- The precinct is expected to house almost 13,000 residents, with rezoning anticipated for early 2013.

#### Leppington Precinct

- The planning process for the Leppington Precinct has commenced, with rezoning anticipated for 2014.
- This precinct will accommodate more than 22,000 residents

#### Catherine Fields South Precinct

- The planning process for this precinct is nearing completion with public exhibition to commence soon.
- This precinct will accommodate up to 9,000 residents, with rezoning expected in late 2012.

#### Oran Park Precinct

- The Oran Park Precinct was rezoned in 2007. Development commenced in 2008, and 500 lots having been released to date.
- Oran Park will house almost 21,500 residents.
- The precinct has the capacity for over 4,000 jobs with 18 hectares of employment land and a town centre with 50,000m<sup>2</sup> of retail space as well as a range of commercial, civic, recreation and education facilities and services.
- The Oran Park Voluntary Planning Agreement has a total value of over \$142 million. The VPA will provide approximately 49ha of land for public purposes; community and recreation facilities including a library, leisure centre, community centre, youth recreation centre, local parks and playing fields; construction of new roads and transport management facilities; provision of Water

<p>Cycle Management' infrastructure and the embellishment and dedication of approximately 36ha of riparian corridor land.</p>	<ul style="list-style-type: none"> <li>• Upgrade of the intersection at Camden Valley Way and Dran Park Drive was completed by the developer.</li> </ul>	<p><i>Environmental Improvement</i></p> <ul style="list-style-type: none"> <li>• Through both the planning and development phases of the rollout of precincts, Council adopts an approach that recognises the importance of the natural and cultural features of each precinct, as evidenced by the conservation work that will be carried out on bushland, riparian land, and heritage homesteads.</li> </ul>
<p><i>Turner Road Precinct</i></p>	<p><i>Mater Dei</i></p>	
<ul style="list-style-type: none"> <li>• This precinct was rezoned in 2007 and to date 500 lots have been released.</li> <li>• This precinct will house almost 13,000 residents and has the capacity for 5,000 jobs with 96 hectares of employment land and a 15,000m<sup>2</sup> town centre.</li> </ul>	<ul style="list-style-type: none"> <li>• Development is just commencing in the first precinct in this development, with three residential precincts and a seniors living village to house over 700 residents in total.</li> <li>• More than half of the site area is designated to conservation of critically endangered vegetation and conservation will be undertaken on a state significant homestead.</li> <li>• District cycleway and pedestrian paths will be constructed and will link this community with the Oran Park Town Centre.</li> </ul>	<ul style="list-style-type: none"> <li>• Camden Council continues to balance environmental outcomes with the needs for development. These include achieving higher levels of community infrastructure in Oran Park for the benefit of the community.</li> <li>• Developments also include water sensitive urban design outcomes so stormwater entering the creeks and rivers is the best quality possible.</li> </ul>
<ul style="list-style-type: none"> <li>• The Turner Road (Gregory Hills) Voluntary Planning Agreement has a total value of \$64 million. This VPA will provide a double sports playing field; a multi-purpose community centre; local parks and playgrounds; a two land road bridge over South Creek; riparian and electricity corridors embellished with pathways; water detention and treatment basins and swales.</li> </ul>	<p><i>El Caballo Blanco Gledswood Precinct</i></p> <ul style="list-style-type: none"> <li>• Rezoning is expected in the coming weeks and will house a population of 2,600.</li> <li>• The precinct will include a golf course and conservation of vegetation and rural views, and a state-listed homestead.</li> </ul>	
<p><i>Harrington Grove</i></p>	<p><i>Spring Farm and Elderslie</i></p>	<p><i>Infrastructure Improvement</i></p>
<ul style="list-style-type: none"> <li>• Development continues in Harrington Grove, with final population to reach over 4,400.</li> <li>• More than half of the site area (262 hectares) is dedicated to conservation of critically endangered vegetation.</li> <li>• Conservation of two state-listed heritage homesteads continues.</li> <li>• A range of facilities will be provided progressively as the population increases, including district playing fields and extensive connected cycleway/pedestrian paths.</li> </ul>	<ul style="list-style-type: none"> <li>• Development continues in these precincts, with over 600 lots now being developed or ready to be developed in each precinct.</li> <li>• Together these two areas will house more than 15,000 residents and a range of district level recreation facilities will be provided.</li> </ul>	<ul style="list-style-type: none"> <li>• Broadband infrastructure is provided in new precincts such as Oran Park and Turner Road.</li> <li>• NBN Co has recently adopted new standards requiring pit and pipe infrastructure to be placed in ground for provision of NBN services in new developments and Council continues to work in partnership with NBN Co and Developers to achieve this goal.</li> <li>• All precincts currently being planned for have infrastructure delivery as a core focus. Leppington North and Catherine Fields South both have infrastructure Delivery Plans prepared, outlining the timing and rolling out</li> </ul>

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of required infrastructure for each precinct, meaning that there will be appropriate infrastructure delivered as development occurs.

- Council has created a new position of Infrastructure Coordinator to prepare an Infrastructure Delivery Strategy for the whole of the Camden LGA to ensure that Infrastructure needs are identified and that Council plays an active role in providing and advocating for infrastructure as the population grows.
- An innovative approach to a plan of management for Wayne Gardner Reserve at Oran Park has been developed to recognise its shared use between a local school and the wider community. It is proposed that the maintenance and operation cost of this facility will be shared between the school and Council.

- At a local level we continue to emphasise the importance of looking at the regional population needs rather than focussing on local populations only. An additional synthetic hockey field was constructed by the Macarthur Hockey Club to complement the 2 existing fields enable State and National level competitions. Funds secured to construct new Clubroom facilities and floodlights at Ron Dine at South Camden which will enable hosting of State level competition.

#### *Housing Diversity*

- Council is committed to ensuring that current and future residents will have the opportunity of accessing housing for all stages of life, and new precinct planning is achieving a variety of lot sizes to cater for a range of dwelling types.
- The most recent Census data from 2011 is showing a move towards a greater provision of housing diversity in the area, and this will continue as new precincts are developed.
- Land has recently been rezoned at Kirrkham Rise to enable Seniors Living development, while Council has actively encouraged and supported the development of new Seniors Living facilities at Carrington, Oran Park and the old Camden High School site.

#### **Managing the Development Process**

##### *Development Assessment*

- Council continues to effectively manage its growing responsibilities for assessing development applications. An average of 1,500 applications are assessed and determined each year, with a total value approaching \$500 million annually. Processing times are well below the Sydney metropolitan average at 29 days.
- Camden Council has been successful in obtaining significant funding from the Department of Planning to assist in development assessment. Council has also been successful in being one of ten Councils

participating in an Electronic Housing Code Project funded by the Department of Planning. This funding will allow the public to lodge and have considered complying development approvals via the internet.

- Council's statutory planning instruments have been maintained and enhanced to maximize certainty and protection in the planning and development processes. The Camden Development Control Plan 2011 was adopted by Council on 8 February 2011 and came into force on 15 February 2011.

##### *Working with Partners*

- Council has worked in partnership with the Department of Planning and Infrastructure to host the Camden Development Coordination Forum. This Forum has been particularly successful in resolving bottlenecks with state agencies and has resulted in the government considering legislative changes to assist Council in processing DA's more quickly.
- Council continues to work closely with a range of stakeholders through regular co-ordination groups with developers and community groups to ensure quality outcomes are achieved in a timely fashion.

## KEY DIRECTION 2 – Healthy Urban & Natural Environments

### Our Objectives:

- *There is clean air and water, and bushland is protected*
- *Nothing is wasted*
- *There is community pride and amenity in our places*
- *There are open spaces and places to play*
- *People are healthy*

### Our Achievements:

#### Bush Regeneration

- Council has established several bush care volunteer groups throughout Camden's existing natural areas and is managing other natural areas in new release areas through development control.
- A total exceeding 1250 volunteer hours, managed by Council, were devoted to Bush care over the term.
- Significant bush corridors in Spring Farm are being identified and regenerated by developers as part of the requirements of development.

#### Stormwater and Water Quality

- The design for a major new Gross Pollutant Trap in Lake Annan is in progress, with installation due to be completed in 2012/13.
- Trash screens were installed in selected drainage pits within The Cascades to assist

with management and control of debris into this area.

- Regular maintenance works are ongoing to improve Council's drainage systems, including the quarterly removal of rubbish and silt from all gross pollutant traps and the weekly litter pick-up along water courses and water bodies.
- In addition, a new cleaning vehicle designed to clean stormwater pipes and pits has been ordered, to the value of \$488,000. This will provide Council with the ability to reduce pollutants going into our waterways without having to rely on contractors
- Water quality monitoring has commenced in the Narellian Creek Catchment, with summer readings forming a baseline for future reference.
- A range of community education activities were undertaken in an effort to reduce pollution of waterways, including posters installed at bus shelters and the Living Macarthur Nature Photography Competition and Exhibition and delivery of modules from the EnviroMentors program to schools within the LGA.

#### Environmental Education

- Council is in partnership with the Macarthur Centre of Sustainable Living (MCSL) to help inform, educate and promote ways to reduce the environmental footprint of residents and commercial organisations.

- Over 6,000 visitors have been to the MCSL since December 2010, participating in workshops and programs.
- Council continues to raise community awareness regarding sustainable living through: the display of posters in bus shelters across the Camden LGA; media releases and Council column in local newspapers; messages and items in the quarterly community newsletter *Let's Connect*; printed messages on quarterly rates notices; and regular guest speaking opportunities during Library story times sessions.
- Council is also actively represented on the organising committee facilitating the annual biodiversity education project Living Macarthur Sustainable Schools Expo and a participating member of the Macarthur Sustainable Schools Networks Meeting
- Council uses events such as the National Tree Day and Living Macarthur Nature Photography competition to promote the natural assets of Camden.
- Council partnered with Keep Australia Beautiful to involve 883 students from 7 local schools in environmental programs teaching children of the effects of littering, the benefits of recycling and the value of keeping rubbish and chemicals away from drains and waterways.
- Council conducts an annual tree giveaway - 600 native groundcovers, shrubs and trees were given away in 2011.

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- Council also conducts National Tree Day events. In 2011, 150 volunteers assisted in planting 2,500 native groundcovers, shrubs and trees at Kings Bush Reserve. In 2012 over 120 volunteers assisted in planting over 2,000 (River-flat Eucalypt Forest) plants at River Road Reserve Elderslie.
  - The White Ibis Management Plan for Camden is in place and Council is working together with National Parks and DECCW.
- Community Waste Generation**
- Recently announced figures from the NSW Office of Environment & Heritage indicate that the residents of Camden achieved an overall diversion rate (that is, the proportion of domestic waste diverted away from land fill by recycling or reuse) of 66.3%, which is the second best diversion rate when compared to the rest of Sydney metropolitan councils.
  - 40% of households compost their food or garden waste.
- Council Waste Service**
- Council collects almost 3 million garbage bins each year in a weekly collection of domestic waste, recycling and greenwaste.
  - Camden's collection, by a day labour workforce, is one of the most comprehensive in the Sydney region and the plant and equipment utilised is some of the most fuel-efficient (the trucks run on bio diesel) and quiet vehicles available.
- Despite its high level of service and modern fleet, Camden's garbage rates are cheaper than many of our neighbour Council's fees.
- Improving Energy Efficiency in Council Facilities**
- Council has introduced energy and water usage and waste reduction programs, funded by grants via the Office of Environment and Heritage. An audit of top energy using sites has been undertaken to track the effectiveness of this program.
  - The following initiatives have been implemented under the Waste and Sustainability Improvement Payment:
    - Preparation of a Strategic Waste Management Plan
    - Sustainable Camden Communities Program – outreach and partnership program with Macarthur Centre for Sustainable Living
    - Preparation of a Renewable Energy Generation Options Study for Council properties
    - Completion of an Energy and Water Audit of Council Premises
    - Narellan Library Energy Saving Installations
    - Installation of solar heating for Camden Pool
    - Installation of Pool Blankets at Camden Pool
    - Energy Management Plan; and
    - Climate Change Risk Assessment
- Installation of solar heating and gas hot water system at Mt Annan Leisure Centre
  - Council has designed and installed new water harvesting systems in a variety of playing fields across the Camden LGA. Water harvesting catches rain water in underground reservoirs and uses it to irrigate those same playing fields.
- Amenity of Places**
- Council continues to actively manage domestic animals to reduce the incidence of animals roaming in neighbourhoods, and to rehoming abandoned and homeless animals as much as possible.
  - The first Paws in the Park event was held in October 2011 with the aim of providing education to pet owners. It was a great success, attracting thousands of pet owners.
  - The Garden Competition continues to be run annually to promote the beautification of local streets and environments.
  - A significant landscape beautification program has been completed in Argyle Street Camden with the centre median improved along the length of Argyle Street – to substantial community acclaim.
  - Council either organises or supports many location-based events throughout the year to encourage community interaction and a sense of place and belonging. These events include the Camden Spring Festival, the Narellan

Rhythms Festival, Light Up Camden, Australia Day and others.

- Graffiti is removed from Council property within 48 hours of being reported.
- Incidences of graffiti have decreased over the last 2 years. Since 2010 Council has had requests for 140 kits from residents (2 year period) compared with 120 kits requested in 2009 (1 year period.)
- Council continues to collect and dispose of roadside litter, which costs approximately \$60,000 per year in disposal fees.

#### **Recreation Facilities**

- The Bicentennial Equestrian Park hosted over 52,000 spectators and almost 15,000 competitors during 2010 and 2011. The BEP continues to enjoy a high level of volunteer participation – the value of voluntary labour donated in 2011 was the equivalent of more than \$160,000.
- The BEP is enjoyed by recreational walkers, with some fenced off-leash areas for dogs to be available over the next 12 months.
- The Camden Pool upgrade was completed in 2011 with \$5 million in Federal Government grant funds. The redevelopment has modernized and diversified the facilities at the centre to the extent that in the six month season for 2011/12 there were over 45,000 attendances for a range of activities.
- Mt Annan Leisure Centre continued to exceed expectations in regard to the level of usage

and membership targets. In the financial year 2011/12 there were 348,938 total attendances for Learn to Swim, squad, recreation swim, health club and school physical education.

#### **Sporting Facilities**

- Lighting of Netball courts at Kirkham Park has been increased and upgraded to playing standards, which allows for increased use by the growing netball community.
- Thanks to our partnerships with sporting groups our community can now enjoy additional lighting at Fairfax reserve for AFL, and an additional synthetic hockey field at Narellan, as well as many other sporting ground upgrades and improvements.

#### **Parks and Playgrounds**

- Council conducts regular inspections of playgrounds and conducts necessary maintenance and replacement of equipment and other assets for the safe enjoyment of all users.
- Council has adopted an annual program of updating and revitalising childrens' playgrounds across the LGA. Depending upon the scale of the playgrounds involved, between one and three sets of playground equipment are replaced each year.
- Unfortunately, the damage done by flooding to Little Sandy Bridge, a pedestrian link between Elderslie and Camden, will mean this bridge will need to be replaced. It will take

some time to design and put in place sufficient funding to supply a replacement which provides access for pedestrians and cyclists. The cost of replacement will far exceed the insurance coverage for this bridge which was known to be flood affected.

- A final Recreational Trail Network report has been prepared for Council which can now be used to plan and facilitate linkages between business centers and communities. The plan enables Council to implement a hierarchy of recreational pedestrian and cycle routes throughout the Camden LGA.

#### **Regulatory Activities**

- The Council conducts an extensive program of twice yearly inspections of food premises, restaurants and other businesses involved in activities involving public health, such as skin penetration. The Camden area enjoys a very low rate of food borne disease and a very high level of compliance with public health standards.
- In those unsewered areas of the Camden LGA, an inspection regime for domestic onsite sewage management systems (septic tanks, waste water recycling systems) is conducted. Council officers provide substantial guidance and assistance to householders in designing, installing and maintaining these systems to the highest public health standards.

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## KEY DIRECTION 3 – A Prosperous Economy

### Our Objectives

- *The local economy is growing*
- *There are a variety of local jobs available*
- *There is a commitment to learning and skills*
- *People can access what they need*

### Our Achievements

#### Town Centres

- Council organises annual public events in both the Camden (Camden Festival) and Narellan (Narellan Rhythms Festival) to foster the development of distinct characters for the two town centres.
- The development of vibrant town centres as focal points for both new and existing areas is vital. To assist in achieving this goal, Council continues to work on matters such as the Camden Town Square project and conserving the heritage character of Camden Town.
- The Public Domain Strategy for the new Leppington major Centre is currently being developed.
- A Public Domain Strategy for Oran Park Town was adopted by Council in 2011. Council recently decided to commit to the new Oran Park Town Centre by way of constructing a new administration building there which will greatly assist in the development of vibrancy within that new centre.

- In planning for new urban release areas, Council has set a target of moving towards employment self sufficiency within the Camden LGA by creating one new job for every dwelling site released. For example, employment lands have been created at Oran Park and Gregory Hills that will generate a total of 9,000 jobs ultimately. In addition, the major new centre at Leppington will provide thousands of new jobs.
- Camden Town Centre Strategy proposes significant works to revitalise and refresh the Camden Town Centre. The first project, the median landscaping renewal, met with substantial local acclaim.

#### Tourism

- Council publishes an annual Visitors' Guide providing up to date information on attractions, dining, accommodation etc. Marketing and promotion of the Macarthur Region continues at a range of Trade Shows targeting different demographics.
- The Cruise for Kids attracted a large number of visitors to Camden and Council's Communications Team were in attendance to promote the Camden LGA.
- The second Tourism Action Plan has recently been adopted and provides guidance on the marketing of the region to tourists. Media utilised include TV, Newspaper, Magazine and Online advertising, trade shows, marketing materials produced and distributed and event

- support provided for council events and sporting events that may bring tourists to the area.
- The continued support of the Macarthur Tourism Operator Network ensures businesses are kept fully informed of Council events and tourism opportunities.
- Council actively participates in the promotion of tourism through successful regional partnerships with Campbelltown City Council Tourism NSW and local agencies and attractions.
- Positive media coverage of the region has tripled through increased media releases and journalist familiarisation tours.
- The new "Visit Macarthur" campaign was recently launched.

#### Learning and Skills

- Council's Library Service conducted 1,064 events since December 2010, with a total of 34,894 attendees.
- A Summer Reading Program is held each year, Camden READS, with over 2,000 participating in the program, reading over 10,000 items.
- The library school holiday programs continue to be well-attended, as do the Visiting Authors Program, which hosted such authors as Peter Fitzsimons, Andy Griffiths and Tess Gerritsen. Hundreds of residents attend each of these author talks.
- The continuing evolution of the state of the art Narellan Library continues, making access to

- reference collections easier, and created new spaces for the parenting, health and art and cooking collections. Narellan Library introduced Book a Librarian service for young people on Mondays. The librarian uses an iPad to assist students in answering their questions.
- The ARTyCaf at Narellan Library worked in partnership with Narellan Library Service to offer a range of artist workshops that focused on exploring new opportunities for members of the community. These workshops extended on the excellent program the library already offers and focused on celebrating the broad spectrum talents of our community.
- Our libraries regularly deliver a number of successful programs to the community including HSC lectures to over 350 local students each year. The lectures are well received and provide students with access to high quality lectures locally.
- In addition to the lectures the library subscribes to a new database to assist secondary students called Study Skills Handbook. This is an online and interactive resource to develop and improve students study skills.
- The library also delivers lifelong learning programs to the community, including iPad taster sessions, introduction to Social Networking and Great Googling in addition to TAFE-run classes.

- The Library Service was promoted through the social networking community, including Facebook, our blogs and Flickr, and attendance at Camden Show, shopping centre and Bunnings.

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## KEY DIRECTION 4 – Effective &amp; Sustainable Transport

**Our Objectives**

- Roads are high quality, free-flowing and safe
- We leave the car at home
- People breathe the clean air

**Our Achievements****Safer Roads**

- Council continues to work with our community, educational establishments, local police via our road safety programs facilitating new and improve ways to educate public and driver behaviour via these programs.
- 12 Log Book Run events have been conducted since December 2010, which equates to 25 hours driving time towards participant log books. 367 learner drivers have participated in this program.
- 7 child restraint checking and fitting days have been conducted, with 572 child restraints checked and/or fitted.
- The school safety program was launched in 2011 to address road safety around the 15 primary schools in the area. This program has been rolled out to 11 schools to date, with a total student number of 5,281.
- The Drive 2 Stay Alive Program, in partnership with NSW Police, is conducted in 4 high schools in the area. All Year 11 students at these schools participate in this program.

- A community road safety awareness program continues through the publication of the monthly 'Eyes on the Road' column in the Camden Advertiser.
- Council and the Camden Local Area Command of the NSW Police have entered into a Memorandum of Understanding for crash investigating and reporting to enable better sharing of information.
- Council has secured \$1,436,000 in black spot funding over the current term, including:
  - Camden Valley Way/ Kirkham Lane - \$75,000
  - Sheathers Lane / Werombi Road - \$431,000
  - Currans Hill Drive - \$210,000
  - Welling Drive - \$210,000
  - Macquarie Grove Road - \$375,000
  - Springfield Road - \$35,000
  - Elizabeth Macarthur Avenue / Remembrance Driveaway - \$100,000

**Better Roads**

- Council is continuing to develop its traffic and transport network to ensure a safe and free flowing network for all users of road, bike paths and pedestrians alike. The networks are developed in conjunction with all levels of Government and implemented as development progresses throughout the LGA. Council has been instrumental in gaining funding from the NSW Department of Planning and Infrastructure to fund the design and

construction of a signalised intersection on the Camden Bypass which will allow motorists to more easily get to/from Elderslie and Spring Farm, which will be necessary as these areas continue to grow. Construction will be lead by Landcom. Council's contribution will exceed \$4.2 million.

- Council maintains excellent partnerships with the State and Federal governments to help formulate effective regional transport linkages within our region. This has been effective in fast tracking upgrade works on Camden Valley Way, Narellan Road, Link road / Camden Bypass and the South West Rail Link. Further talks are continuing with Roads and Maritime Services and Private Developers related to the upgrade of Bringelly and Northern Roads and other major sub-arterial links throughout the LGA.
- Council has been a steadfast advocate for improved road and rail access for the Camden and Macarthur area. Including the M5 widening project with those listed alongside, planned investments by other arms of government in transport improvements which have the potential to benefit Camden residents exceed \$2.5 billion.
- Work carried out as part of Council's Asset Management Plan such as the reconstruction of Holdsworth Dr, Waterworth Dr, Werombi Rd, Elyard St and the resurfacing of Mt Annan Dr, Stockman Rd. In addition to those roads listed, work was also done on roads in

<p>Catherine Field (Catherine Fields Road), Bickley Vale (Burragorang Road and improvements on Dowles Lane), Elderslie (Lodges Road and Hilder Street upgrade to an urban standard, Harrington Street, Cashmere Drive, Rose Drive), South Camden (Crookston Drive), Mt Annan (O'Dea Road and Welling Drive), Leppington (Dwyer Road), Smeaton Grange (Smeaton Grange Road) and the upgrade of Springs Road. The cost of these roadworks for the year exceeded \$ 14 million. In addition, more than 20 km of roads have been added or upgraded by developers.</p> <ul style="list-style-type: none"> <li>Work is underway on the link road (Liz Kernohan Drive) linking Camden Bypass to Richardson Road in the east and Camden Valley Way in the west. Agreement has been negotiated with the RMS and several of the development partners for the financing and construction of the major intersection on the bypass.</li> <li>Others works in the LGA involve the reconstruction of major arterial road including Camden Valley Way, Northern Road, Bringelly Road and Narellan Road, Council is actively participating at meetings with the RTA ensuring that as well as vehicle transport, cycle and bus facilities and links are included in these designs.</li> </ul>	<p>accommodating accessible parking in strategic locations and adding taxi parking whilst maintaining and managing timeo parking along the main street ensuring sufficient turn over of parking to support local business.</p> <ul style="list-style-type: none"> <li>Whilst Council currently exceeds the national average for disabled parking spaces in the Camden town centre, ongoing consideration for accessible parking needs within the town centre remains a high priority for Council. The introduction of an additional accessible car park proposed outside the St George bank is to be implemented shortly. Additional locations are being examined with future planning of all business and retail centres.</li> <li>Parking at Harrington Reserve, Harrington Park was increased to allow users and supporters of sporting teams to park off road, freeing up space for residents.</li> <li>Council officers undertake periodic enforcement activities to regulate parking restrictions.</li> </ul>	<p>centres that will serve day to day needs of residents. The provision of additional links for public transport is being investigated.</p> <ul style="list-style-type: none"> <li>A final Recreational Trail Network report has been prepared for Council which can now be used to plan and facilitate linkages between business centres and communities. The plan enables Council to implement a hierarchy of recreational pedestrian and cycle routes throughout the Camden LGA.</li> <li>Council has actively engaged with the NSW Government's Draft Long Term Transport Plan, promoting the need for improved transport planning and integration, while also looking at the manner of residential and economic/commercial planning to ensure that travel miles are better managed and relieve the load on strategic transport routes.</li> <li>Council commenced upgrading its bus shelters to comply with the Disability Discrimination Act requirements. The Audit identified 230 sites and a priority list has been developed. Budgets are directed to those sites in most need of attention. Council is on target to reach the Disability Discrimination Act compliant target of 55% of all bus stops by December 2012.</li> </ul>	<p><b>Cycleways</b></p> <ul style="list-style-type: none"> <li>Council has developed a number of sites throughout the LGA to improve cycleway and pedestrian crossing points to create</li> </ul>
<p>The Leppington Major Centre will be served by the new South West Rail Link and Leppington Train Station by 2016, with construction having commenced.</p> <ul style="list-style-type: none"> <li>The provision of early bus services in Oran Park, Turner Road and Spring Farm has also been important in reducing reliance on cars. Another approach undertaken is to provide for walkable communities, including new town</li> </ul>	<p><b>Public Transport</b></p> <ul style="list-style-type: none"> <li>The Leppington Major Centre will be served by the new South West Rail Link and Leppington Train Station by 2016, with construction having commenced.</li> <li>The provision of early bus services in Oran Park, Turner Road and Spring Farm has also been important in reducing reliance on cars. Another approach undertaken is to provide for walkable communities, including new town</li> </ul>	<p><b>Cycleways</b></p> <ul style="list-style-type: none"> <li>Council has developed a number of sites throughout the LGA to improve cycleway and pedestrian crossing points to create</li> </ul>	
<p><b>Parking</b></p> <ul style="list-style-type: none"> <li>Council has undertaken a number of changes to its parking facilities within the town centre</li> </ul>			

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confidence in our community to use these facilities.

- New cycle paths have been introduced on Macarthur Road, Springs Road and Hilder Street, as well as along Camden Valley Way and parts of Oran Park Drive. Upgrades of other roads have included provision for on road and off road cycle ways. In all, more than ten kilometres of new cycleways were commissioned during the term.

- The Recreational Trail Strategy was prepared which informed the development of an updated Bike Plan in 2011/12. Council's investment priority continues to be links between Camden and Narellan, in line with the current Camden Council Bicycle Plan and the Metropolitan Strategy - Southwest Subregion

- Funding was secured in February 2011 to install the penultimate section of the Camden to Narellan Shared Path adjacent to Rotary Cowpasture Reserve. Construction was completed in July 2011.

#### **Community Education**

- Council continues to work with our community to recognise alternate transport modes are available. This is done by promoting new strategic routes and transport options to the use of motor vehicles. Council now has established the Cycling Advisory Group which will assist in updating the Camden Bike Plan.

Expanding pedestrian and cycle networks, adding additional bus stops at strategic locations and promoting these via Council road safety programs helps encourage our community to utilise more sustainable forms of transport. We are further investigating ways via development to enable our growing community to live, work and play within the local area helping reduce the demands on vehicle requirements.

## KEY DIRECTION 5 – An Enriched & Connected Community

### Our Objectives

- People feel connected, supported and that they belong
- There is community pride
- People feel safe
- People are healthy

### Our Achievements

#### Young People

- Council conducts an annual Youth Week program. In 2012 this was held in conjunction with Camden's new Youth Council and 12 partners from business, service groups and other youth services.
- More than 1300 young people participated in the 25 events each year, with one of the highlights being "Represent Macarthur" - a chance for young people to express their ideas directly to local members of parliament and Councils.
- Council's Youth Week Program has consistently been recognised as a finalist in Local Government Awards as an innovative program due to its diversity of events.
- The Narellian Youth Space continues to engage young people in drop in activities and was recently updated with some new equipment and a new name - The Space - which is a digital learning hub for young people and the entire community.

- Council has commenced a new Youth Outreach program for Harrington Park, Mt Annan, Narellian and Camden.
- The Artycraf provided a range of programs for young people including the Friday night live program to celebrate culture and support youth in the development of skills and showcasing their talents.
- The graphics program delivered in partnership with TAFE delivered amazing outcomes for youth in terms of their increased skill base and employment opportunities. Art based activities have been very popular.
- A Youth Advisory Group has been established and will be resourced through training and budget allocation to facilitate the development and delivery of youth activities in Council venues across the LGA.
- An annual skate event continues to be run, SK&OPIA, and in 500 people attended this event in 2011.
- Council continues to develop relationships with youth service providers and to discuss potential partnership projects through participation in the Macarthur Youth Services Network.

#### Children

- For the first time Camden was part of the Sydney Writer's Festival and hosted children's author Andy Griffiths who captured the imaginations of the over 400 children who

- attended the event and kept them spellbound for an afternoon in May 2012.
- Camden Family Day Care has had 390 children and 43 educators as part of its scheme since December 2010. This has included 293 new children enrolled and 8 new educators.
- Camden Family Day Care achieved accreditation status in June 2011 from the National Childcare Accreditation Council with a high quality rating across all areas assessed.
- Camden Family Day Care participated in an advertising campaign via a Child Safety Activity Book distributed to each child who visits either Macarthur Hospital, and continues to have a presence in community events such as Kids fun Days, Baby Expo's as well as through advertising in the local papers and Camden Kids website.
- Camden Council launched the Camden Kids Website in August 2010 and this continues to be a vibrant and up-to-date source of information on a range of children's activities and services. This website attracts an average of 68 visits per day, or 2,357 each month. 300 people who have joined the Camden Kids mailing list and receive regular notifications about points of interest for children and families in Camden.
- Council continues to hold an annual Family Fun Day, with 2500 attending Kids Fun Day in 2011 and 1500 - 2000 participants at the Play Day event at held at Kirkham Oval in May 2012.

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<ul style="list-style-type: none"> <li>Our library also worked in partnership with Macarthur Parents to deliver a workshop to parents of children and young people on building resilience in our children</li> </ul>	<ul style="list-style-type: none"> <li>More than 40 people participated in this inaugural event.</li> </ul>	<ul style="list-style-type: none"> <li>the number of attendees, stall holders and participants in the Street Parade.</li> </ul>
<p><b>Older People</b></p> <ul style="list-style-type: none"> <li>Council continued to facilitate the Seniors Issues Group to improve communication between Council and older people in the community</li> <li>Council conducts annual Seniors Week activities which include a concert and bus trip. There were in excess of 400 participants in Seniors Week activities in 2012.</li> <li>A new project was delivered in 2012 called "Seniors in Caravan Parks", which provides community gardening opportunities for older people who reside in caravan parks within the Local Government Area, not otherwise having access to space to enjoy the many health and social benefits of gardening.</li> </ul>	<p><i>International Women's Day Trivia Event:</i></p> <ul style="list-style-type: none"> <li>The International Women's Day Trivia event grew so big in 2012 that it had to be relocated to the Civic Centre to cater for the almost 400 women (up from just over 200 in 2011).</li> <li>The women attending represented a diverse range of groups from all over Camden and Macarthur.</li> </ul> <p><b>NAIDOC Week</b></p> <ul style="list-style-type: none"> <li>Council hosts NAIDOC celebrations each year which include a flag raising ceremony and morning tea in the Camden Library.</li> <li>50 people attended the event in 2012, which also included the Historical Society opening up the Museum with an Aboriginal focused display, Aboriginal artist Danielle Mate exhibited in the Ferguson Gallery at the Civic Centre, and a range of art workshops and exhibitions were also held.</li> </ul>	<p><b>Camden Show</b></p> <ul style="list-style-type: none"> <li>Council worked closely with the Camden Show Society in preparation for the 125th Show which was officially opened by the Governor General in March 2011.</li> <li>70% of residents in the telephone survey had attended Camden Show in the past 12 months.</li> </ul> <p><b>Camden Festival</b></p> <ul style="list-style-type: none"> <li>The Camden Festival celebrated its 10th anniversary in 2011, with attendance growing each year. Unfortunately the 2011 Taste Food, Wine &amp; Music Festival was washed out however the event was popular in 2010 with 4,000 people attending.</li> </ul>
<p><b>Community Events</b></p> <p><i>Neighbour Day:</i></p> <ul style="list-style-type: none"> <li>Camden Council conducted its first Neighbour Day in March 2012 - Camden residents told us about their great neighbours with stories demonstrating the strength of our community and the importance of strong local bonds.</li> <li>This was particularly promoted in new estates, with Oran Park and Gregory Hills conducting special activities to mark Neighbour Day.</li> </ul>	<p><i>Narellan Rhythms Festival:</i></p> <ul style="list-style-type: none"> <li>The Narellan Rhythms Festival is run annually and in 2011 was attended by more than 1000 people.</li> </ul> <p><b>Australia Day</b></p> <ul style="list-style-type: none"> <li>Australia Day celebrations continue to be extremely successful with a steady increase in</li> </ul>	<p><b>Camden Civic Centre and ArtyCaf</b></p> <ul style="list-style-type: none"> <li>The Camden Civic Centre celebrated its 30<sup>th</sup> birthday in April 2012.</li> <li>The Civic Centre has played host to weddings, christenings, funerals, parties, Council meetings, civic events, cultural exhibitions, programs, training and meeting space, and is home to many local community and service club groups.</li> <li>Leading to its 30th year, the Civic Centre has hosted well in excess of 50,000 events and 1,500,000 people, providing an amazingly</li> </ul>

versatile community facility to the people of Camden.

- The amazing ArtyCaf Live showcased a huge number of local artists including musicians, dancers, painters, graphic specialists, aerial specialists, photographers and videographers; celebrating the emerging talents of our community and providing an opportunity to celebrate culture within the community.
- The ArtyCaf exhibition program and workshops supported the continued development of culture in our community.
- The ArtyCaf continues to operate as a commercial café.

#### **Camden Town Farm**

- The Camden Town Farm continues to be well-utilised, with currently about 55 gardeners using the community garden plots, and many more participants from seniors and disability groups engaged in plot development, workshops and working bees. There is beginning to be increased visitation to the Farm from people in other parts of Sydney.
- A range of community events have also been held at this venue, including Harmony Day and the fortnightly Produce Markets.
- Council has employed a Community Project Officer to facilitate the Camden Community Garden Project and to build networks and resources to continue to grow this community asset.

#### **Support to Community Organisations and Groups**

##### *Community Financial Assistance*

- Council runs an annual Community Financial Assistance Program to the value of \$40,000, increasing to \$80,000 in 2012.
- Charitable donations of \$50,000 over four years and \$80,000 in annual subsidies to local groups have been provided.
- Small financial subsidies ranging from \$200 to \$500 each have been provided to 250 talented young Camden residents over four years to support them representing at either national or international events in a variety of sports or cultural pursuits.

##### *Camden Interagency*

- Council continues to coordinate the Camden Interagency, which meets bi-monthly as an important way for community organisations to share information and develop partnership opportunities. Over 80 groups are on the mailing list.

##### *Community Safety Activities*

- Arrangements have been entered into with the Attorney General's Department for removal of graffiti and continuing participation in Juvenile Offender conferencing.
- The life of some Alcohol Free Zones was reviewed and extended in conjunction with Camden Police.

- Council and Community Road Safety Officer (CRSO) continued the ongoing program to promote Community Safety, including working with the Community Safety Forum and the Community Safety Network, Camden Liquor Accord and in partnership with Camden Local Area Command. The groups work together with Council's CRSO to address community safety issues.

- There has been increased liaison with local service clubs, and these groups are seeking to become more active in participating in Community Safety related activities, including the Community Graffiti Action Day.

## KEY DIRECTION 6 – Strong Local Leadership

### Our Objectives

- *People have a say in the future*
- *It is well-governed*

### Our Achievements

#### Engagement

- Council undertook its largest community engagement exercise in the lead-up to the adoption of *Camden 2040*, with almost 1,400 residents involved.
- Council conducted community engagement on its draft Delivery Program and Resource Strategy in May 2011. A total of 16 submissions were received as well as a range of feedback from resident Focus Groups and Open House sessions.
- Council conducts an annual telephone survey of residents in order to ascertain statistically valid opinion on Council's performance, and on issues that form part of Council's Sustainability Indicators.
- Council's 2011 telephone survey focused on community satisfaction with Council, and it was pleasing to note that 85% of residents are satisfied with Council's overall performance, and 72% are very satisfied. This result has not changed since the survey was previously conducted in 2009, and was higher than the result achieved by comparable councils.

- Council publicly exhibited a range of Planning Proposals and Development Control Plans during the period.

#### Communication

- Council maintains good working relationships with the local media, particularly The Chronicle, Advertiser and The District Reporter.
- Continuation of our weekly advertisement in the Camden Advertiser provides up to date information for the community. In total 133 media releases have been provided to both local and metropolitan outlets promoting good news stories, initiatives and events.
- Council distributes a quarterly community newsletter, Let's Connect, to households across the Local Government Area.
- Council produces an annual events calendar.
- Website visitation has increased 29% between December 2010 and July 2012, with a total of 629,653 hits in that period.
- Council established a Facebook page in July 2011 which currently has 179 "likes".
- An upgrade of Council's website has commenced in 2012 in order to improve the information that is available to the local community.

#### Our Finances

- Council adopted a Long Term Financial Plan in June 2011, as part of the Integrated Planning and Reporting Requirements.

- Council once again received an unqualified audit report for the 2010/11 financial year, indicating that Council's finances continue to be managed prudently. The 2011/12 audit report was not available at the time of reporting.

- Council continues to perform well on a number of financial benchmark indicators, particularly its unrestricted current ratio and debt service ratio. However, Council continues to have a low Buildings and Infrastructure Renewals Ratio as the infrastructure renewals gap is larger than it should be. Council attempted to address this problem in applying for a special rate variation in 2009 to implement a Community Infrastructure Renewal Program to close this gap. Unfortunately the Minister for Local Government only approved this variation to rates for three years, which will not go near to closing the infrastructure renewal gap. Consideration of a future application to continue this rate variation beyond the three years forms part of Council's Long Term Financial Plan in order to address the gap and bring this indicator in line with the industry benchmark.

#### Our Workforce

##### Workforce Planning:

- Council's Workforce Plan as part of the Integrated Planning and Reporting

- requirements has now been adopted by Council and submitted to the Division of Local Government.
- The Workforce Plan highlighted the fact that Council operates on a very lean staff establishment, with staff numbers well below the state average.
  - The review of staffing levels will continue in order to meet the demands of rapid growth.
- Skilled Workforce**
- Council continues to be committed to the training and development of its staff.
  - To address the need for expanded leadership capacity within our growing organization, the Camden Leadership Development Program was instituted in 2011. Since then over 100 Council staff have participated in a practical program building leadership skills and capacity.
  - Council invests approximately \$500,000 annually in training and development of its staff and councillors. Training and development opportunities range from mandatory and legislative requirements, job specific skill development and leadership programs.
  - 71% of staff feel they have adequate access to training and development opportunities, as identified in the Workplace Wellbeing Index conducted in May 2012.
  - Over the term of this report Council has provided 41 apprenticeships and traineeships.
- These young people have won numerous awards for their performance, including the 2011 My Gateway Business Administration Trainee of the Year, Library Services Trainee of the Year, Trainee Excellence Award and a Department of Education and Training Commendation Award.
- A very successful Workplace English, Language and Literacy Program was conducted and received national recognition.
  - Council commenced implementation of nationally accredited training programs in 2012, including the Diploma of Management and the Certificate IV in Frontline Management.
- Safe Workforce**
- Council is continuing to roll out an improved Workplace Health & Safety System.
  - There has been decrease in lost time from workplace accidents.
  - Respect and Dignity in the Workplace training sessions are conducted with attendance compulsory for all staff.
  - Council conducted a survey of employees in May 2012, the Workplace Wellbeing Index, and this indicated that three-quarters of workers feel "psychologically" safe doing their work.
- Retaining Our Workforce**
- Council continues to have a low staff turnover rate in comparison to other councils.
- Council conducted a Workplace Wellbeing Index in May 2012. This revealed that 72% of employees regard Camden Council as a "good place to work".
- An on line recruitment system was implemented to ensure ease of access for applicants.
  - Alignment of individual performance to Camden 2040, – new performance appraisal system conducted in August 2012 – focus on employee performance against Council values
- Our Assets**
- Asset Management Planning**
- Council adopted an Asset Management Strategy and associated plans to ensure the strategic and sustainable long term management of Council's assets, particularly given the large amount of new assets that Council is taking on as part of the urban development of the Local Government Area.
  - The combination of new long term asset management strategies, recurrent funding for built and natural assets and programs such as the Community Infrastructure Renewal Program and Stormwater Management Program ensure that the community's assets are managed in a sustainable manner.
  - Over the past 18 months, more than \$1.8m has been invested in reducing the backlog of deteriorating assets alone. In addition, a further \$1.5m has been allocated towards key

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## Attachment 1

- projects to enhance the community's assets without compromising existing service levels. Provision of new local roads and drainage systems by Developers has been monitored by Council to ensure they are designed and constructed to council standards.

#### *Information Technology*

- A four year \$600,000 investment in the upgrade of Council's IT systems continues to deliver improvements in efficiency and accuracy.
- A new Electronic Business Paper system has been installed.
- Council is currently in the process of implementing new Electronic Document Management and Customer Request Management Systems to improve the way Council stores information and manages and tracks customer requests.
- Final disaster recovery strategies are being considered to bring Council to an industry accepted level of risk and recovery should Council experience a business interruption event.

#### *Our Services*

- The process of Business Continuity Planning is continuing to ensure that plans are in place to overcome unexpected interruptions to business.
- Council's Customer Service Officers continue to process customer requests to ensure timely

- responses are facilitated. Monitoring of response times continues on an ongoing basis. Service levels are currently being reviewed across all of Council's services. This is to enable the community to have greater input in determining the focus and priority for Council services in the future, and to identify areas where Council can improve its service delivery through increased efficiency.
- Council adopted Oran Park as the site for the future central administration building to house the growing Council staff and service delivery needs. The decision to relocate to Oran Park (as opposed to staying at and redeveloping the current site in Marellan) will conservatively save the community \$5m.



## ORDINARY COUNCIL

ORD15

ORD15

**SUBJECT: CAMDEN 2040 REVIEW COMMUNITY ENGAGEMENT STRATEGY**  
**FROM:** Director Governance  
**BINDER:** Camden 2040

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### PURPOSE OF REPORT

To seek Council adoption of a draft Community Engagement Strategy (**provided as an attachment to the end of this report**) for the review of our Community Strategic Plan, Camden 2040, prior to community consultation being undertaken during September and October 2012.

### BACKGROUND

As required by the Integrated Planning and Reporting legislation, Council in December 2010, as a result of significant community engagement, adopted a Community Strategic Plan for Camden, Camden 2040.

The legislation requires that at the end of the term of an elected Council, a report be provided outlining progress towards the achievement of the vision outlined in the Community Strategic Plan. This matter was the subject of Item ORD 14 on tonight's Business Paper.

Further, the legislation requires that a review of the Community Strategic Plan be undertaken to inform the newly elected Council, and adopted by the Council no later than June of the year following an election.

It should be noted that adoption of this draft Community Engagement Strategy is procedural in nature, largely reflects the approach we have successfully taken in the past, and does not lock the future Council into any particular policy direction. What it does do, is enable community engagement to occur, which will provide the new Council with early direction and feedback to facilitate the preparation of the revised Camden 2040 within the legislative required timeframe

This report outlines the proposed Community Engagement Strategy to secure community involvement and participation in the review of Camden 2040, as required.

### MAIN REPORT

#### **Legislative Context and Requirements**

The State Government's Integrated Planning and Reporting Framework, part of the *Local Government Act 1993*, requires all Councils to prepare a long term Community Strategic Plan that identifies the community's main priorities and aspirations for the future.

The legislation amended Council's charter to include specific reference to long-term strategic planning on behalf of the local community, and amend the role of a Councillor to include a civic leadership role in the preparation of the Council's Community Strategic Plan.

As part of the development and subsequent review of a Community Strategic Plan, Councils must prepare and implement a Community Engagement Strategy. The Guidelines specify that:

*As a minimum, the Community Engagement Strategy prepared and implemented by Council must identify relevant stakeholder groups within the community and outline methods that will be used to engage each group.*

*Council must place the Draft Community Strategic Plan on public exhibition for a period of at least 28 days and comments from the community must be considered prior to the endorsement of the final Community Strategic Plan.*

The legislation requires that all Councils review their Community Strategic Plans by no later than June of the year following each Council election.

### **Timeframe**

Given the legislative requirements for this to be a community driven process, it is appropriate to utilise the time between elected Councils to determine with the community their vision for Camden, and to then inform and guide the commencement of the newly elected Council. This also aligns the timing of the community engagement process with the Camden Festival which presents existing, well attended events to capture large numbers of responses in a cost and time effective fashion.

It is intended that the broad and active community consultation process for Council's review of Camden 2040 take place during September and October 2012 for a period of six weeks.

This will enable preparation of the draft Plan from November to December 2012, with the intention of reporting a draft to Council in January 2013 and then formal public exhibition of the draft in February 2013. This would enable Council to adopt a revised Camden 2040 in March 2013 which would then inform the preparation of a new Delivery and Operational Plans to be reported to Council in April 2013.

### **Community Engagement Strategy Statement**

Council's engagement strategy for the review of Camden 2040 is as follows:

1. To consult broadly enabling a large number of residents to provide input through a range of mechanisms.
2. To utilise low-cost, cost-effective and high value consultation opportunities.
3. As far as possible, to link in with existing events, groups and activities rather than create new opportunities to engage with the community.
4. To ensure that specific target groups are represented and consulted appropriately.
5. To consult in two stages. Firstly to establish a vision and key issues, and secondly, to reaffirm the community's stated position with a draft document.

## The Engagement Process

The consultation process will be undertaken in two stages. The first to seek input from the community about its vision, issues and key priorities for Camden's future. Then stage two, following its drafting, through a more formal public exhibition process, whether the draft Community Strategic Plan appropriately responds to the community's vision and aspirations for Camden

Camden 2040 was prepared in 2010 as a 30 year vision for Camden. Whilst we will be again engaging with the community on their vision for Camden, the existing document will also act as a reference point, and it is appropriate to reflect on where we are at against this vision, which was only recently established, and what has changed in the intervening period.

Details of the proposed consultation approach and methods and activities can be found in the Draft Review of Camden 2040 Community Strategic Plan Community Engagement Strategy as attached.

## CONCLUSION

The Integrated Planning and Reporting legislation requires Council to prepare a Community Engagement Strategy for the development and subsequent reviews of its Community Strategic Plan.

The intent of the engagement strategy is to achieve broad community input into the review of Camden 2040. Broad community input would involve both quantity - the number of residents providing feedback, and diversity - ensuring that different groups within the community are appropriately represented. This would involve engaging with individuals and families, groups, business and industry, Government and non-Government agencies, and Council staff.

Consultation will take place for a period of six weeks from 10 September until 20 October. It is anticipated that a draft review of Camden 2040 will be reported to Council in December 2012 – January 2013 with a resolution to be placed on formal public exhibition to allow further review and comment. Following this exhibition period the draft plan will be reported to Council for final adoption in March 2013 to inform the subsequent preparation of Council's Delivery and Operational plans to be reported to Council in April 2013.

## RECOMMENDED

**That Council:  
adopt the Draft Community Engagement Strategy for the review of Camden 2040**

## ATTACHMENTS

1. Community Engagement Strategy

Attachment 1

ORD15

**camden council**

**Camden 2040 Review  
Community Engagement Strategy**

**August 2012**

*Transforming Community  
Vision into Action*

Camden Council 37 John Street, Camden PO Box 183, Camden 2570 P: 02 4654 7777 F: 02 4654 7829  
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## ***Introduction***

In December 2010, Camden Council adopted Camden 2040, a long term Community Strategic Plan for the people and place of Camden. As required by the legislation, it is now time to review our Community Strategic Plan in order to guide the next term of Council.

The Community Strategic Plan is the highest level strategic document within Council's planning framework, and will articulate a vision for Camden, and the priorities for Council and its partners to focus on in order to achieve this vision. The particular actions for the Council organisation to undertake are then identified in its Delivery Program.

Given the legislative requirements for this to be a community driven process, it is appropriate to utilise the time between elected Councils to determine with the community their vision for Camden, to then inform and guide the commencement of the newly elected Council.

Camden 2040 was prepared in 2010 as a 30 year vision for Camden. Whilst we will be again engaging with the community on their vision for Camden, the existing document will also act as a reference point and it is appropriate to reflect on where we are at against this vision which was only recently established, and what has changed in the intervening period.

This strategy outlines the why, what, who and how of the proposed community engagement process for the review of Camden 2040. It is proposed that the initial community engagement process will run from 10 September 2012 to 20 October 2012, being a period of 6 weeks which coincides with the Camden Festival.

## ***Why are We Consulting?***

Camden Council has demonstrated a commitment to effective consultation with its community for many years and has enshrined this commitment in a range of key plans including the existing Camden 2040.

Council has articulated this commitment through the following strategies and policies:

- ***Camden 2040***  
Camden 2040 has a vision which includes "The community of Camden is actively engaged in the issues, plans and decisions that impact it", and a stated outcome that "people have a say in the future".

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# Attachment 1

## ORD15

- *Council's Community Wellbeing Policy*  
Council has committed to the principle of "active citizenship and participation" in its Community Wellbeing Policy.
- *Camden Council Community Consultation Policy*  
Council has stated its commitment to open dialogue with the community through its Community Consultation Policy.

In addition to its stated and demonstrated commitment to consulting effectively, Council will actively engage the community in the review of Camden 2040 because:

- *Legislative Requirement*  
The Integrated Planning and Reporting Guidelines state – "each Council must establish and implement a Community Engagement Strategy for engagement with the local community in developing the Community Strategic Plan". This must involve consultation/engagement prior to development of the plan, on the draft plan, and discussion of community expectations of Council service.
- *It's Good Practice*  
Customer (community) focus is an essential part of good business practice, for both private and public organisations (for example, refer Australian Business Excellence Framework).

### **Strategy Statement**

Council's engagement strategy for the review of Camden 2040 is as follows:

1. To consult broadly enabling a large number of residents to provide input through a range of mechanisms.
2. To utilise low-cost, cost-effective and high value consultation opportunities.
3. As far as possible, to link in with existing events, groups and activities rather than create new opportunities to engage with the community.
4. To ensure that specific target groups are represented and consulted appropriately.

5. To consult in two stages. Firstly to establish a vision and key issues, and secondly, to reaffirm the community's stated position with a draft document.

### ***What are We Consulting About?***

The consultation process will involve the following components:

1. *Vision and key issues*  
Within Camden's urban growth context, the community will be provided with the opportunity to determine their vision for the future of Camden, and the particular issues and priorities that Council will need to focus on to achieve this vision.
2. *Draft Community Strategic Plan*  
The community will be actively provided with opportunity to comment on the draft plan, with all submissions considered, prior to adoption by Council.

### ***Who are We Consulting?***

The intent is to achieve broad community input into the vision for the future of Camden that will form the basis of the review of Camden 2040. "Broad" refers to both quantity – the number of residents who provide feedback, and diversity – ensuring that different groups within the community are appropriately represented.

"Community" is taken to mean people who live, work or play in the Camden Local Government Area. This may include:

- Residents – individuals, families and "target groups"
- Groups, for example service clubs, associations, interest groups, sporting clubs and religious groups
- Business and industry representatives
- Development industry representatives
- Government and non-government agencies
- Council staff

# Attachment 1

## ORD15

Agencies, both government and non-government, who provide services within the Camden local government area, will be consulted, particularly in regards to the development of strategies, resources available, other plans and partnership opportunities.

### **How Will We Be Consulting?**

#### **1. Online Engagement**

Online tools are considered to be an appropriate method of engagement within the Camden community as there is a relatively high level of internet access and use. Further, there is a high proportion of residents that leave the area for work each day and are therefore away from the area for large portions of time of every week. Online tools will enable people to provide input into the review of Camden 2040 at times convenient to their lifestyle, not requiring people to physically attend events during specific business or evening hours.

- Information – a range of information will be provided on Council's website including details of the community engagement process and how interested parties can get involved.
- Online feedback forms – simple online feedback opportunities will enable people to provide feedback about their vision and priorities. This will allow residents to quickly and simply provide input in their own time. People are then able to engage further if they wish using one or more of the opportunities outlined below.

#### **2. Using Existing Opportunities**

A key part of this strategy is to consult with the community by linking in with existing events, groups and organisations during the consultation period. Following is a list of the various opportunities that may be used:

- Events – it is timely that the Camden Festival coincides with this consultation period. There is opportunity to engage with the community at events such as the Senior's Lunch, the Lion's Street Fair, "TASTE" Food, Wine and Music Festival, SK8-OPIA, Kids Fun Day and Narellan Rhythms Festival.

The methods used to consult with people could include snapshot surveys, distribution of postcards and encouraging people to use Council's website to have their say. At the main events such as the Street Fair, a range of other activities will be incorporated in order to attract interest and encourage people to participate, for example, face painting and craft activities.

- Council facilities – there is an opportunity to provide information and engage with the community by way of our existing facilities and activities including customer service counters, Libraries, Family Day Care, Civic Centre and Youth Space.
- Existing Council activities, committees and groups – there are a range of advisory groups and committees facilitated by Council, including the Access Committee, Seniors Program Committee, Cohesive Communities Advisory Group, Traffic Committee, Tourism Network and Road Safety Activities. As part of their normal processes, information on the review of Camden 2040 and opportunities to get involved could be communicated.
- Phone Survey – in July of this year, Council undertook its annual telephone survey, this year focusing on progress against our sustainability indicators. Given the impending need to review Camden 2040, we took the opportunity to include 2 questions as part of this survey that related to the review. The survey yields some 402 responses which is a representative and statistically significant sample of our community. The data gathered will be included with that from other strategies to inform the review.

### 3. *Specific Events for Camden 2040*

The following methods are proposed:

- Postcards – postcards will be distributed at events, activities and council facilities which provide an opportunity for comment by way of a reply pay function and also direct people to Council's web site for further information and other opportunities to participate.
- Open Houses – it is intended to conduct 3 open house sessions, one in each of the following locations: Camden, Narellan and Oran Park. The Oran Park session is considered to be of particular importance given that this is an emerging community that didn't exist when Camden 2040 was drafted. These sessions will be informal in nature. Staff will be available to answer questions, discuss issues and take information from people regarding their vision and issues for Camden.
- Business Representatives – Council representatives will attend the local Chamber of Commerce meetings to inform them of the review process and encourage their involvement.
- Government agencies – Council will need to engage relevant State and Federal Government agencies, with a particular focus on partnerships and cooperate in the implementation of the community's vision. Council intends to use the Regional Coordinator of the NSW Premier's Department to assist with this process.
- Community Groups – community groups will be consulted via extensive email databases available and by attendance at local interagency meetings.

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# Attachment 1

## ORD15

- Developer Representatives – our local developers are performing a critical role in physically shaping our new communities. They are therefore an important partner to continue to engage with in relation to these broader issues and to have as a part of setting and delivering the vision for Camden. Specific forums have been successful mechanisms in the past to facilitate their input. It is proposed to run such a forum again for this process.

It is hoped that by the range of proposed activities outlined above and the communication strategies outlined below, that a significant number and diversity of responses can be gathered. If during the course of the consultation period it becomes apparent that this is not the case, the following subsequent strategies may need to be employed:

- Focus groups – would be appropriate where it is considered that a particular target group has not been adequately represented through other consultation opportunities. These focus groups would be a more formal opportunity to seek participant's views on their vision for Camden, associated issues and an opportunity to reflect on where we are at relative to the existing Camden 2040. Council holds a data base of interested parties that could be utilised for this purpose.
- "Street Corner" consultation - approaching people at locations such as Argyle Street in Camden and Narellan Town Centre during peak times is a strategy which could increase participation should we find that we have not been successful in gathering a sufficient level of response through the other means proposed. The methods used would be similar to those for events, including snapshot surveys and distribution of postcards.

#### **4. Advertising and Communication**

A strong communications process will be needed to ensure broad community awareness and engagement in the consultation for the review of Camden 2040. This will include:

- Postcards – encouraging people to have their say in the development of a vision for Camden by either utilising the reply paid facility or by directing people to Council's website.
- Media releases – providing information about the review of Camden 2040, opportunities to provide input and directing people to Council's website.

- Council facilities – there is the opportunity to use Council facilities to display and disseminate information, particularly directing people to Council's website, including Mt Annan Leisure Centre, Civic Centre, Libraries, community halls and Youth Space.
- Any relevant Council correspondence or publication produced at the appropriate time could contain information about the review of Camden 2040 and opportunities for people to provide input.
- Mailing lists – using the range of networks and mailing lists that Council has, information will be distributed to a broad range of individuals, groups and agencies about the review of Camden 2040 and opportunities to participate.

### ***Engaging with Staff***

Council's staff is a particularly important group to engage in the review of Camden 2040, as it is staff who, in most cases will be responsible for the implementation of the plan. In addition, staff tend to have a particular insight into the issues and challenges for Camden as they come into contact with a diversity of people and locations in the course of their work. Many members of Council's staff are also residents of the local area.

In order to effectively engage across the spectrum of Council employees, the following methods are intended:

- Online opportunities
- Staff forums and discussion groups
- Surveys
- Communication – through information attached to pay slips, emails and information sessions.

### ***Conclusion***

Council is committed to ongoing and regular engagement with its community. The legislation requires a review of our Community Strategic Plan post local government election in order to inform the next term of Council. This process is planned to take place from 10 September 2012 to 20 October 2012.

This strategy outlines the purpose of the engagement process and the proposed methods that will be used to secure a broad range of community feedback to inform the review.

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## ORDINARY COUNCIL

ORD16

**SUBJECT: STRENGTHENING YOUR COMMUNITY - DRAFT SUBMISSION TO THE NSW INDEPENDENT LOCAL GOVERNMENT REVIEW PANEL**

**FROM:** Director Governance

**BINDER:** Local Government Review

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### PURPOSE OF REPORT

The purpose of this report is to provide Council with;

1. an update on where the NSW Independent Local Government Review Panel (the Panel) is up to in relation to its review of NSW Local Government, and
2. a Draft Submission in relation to the consultation paper titled 'Strengthening Your Community'.

### BACKGROUND

The Panel was appointed by the NSW State Government in April 2012 following an approach by the NSW Local Government and Shires Association. The Panel is an expert group of 3 members, with support staff seconded from the Division of Local Government.

The Panel's task is to develop options to improve the strength and effectiveness of local government in NSW. The review will drive key strategic directions outlined in Destination 2036 and support the broader objectives of the State as identified in NSW 2021: A Plan to Make NSW Number One (the State Plan).

The Panel will liaise closely with the Destination 2036 Implementation Steering Committee, which is the Presidents of the Local Government Association, Shires Association and Local Government Managers Australia (NSW) and the Chief Executive of the Division of Local Government, but will also form its own views of issues raised.

The Panel recently released its first consultation paper, titled 'Strengthening Your Community', with a view to developing proposals to create stronger, more effective councils that can in turn promote stronger local communities.

In this consultation paper, the Panel poses 3 questions:

1. What are the best aspects of NSW Local Government in its current form?
2. What challenges will your community have to meet over the next 25 years?
3. What 'top 5' changes should be made to local government to help meet your community's future challenges?

These 3 questions are addressed in this report and in the **Draft Submission which is attached at the end of this report (Attachment 1)**. Submissions close Friday 14 September 2012.

A copy of the consultation paper titled "Strengthening Your Community" **is attached at the end of this report (Attachment 2)**.

## **MAIN REPORT**

### ***What are the best aspects of NSW Local Government in its current form?***

Some of the best aspects of NSW Local Government in its current form include:

- *Ability to build partnerships and work collaboratively with various stakeholders*

Local Government has a proven track record of building lasting and effective partnerships with a variety of stakeholders including:

- our most valued stakeholder, the community;
- other tiers of government (and their respective agencies);
- the business community;
- the development industry;
- peak representative bodies such as the Local Government & Shires Association and the Local Government Managers of Australia; and
- neighbouring Councils through Regional Organisations of Councils (ROC's).

Local Government recognises the importance these stakeholders have in shaping and defining local communities and understand the valuable contribution they make towards the sector's outcomes and achievements.

Local Government is prepared to work with the State Government to realise a new and inclusive approach to planning, an approach that puts residents at the heart of the decision making process. Similarly, Local Government is prepared to stand up to the State Government and the development industry (for example) to ensure the interests of local communities are put first.

- *It is the sphere of government closest to and most engaged with the people in the community.*

Local Government has unparalleled access to the people in our community. This access enables our:

- community to raise issues directly with those who make decisions in a relaxed and informal, yet effective and efficient manner;
- Council to respond to community concerns at a very grassroots level by providing the range of services they need and representing / advocating the concerns they have or views they hold;
- community to express its vision for the place it wants to live in;
- Council to incorporate community views and deliver services they see as priorities;
- both Council and the community to come together to celebrate civic and cultural events that help build social capital.

Local Government is uniquely placed to advocate for and drive the sort of change communities want.

### ***What challenges will your community have to meet over the next 25 years?***

Some of the challenges Camden Council and its community will have to meet over the next 25 years include:

- *Accommodating and adapting to the impacts of phenomenal growth*

The Camden LGA is undergoing unprecedented growth and will continue to do so for the next 25 years. The timely delivery of infrastructure (both hard and soft) and the creation of a diverse range of employment options throughout this growth period will be key determining factors in assessing whether Camden makes the successful transition from a relatively small community of 58,000 people to one of the largest communities in NSW and home to an estimated 275,000 people.

Council's ability to sustain strong relations and a solid partnership with the community, State Government and the business / development industry will be critical over the next 25 years. These stakeholders will have the most influence in shaping Camden's future so it is vital our relationship with them remains strong.

- *Remaining relevant and sustainable*

Throughout this growth phase, it will be critical for Council to anticipate, embrace and adapt to changes as they unfold over the next 25 years. This will be particularly important if Council is to remain relevant and responsive in the eyes of the community.

Securing long term sustainability (financial, social and environmental) will require not only effective long term strategic planning but will also mean we need to identify ways in which we can become more innovative and productive – do more with less.

- *Getting the balance right (rural vs urban, best of both worlds)*

One of the key challenges over the next 25 years will be getting the balance right between growth and the opportunities it presents, and retaining the traditional qualities of the Camden Local Government Area (LGA) that current residents have come to love and expect. Appropriate strategic planning will be required to ensure urbanisation does not dominate the current rural character to the extent that much of Camden's attraction is forever lost.

- *Securing good infrastructure outcomes ahead of development*

The size and scale of Camden's growth will need to be appropriately matched with the delivery of critical infrastructure - both 'hard' and 'soft' infrastructure. This requires significant commitment and funding by the State Government and its agencies (a whole of government approach), as well as the business and development industry generally.

This infrastructure is vital to the future of Camden, with far-reaching impacts on people, the local and regional economy, and the environment.

The delivery of transport infrastructure, both new and upgraded, in a timely fashion will be another great challenge through the urban growth of the Camden area. The outcomes and benefits of this infrastructure on the people, economy and environment of the area will be significant. Without this infrastructure the Camden area cannot sustain the urban growth envisaged in the State Government's various plans.

- *Securing more jobs and a greater range of employment opportunities within the Camden LGA or Macarthur Region*

More than half of the residential workforce within the Camden LGA commutes to work outside of the Macarthur Region. Concerted efforts, backed by fully funded plans, need

to be made to strategically plan for more jobs closer to home before local and regional economies emerge.

Under the State Government's Metropolitan Strategy, South West Sydney is planned to accommodate 23% of Sydney's total population growth over the next 25 years. Unfortunately, only 13% employment growth is forecast. This is not a good outcome for the people and economy of the South West. This imbalance needs to be addressed through appropriate strategic urban planning as lands continue to be rezoned, the development of effective economic development strategies and a willingness from the State Government to rectify the imbalance in future Metropolitan Strategy reviews.

- *Maintaining and enhancing our environment*

One of the greatest challenges Council faces over the next 25 years is managing our environment in a sustainable manner. We will need to manage the impacts of native vegetation and rural land loss, retain natural heritage, minimise the impacts of climate change and ensure sustainable access to and use of natural resources.

The environmental, social and economic impact of the loss of farming and agricultural land / industries (including the availability of local affordable fresh food) will need to be addressed in a very deliberate and strategic sense.

It will be vital that we take the opportunities that present themselves for environmental restoration through the strategic planning and development process.

- *Addressing the ever-increasing Infrastructure Asset Backlog*

The cost of replacing/repairing ageing infrastructure is a crippling dilemma for NSW Local Government. Whilst this issue has been thoroughly researched and documented, very little has been proposed in the way of solving the problem.

A lack of a national asset management framework and approach together with existing revenue raising constraints (e.g. rate pegging) severely thwart attempts to address the matter. The longer strategic intervention is delayed and innovative solutions developed, the more our local community's assets will continue to deteriorate to the point they become unserviceable.

***What 'top 5' changes should be made to Local Government to help meet your community's future challenges?***

The following changes should be made to local government to help meet Camden's future challenges (in no particular order):

**1. Long term financial certainty**

NSW Local Government has suffered for too long under the current rate pegging regime. Rate pegging is creating intergenerational inequity as community infrastructure is deteriorating at a faster rate than the investment in its future replacement. This is not a reflection of poor resource allocation, simply a reality that councils generate insufficient revenue to fulfill all the service requirements of the community.

Whilst the appointment of IPART to determine rate increases is seen as a step in the right direction, unless IPART is prepared to factor in variables such as asset backlogs,

the historical impacts of rate pegging will mean that any future rate increase will be applied to a fundamentally flawed and insufficient rate base.

Constitutional recognition of Local Government may pave the way for much needed direct funding from the Federal Government. As it stands, the State Government will continue to directly receive financial assistance from the Federal Government and dictate what, where, when, who and how funds are allocated to Local Government Councils.

The introduction of 'capped' developer contributions in 2009 was financially disastrous for many Councils in NSW, particularly those Councils such as Camden, experiencing significant growth. At the time, Camden estimated the impact of this decision in the vicinity of \$1.3 billion. Long term financial certainty is near impossible when one considers the consequences of this decision. Interestingly, IPART itself has publicly questioned the rationale of 'capping' and whether it has achieved its primary purpose – more affordable housing.

## **2. Abolish cost shifting**

Cost shifting has been in place for several decades. In 2009/10, the value of cost shifting was estimated at \$3.2m or 6.8% of council's total income. This has a debilitating effect on Council's ability to provide essential services to the community.

Intergovernmental agreements were seen as a way of both State and Local Government agreeing on what services should be transferred to Local Government and the levels of funding that should accompany the service transfer. Unfortunately, these intergovernmental agreements did not progress beyond initial discussions and publications outlining how the process might work.

## **3. Continued legislative reform**

Legislative reform is well overdue, particularly the Local Government Act, 1993 (the Act) and its associated Regulations. The Act has become far too complex and requires a total overhaul. There are elements of the Act that are too prescriptive, others that lack clarity and some that just don't reflect current conditions anymore.

The new Act would benefit from a much simpler and narrower set of provisions that reflect current Local Government. The prescriptive detail and other useful provisions could be outlined in a companion document titled 'Code of Legislative Practice' or something similar.

On a related matter, Local Government is suffering from chronic 'compliance' fatigue. The amount of compliance (reporting) is unprecedented. The whole compliance framework (including reporting requirements) should be reviewed in conjunction with the review of the Act.

## **4. Improved integrated planning and reporting**

The introduction of integrated planning and reporting legislation is seen as a positive step for the Local Government sector. It has brought about a renewed focus on long term planning, reporting and community engagement.

Whilst it is still early days, there is already evidence that 'partners' in local community strategic plans are not buying in to the concept as theoretically intended by the State

Government. These partners include state agencies who are vital to the success (or otherwise) of the outcomes enshrined in local community strategic plans.

There needs to be a review undertaken of the effectiveness of the new legislation with a view to bringing all 'partners' to the community strategic plan to the table to discuss ways and means to which information and priorities can be shared to enable common objectives to be met.

## **5. A clearer understanding of Local Government's future**

NSW Local Government has been the centre of discussion on various fronts for decades. Issues such as amalgamations, boundary adjustments, Local Government roles and responsibilities, infrastructure asset backlogs and financial unsustainability have all been raised. These issues (and others) have sparked unnecessary speculation of local government's future from time to time.

It is encouraging to see the State Government appoint an Independent Review Panel to investigate ways in which the NSW Local Government sector can improve its strength and effectiveness.

It is hoped the Panel's findings and recommendations will pave the way for much needed certainty so Local Government can concentrate on the priorities that matter most to its community.

### **Next Steps in the Review**

The Panel will be consulting widely throughout the review process. Consultation will take place in stages and in different ways as the review progresses.

Regional meetings with Councils and community organisations, written submissions, focus groups and roundtable discussions are some of the options the Panel intend using to ensure there are many and varied ways of getting involved in this review.

The review will be structured in four stages

1. Identifying key issues and exploring ideas – July to September 2012
2. Options for change – October 2012 to January 2013
3. Future directions – February to May 2013
4. Final Report – June / July 2013

## **CONCLUSION**

The Independent Review Panel is embarking upon a review of NSW Local Government with a view to developing options to improve the strength and effectiveness of Local Government in NSW.

This report has outlined some of the best aspects of Local Government in its current form, the key challenges we will need to face over the next 25 years and the types of changes required in order for us to meet those challenges.

Council welcomes this review, will actively participate where opportunities present themselves, and keep a close watch on the review as it unfolds over the next 12 months.

**RECOMMENDED**

**That Council:**

- i. endorse the contents of this report; and**
- ii. forward the attached Draft Submission to the Independent Review Panel.**

**ATTACHMENTS**

1. Draft Submission
2. Strengthening Your Community - Consultation Paper

28 August 2012

Mr Graham Sansom  
Independent Local Government Review Panel  
c/- Locaked Bag 3015  
Nowra, NSW 2541

ORD16

**Strengthening Your Community – Camden Council Submission**

Dear Graham,

Thank you for the opportunity to provide comment on the Panel's consultation paper titled "Strengthening Your Community".

Council resolved on 28 August 2012 to prepare a submission on the consultation paper and looks forward to participating throughout the four stages of the review over the next 12 months.

Please find below a response to the 3 questions posed in your consultation paper.

***Question One: What are the best aspects of NSW Local Government in its current form?***

Some of the best aspects of NSW Local Government in its current form include:

- *Ability to build partnerships and work collaboratively with various stakeholders*

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ORD16

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It is encouraging to see the State Government appoint an Independent Review Panel to investigate ways in which the NSW Local Government sector can improve its strength and effectiveness.

It is hoped the Panel's findings and recommendations will pave the way for much needed certainty so local government can concentrate on the priorities that matter most to its community.

On a final note, Council wishes you well in your endeavours to improve the strength and effectiveness of Local Government in NSW.

If you have any questions relating to the information contained in this submission, please feel free to contact Mr Steven Kludass (Director – Governance) on 4645 5122.

Yours Sincerely

**Greg Wright**  
**GENERAL MANAGER**

Attachment 1

# Strengthening Your Community

NSW Independent Local Government Review Panel

*Consultation Paper*

July 2012



[www.localgovernmentreview.nsw.gov.au](http://www.localgovernmentreview.nsw.gov.au)

ORD16

Attachment 2

# Strengthening Your Community

NSW Independent Local Government Review Panel

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## Have Your Say!

**Everyone in local communities across New South Wales is strongly encouraged to get involved.**

The Independent Local Government Review Panel is developing proposals to create stronger, more effective councils that can in turn promote stronger local communities.

The Panel will make its recommendations to Government based on evidence of community needs for better local government.

Have your say now to inform the Panel's work.

## Key Questions

In this first stage of consultation the Panel would like to hear your views on three key questions:

1. What are the best aspects of NSW local government in its current form?
2. What challenges will your community have to meet over the next 25 years?
3. What 'top 5' changes should be made to local government to help meet your community's future challenges?

**Submissions close on 14th September 2012.**

Visit [www.localgovernmentreview.nsw.gov.au](http://www.localgovernmentreview.nsw.gov.au) or see page 18 for details on how to make your submission.



# Introduction

**Local government is the government of communities and places. Stronger, more effective local government can provide better services and infrastructure, and can do more to support economic development, safeguard environmental quality and enhance community wellbeing. It can also play a greater role as a partner of State and Commonwealth governments in achieving regional, state and national goals.**

The NSW Government has therefore appointed an Independent Local Government Review Panel. Its task is to develop options to improve the strength and effectiveness of local government in NSW. The review will drive key strategic directions identified in the Destination 2036 initiative (details below) and support the broader objectives of the State as outlined in NSW 2021: A Plan to Make NSW Number One (the State Plan).

## Why this review matters to you

Capable and effective local government is vital to provide essential community services and maintain our quality of life. But across NSW many councils are struggling with financial problems, growing infrastructure backlogs, and difficulties in attracting and retaining skilled staff and councillors.

Communities deserve high capacity local councils that can:

- deliver services and infrastructure you need at a price you can afford
- prepare soundly-based plans for the future
- help support local jobs and economic growth
- represent the diverse needs of different groups
- influence state and federal government decisions to achieve local objectives, for example in transport and housing
- maximise the local benefits from spending the rates and charges you pay.

This review's goal is to ensure that every community in NSW has local government that reaches the highest possible standard.

**The purpose of this Consultation Paper is to present information and ideas for discussion. It should not be interpreted as a statement of the Panel's views or an indication of likely recommendations.**

## The Review Panel

The Review Panel was appointed in April 2012 following an approach by the NSW Local Government and Shires Associations. It is an expert group of three members, with support staff seconded from the NSW Division of Local Government. It can also commission its own research and advice to inform its thinking. No limits have been placed on the way the Panel goes about addressing its terms of reference.

It is chaired by Professor Graham Sansom, Director of the Australian Centre for Excellence in Local Government. The other two members are Ms Jude Munro AO, a former CEO of four metropolitan councils across three states, including the city of Brisbane; and Mr Glenn Inglis, who has extensive experience as a council general manager in rural and regional NSW.

The Panel will consult widely with the NSW community and other stakeholders. It will make recommendations to Government based on evidence gathered and supporting research. It will look at the pros and cons of different options for change and present its findings for further consultation in a transparent and open way. The Panel will make its final report to the NSW Government in July 2013.



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## Why review NSW local government?

### *Communities are different and changing*

Our communities vary enormously in size, demographics, economic base and other factors and as a result, their needs also vary enormously. What a community needs in Balranald or Bega will be very different to Bondi or Broken Hill.

At the same time, significant economic, social and environmental changes are being felt in most, if not all, NSW communities. For example:

- Global financial uncertainty is affecting economic growth, business confidence and public finances. This impacts on businesses and families in local communities, the public services they require and the money that is available to pay for them.
- Our economy is going through major structural change as mining increases its share of investment and employment. This impacts jobs, the social fabric of communities, the future of towns and villages, and the infrastructure those communities need to function.
- Environmental factors are affecting how and where we live. We need to use renewable energy, protect our coastlines and reduce the amount of waste we send to landfill. Many communities have suffered from natural disasters and are likely to continue to do so.
- Rapid social change is seeing more people live in city and coastal areas, more elderly people requiring appropriate housing and services, and more diverse communities. Population numbers in most rural communities are declining.
- Technological advances are changing how we communicate, do business and access services.

These changes impact on different communities in different ways. Local councils need the skills and resources to help communities adapt and prosper into the future.

### *Councils are different and changing*

Councils across NSW have served their communities well for many years, but today local needs are much more varied and complex than they were even 50 years ago. The 152 councils around NSW today are led by more than 1,500 councillors, employ over 50,000 people, spend more than \$9.3 billion annually, and are responsible for over \$117 billion in public assets.

### Did you know?

- There are 152 councils in NSW with an average population of 48,000. This is less than Queensland (63,000) and Victoria (71,000), but more than the Australian average of 41,000.
- The smallest in area (Hunters Hill) is 6km<sup>2</sup> – smaller than Sydney Olympic Park.
- The largest (Central Darling) is over 53,000 km<sup>2</sup> – about the size of Croatia.
- Urana Council has a population of 1,200 – about the number of pupils in a large high school.
- Blacktown has over 307,000 residents – about the number of people living in Iceland.
- The fastest growing in percentage terms is Auburn (in the 'middle ring' of Sydney), with average annual growth of over 3% (2,400 people). However, several larger councils are growing faster in absolute numbers of new residents.

Councils are clearly 'big business' and of fundamental importance not only to the quality of their local places and wellbeing of local communities, but to the prospects of the state as a whole.

Councils reflect the diversity of their communities: they vary greatly in size, resources and the services they provide. Yet today, NSW councils are basically structured and governed in the same way, with the same laws applying to each council regardless of whether it is in the middle of Sydney or in a rural area, and whether it serves 2,000 or 200,000 people. This poses real challenges as councils with very different capacities and very different needs try to carry out their functions with basically the same tools.

Despite this, many councils are adapting well to social, economic and environmental changes and the increasing complexity of modern government. Recent decades have seen significant changes to council boundaries, improvements to strategic planning (notably the introduction a few years ago of 'Integrated Planning and Reporting' reforms), new approaches to community consultation, better financial and asset management, use of new technologies in service delivery, increased regional collaboration, and a host of other advances.

However, a considerable number of councils are struggling with the impacts of change and to meet the legitimate needs and expectations of their communities, as well as playing their part in the wider system of government. In some cases this is due to declining populations and limited funding. Difficulty attracting and retaining skilled staff and councillors is also an issue. In other cases, councils' resources are being stretched to the limits due to rapid growth.



Increasingly communities and other spheres of government are looking to councils to have a vision for the local area and to work across public, private and community sectors to make that vision a reality. Communities expect their councils to provide strong and stable leadership that rises above narrow interests and effectively represents their needs and aspirations. They expect local leaders to work with other levels of government to create more liveable places.

So local councils need not only to continue recent improvements but also to consider more fundamental change if they aim to realise the vision of Destination 2036 to create strong communities through partnerships.

### Building on Previous Reviews

The Panel does not intend to 're-invent the wheel'. Several recent studies and inquiries have provided valuable research and ideas about the future of local government in NSW, and the Panel will build on that work. Some important examples are the 'Sproats' review of inner Sydney councils (2001); the 'Allan' inquiry commissioned by the Local Government and Shires Associations (2006); and reports on council revenues by the Productivity Commission (2008) and IPART (2009).

Significant government policy papers include 'A New Direction for Local Government' (2006) and the Government's response to the 'Allan' inquiry.

Most recently, the Destination 2036 initiative identified the challenges facing councils, a vision for the future and a roadmap for achieving it. This is summarised in the accompanying box.

The Panel will also consider relevant reports from interstate and overseas, such as those of the Queensland Local Government Reform Commission (2007), the Independent Review of Structures for Local Governance and Service Delivery in Southern Tasmania (2011) and the Perth Metropolitan Governance Review (2012). Finally, there are numerous papers published by academic researchers and think-tanks, such as the Australian Centre of Excellence for Local Government and the Centres for Local Government at the University of Technology, Sydney, and the University of New England.

**Links to a broad cross-section of all this material can be found under 'Supporting Information' on the Panel's website.**

[www.localgovernmentreview.nsw.gov.au](http://www.localgovernmentreview.nsw.gov.au)



## What makes a 'good' council?

When he announced this review, Don Page, the NSW Minister for Local Government, highlighted the need to find ways to create stronger and better councils for the future.

In the early stages of its work the Review Panel wants to talk to people across NSW about what makes a good council and how they see the future for local government.

How local councils are structured and governed differs around Australia and indeed around the world in order to meet the varied needs of diverse communities. The Panel will look at some of these different models of local government and try to identify the best features of each. But to understand which approaches would be good for NSW, we need to test them against what the community says it wants councils to be like, and what it needs them to do.

For example, councils already play numerous different roles: they deliver services and infrastructure; they provide important community amenities and facilities; they prepare strategic and land use plans; they control building and development; they promote environmental and community health; they administer numerous regulations; they advocate on behalf of the local area to State and Federal governments; and so on.

**Which of councils' many functions do you see as most important? What do they do well, and what needs to be improved?**

**Looking to the future, do you see councils continuing to expand their range of activities as they have done over recent decades? Or is it time to focus more on 'core business'? If so, what exactly is 'core business' for local government in the 21st century?**

In the UK, the 'Lyons' inquiry into local government that reported a few years ago argued strongly that councils should be 'place shapers', linking their various service delivery, planning and regulatory roles so as to make a real difference to the quality of the places and communities they govern. That concept is also at the heart of the Integrated Planning and Reporting Framework in NSW: councils working with their communities to plan strategically across environmental, social and economic issues to create a better future for their areas.

**Are these broader concepts of the role of local government sufficiently understood and accepted by citizens and ratepayers, and are they affordable?**

Another critical question concerns the meaning of 'local' in local government. The amalgamation of councils is often seen as unacceptable because it could lead to a loss of local identity and representation. On the other hand, there is some evidence that people are more focused on receiving good quality services and do not mind (or bother to ask) who delivers any particular service as long as it meets their needs. It has also been argued that large councils can bring more resources to bear on consulting their communities and working effectively at a 'neighbourhood' level.



The quality of governance is also a key factor in deciding whether local government is performing well. This covers issues such as whether councils are open and transparent in their decision-making; whether council meetings run smoothly and debate is well informed and productive; whether high standards of probity are maintained; and whether councils' activities and progress in implementing their plans and programs are reported regularly and in a straightforward way to their communities.

**Does more need to be done to ensure high standards of governance in local government? Are councils providing sound leadership for their communities?**

All these things are important. However, the reality is that resources are limited and there will be some trade-offs between different objectives in designing stronger, more effective local government for the mid 21st century.

**What are the most important features of today's local government that we want to retain, and what may need to change?**

# What the Panel will do

## The Panel's Terms of Reference

The Panel is to investigate and identify options for governance models, structural arrangements and boundary changes for local government in NSW, taking into consideration:

1. Ability to support the current and future needs of local communities
2. Ability to deliver services and infrastructure efficiently effectively and in a timely manner
3. The financial sustainability of each local government area
4. Ability for local representation and decision making
5. Barriers and incentives to encourage voluntary boundary changes

In conducting the review the Panel will:

- Ensure recommendations meet the different nature and needs of regional, rural and metropolitan communities
- Consult widely with the broader community and key stakeholders
- Take into account the work completed, and future work to be completed, under the Destination 2036 initiative
- Take into account the broader interests of the State including as outlined in the State Plan
- Consider the experiences of other jurisdictions in both the nature and implementation of local government reform
- Take into account the Liberal-National's 2011 election policy of no forced amalgamations

Seven actions in the Destination 2036 Action Plan have been referred to the Panel. The Panel will address these issues as far as its resources allow, and to the extent that they are consistent with its terms of reference.

- Develop options and models to enhance collaboration on a regional basis through regional organisations of councils
- Undertake research into innovation and better practice in local government in NSW, Australia and internationally
- Examine the current local government revenue system to ensure the system is contemporary, including rating provisions and other revenue options
- Examine the pros and cons of alternative governance models
- Research and develop alternative structural models, identifying their key features and assessing their applicability to NSW
- Identify barriers and incentives to encourage the voluntary amalgamation or boundary adjustment of councils
- Identify those functions that are clearly State or local government responsibilities, those that cannot be readily defined and those that have been legislated/regulated as core functions

## Governance, structures and boundaries

The Panel has been asked to develop options for governance, structures and boundaries for local government. Broadly speaking this means looking at how councils are led by their councillors and senior managers, and how they are organised to deliver services and infrastructure. It also involves thinking about the different features of different communities and how their needs can best be addressed. These issues are complex and inter-related. They are about much more than simply amalgamating councils: the best approach will depend on the role we want local government to play and the specific functions councils need to carry out.

**Governance** in this context refers to the way councils are organised politically and administratively and how they make decisions. For example: is the mayor elected directly by voters, or chosen by the councillors? How many councillors are there? Are councillors elected in wards or 'at large' by voters across the whole council area? What are the respective roles and responsibilities of councillors and senior managers? Does the council have committees that include community representatives? How does the council consult local people before making major decisions? And so on. Communities and their councils have made different choices about these arrangements.

There are already a variety of different **structural arrangements** in local government across NSW. The basic unit is normally an elected local council, but additional structures include regional organisations of councils, county councils, joint undertakings for water supply and sewerage, cooperatives, registered associations, council-owned companies and others. In the Unincorporated Far West region of NSW there are no councils in the normal sense, but some local representation is provided through elected Village Committees in Silverton and Tibooburra. Many other structural models can be found inter-state and overseas, so there are plenty of options and models to consider and there is no 'one-size-fits-all' solution.

**Boundary changes** can also take different forms. Historically, most boundary changes have involved creating larger councils through amalgamations or mergers. In other cases relatively minor adjustments to boundaries have been made to improve administration. For example, a boundary may be altered around a town to incorporate new urban development that has flowed into an adjoining rural area. Many different types of boundary changes have been made in NSW, Australia and around the world over recent decades: again, there is no 'one-size-fits-all'.

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### Destination 2036

The Review is the first initiative under Destination 2036, a joint State-local government program based on a vision for councils to create **strong communities through partnerships**.

The Destination 2036 Action Plan identifies 12 major initiatives to create strong local government (see [www.dlg.nsw.gov.au](http://www.dlg.nsw.gov.au))

- Establish local government as an employer of choice
- Encourage and facilitate innovation
- Ensure the Local Government Act supports stronger local government
- Ensure strong and effective local governance
- Review the revenue system to ensure greater flexibility and self-reliance
- Develop strategies that maximise opportunities to secure funding from other levels of government
- Establish a range of funding models to enable the long term maintenance, replacement and creation of different classes of assets
- Develop a number of different structural models for local government
- More clearly define the functions, roles and responsibilities of local and State government
- Align State and local government planning frameworks
- Negotiate a new inter-government agreement
- Recognise local government as a legitimate and important sphere of government

**The Independent Review Panel will liaise closely with the Destination 2036 Implementation Steering Committee, which is the Presidents of the Local Government Association, Shires Association and Local Government Managers Australia (NSW) and the Chief Executive of the Division of Local Government, but will also form its own views on the issues raised.**



### NSW 2021 – 'A plan to make NSW number one'

NSW 2021 is the NSW Government's 10-year strategic business plan to 'rebuild the economy, return quality services, renovate infrastructure, strengthen our local environment and communities, and restore accountability to government.'

#### Its goals include:

- 'invest in critical infrastructure', which aims to 'increase investment in regional infrastructure',
- 'involve the community in decision making on government policy, services and projects', which aims to 'increase opportunities for people to participate in local government decision making.'

It aims to bring together government, community and business to respond to the challenges and opportunities NSW faces.

#### Localising NSW 2021

As each local community in NSW has its own set of priorities, the Government is working on localising NSW 2021. Across the State, Regional Ministers and Members of Parliament are consulting with local government and communities to develop regional action plans aligned to NSW 2021. These plans will focus on the most important action the NSW Government can take to improve outcomes in each region and locality.

The Panel will take into account the broader interests of the State including the goals and targets set out in NSW 2021.

A copy of NSW 2021 can be accessed at [www.2021.nsw.gov.au](http://www.2021.nsw.gov.au)

### Local Government Act Review

The State Government has foreshadowed a review of the Local Government Act, which is expected to commence shortly. The two reviews will cooperate closely. From time to time the Panel will provide advice to the Act review on issues that are likely to require amendments to legislation. Also, it is expected that the Act review will not be completed until late 2013 and will therefore take full account of the Panel's final report.

# Five big issues

In thinking about possible governance models, structural arrangements and boundary changes for local government in NSW, the Panel will be addressing the five big issues set out in its terms of reference.

## 1. Councils' ability to support the current and future needs of local communities

### Did you know?

- Of the 152 councils in NSW, 25 have populations of less than 5,000.
- Current projections show that the great majority of small local government areas in the west of the state will decline in population over the next 25 years. By contrast, coastal councils outside of the greater metropolitan area are expected to grow on average by 1.2% pa.
- Many councils have diverse populations. In some rural local government areas Aboriginal people make up more than 60% of the population, whilst some metropolitan areas have populations with more than 50% from a non-English speaking background.
- The number of people over the age of 65 is expected to more than double from just over 1 million now (14% of the population) to 2.5 million in 2050 (24%), making it the fastest growing population group in NSW. Over half of people aged over 65 live in the Sydney metropolitan region.

We need to understand what challenges and opportunities communities currently face, what our communities will look like in 25 years time, and what this means for local government. There is no doubt that environmental, economic, social and technological changes will transform many places and communities: how can local councils best understand and plan for those changes, and will they have the capacity to respond effectively?

Changes over coming decades are also likely to sharpen differences between metropolitan areas, regional centres and rural and remote communities. What are the implications for our system of local government, the different roles councils may play in different regions, and the resources they will have available?

Although there will be pockets of growth, across much of inland NSW population levels are likely to remain static or decline significantly between now and 2036. Will it be possible to maintain local councils in their present form across the whole of NSW? If not, what are our options?

**Rural and remote local government** includes councils that are geographically some of the largest in NSW, but with the smallest populations and very fragile budgets.

The economy of rural and remote communities is changing. The mining boom is driving economic growth in certain locations, and improved telecommunications may help create more employment opportunities in others. However, farms continue to become less labour intensive and maintaining provision of local services is problematic.

A declining population is therefore a feature of many rural and remote councils. Of 52 local government areas with a population of less than 10,000, the vast majority (88%) will experience significant loss of population by 2036.

The biggest challenges for rural and remote councils are infrastructure and financial sustainability. Some western region councils are responsible for over 2,000 kilometres of local road networks, but depend heavily on grant funding for their survival. In addition, climate change may be affecting rainfall and weather patterns, and rural and remote councils are especially vulnerable to any increase in the frequency of natural disasters such as floods and bushfires.

**Sydney metropolitan** councils include both some with the smallest land areas in NSW, and others with the largest populations and budgets. Sydney's population is growing rapidly. By 2031, the metropolitan region will have 1.4 million more people.

The population of Sydney councils varies considerably. The average population size of the 14 smallest is around 45,000 (the smallest has a population of just 15,000). By contrast, the average size of the 14 largest is 145,000 (the biggest being over 300,000 – larger than all councils in any other state except Queensland).

Population growth is putting intense pressure on all types of infrastructure, especially roads and public transport. Councils are responsible for much of the road system. They also face the need to provide adequate drainage systems, parks and other community facilities for areas with growing populations, whilst maintaining existing infrastructure to adequate standards. Ways need to be found to fund essential infrastructure improvements without placing unreasonable burdens on homebuyers or ratepayers.

Meanwhile, along the coast and in metropolitan areas the key challenge will be to ensure that local government has the capacity to play its full part in managing rapid growth. This will require consideration of the need for substantial improvements to infrastructure and service provision, strategic planning and financial management. Will councils have the right skills, organisational capacity, and decision-making processes?

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The very different challenges faced by councils in different parts of NSW may require significant changes to the system of local government so that it can respond more flexibly and effectively to those different circumstances. Levels and types of services provided by councils already vary from one part of the state to another according to community needs and the capacity of councils to deliver. These variations may need to be recognised in legislation so that, for example, small (in resources) councils are not burdened with unnecessarily complex planning and management requirements.

New models of service delivery will also have to be considered. In remote areas resource sharing and joint service delivery between councils and State agencies is one option. The scope for increased use of internet-based service delivery also needs to be examined.

Another important factor to be considered is the availability of skilled staff. Australia is experiencing skills shortages in key professions such as engineering, planning and financial management, and councils also face competition for skilled workers from mining and other growth industries which can often afford much higher wages. This situation calls for new approaches to recruiting, retaining and up-skilling staff. It also raises the question of whether the pool and quality of senior managers is sufficient to support the current number of councils at the level of professionalism required.

### The Panel will need to:

- **Review available information on future challenges, opportunities and directions set out in the State Plan, regional strategies and other relevant documents.**
- **Commission further analysis to identify how demographic, economic and technological trends are likely to impact different communities across NSW, and what this will mean for local government.**
- **Consider whether those councils most affected by change – whether it be rapid growth or significant decline – have the capacity to deal with the challenges they face, and what options exist to enhance their capacity.**
- **Assess whether models of local government and service delivery may need to vary from one part of the state to another.**



# 2

ORD16

## 2. Councils' ability to deliver services and infrastructure efficiently, effectively and in a timely manner

### Did you know?

- NSW councils spend over \$9.3 billion each year to carry out their functions in service delivery, infrastructure, planning, regulation, economic and social development etc.
- Councils are responsible for about \$117 billion in public assets, including roads, water, sewer, and drainage systems, parks, swimming pools, libraries, community centres and many others.
- The Local Government Act 1993 provides NSW councils with their major powers, functions and responsibilities. The Act empowers councils to independently plan and manage local services and facilities in consultation with their communities.
- Councils also have responsibilities under over 120 other Acts, including the Environmental Planning and Assessment Act 1979, the Food Act 2003 and the Roads Act 1993.

With the changing and growing needs of many communities, the ability of councils to deliver services and infrastructure efficiently, effectively and in a timely manner is increasingly under strain. Councils are responding to this in different ways, through improved planning, asset and financial management; through increased delivery of shared services with adjoining or nearby councils (using county councils, jointly owned companies, regional organisations of councils or strategic alliances); and through contracting-out or public-private partnerships.

However, some councils argue they are overburdened with regulation, and that they encounter barriers in establishing joint enterprises and working with other levels of government. Many have experienced difficulties in recruiting and retaining skilled staff. Limited revenues are another cause for concern, although the State government recently introduced a Local Infrastructure Renewal Scheme that provides interest free subsidies for councils wishing to borrow for infrastructure projects.

Ensuring adequate provision and maintenance of community infrastructure is a particular challenge. A very large infrastructure backlog has arisen in recent decades due to inadequate funding of depreciation and asset renewal.

In 2006, the 'Allan' inquiry estimated the backlog at over \$6 billion. To address this, the inquiry concluded that local councils would need to spend at least an extra \$900 million per annum. It is doubtful whether councils can both address the backlog and maintain other essential services within their current financial capacity. However, at this stage we need more and better data to determine precisely how serious the infrastructure backlog has become, and what options exist to tackle problems.

One of the reasons put forward to explain the infrastructure backlog is the wider range of services now being provided by councils. Since the 1970s many councils have moved into new areas of activity such as environmental management, economic development, aged care and a variety of other community services. This has imposed cost pressures, and spending on more traditional items such as road maintenance has been held back to balance budgets.

### Integrated Planning and Reporting

In 2009 new requirements were introduced for councils to improve planning for their activities through Integrated Planning and Reporting (IPR). This requires each council to work with their communities to prepare a Community Strategic Plan that covers at least the next 10 years and identifies priorities and aspirations for the future of the local government area.

Councils must then translate the strategic plan into a 4 year Delivery Program and annual Operational Plan to achieve the strategic goals during their term of office. This involves setting out the services and facilities to be provided, how much they will cost, and how they will be funded.

The aim of IPR is to encourage councils to plan more carefully and in more detail to ensure that priority services and infrastructure can be delivered efficiently and effectively, thereby meeting community needs to the maximum possible extent.

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Attachment 2

### The Panel will need to:

- **Assess the underlying capacity of NSW local government to undertake its current broad range of functions.**
- **Understand the extent of the infrastructure backlog, the issues that have caused it, and ways it might be addressed.**
- **Look at trends around Australia and abroad to identify potential new or improved models of service delivery and whether they may be suitable in NSW.**
- **Examine possible barriers to delivering better services, for example, funding issues, legislative requirements, skills shortages and governance arrangements.**

### Regional collaboration

One way councils can increase their capacity to deliver services and infrastructure is through regional collaboration. 'Resource sharing' and 'shared services' are growing in importance, and take various forms.

In NSW there are 14 County Councils formally established under the Local Government Act to provide joint services for member councils (7 for water supply, 6 for weeds eradication and 1 for floodplain management).

Most NSW councils are members of one or more of the 18 Regional Organisations of Councils (ROCs) which cover most of the state. As well as being forums for regional advocacy, research and planning, ROCs can provide councils with bulk buying power and provide important services to local and regional communities. For example, ROCs may play a role in waste management, water supply and sewerage, libraries, roads, environmental management and regional facilities.

There are over 600 other council partnerships, including special interest groups, sister cities, strategic alliances and legally binding contracts. Some ROCs and other partnerships have established separate corporate entities to provide services on a more commercial basis, although this can raise concerns that staff will no longer be employed under the local government award.



# 3

ORD16

## 3. The financial sustainability of each local government area

### Did you know?

- Rates are the only tax available to local councils, but they can also levy a range of fees and user charges (e.g. for waste collection, water and sewerage, swimming pools).
- Councils collect around \$4.7 billion each year in rates and annual charges – about 46% of their total revenue.
- In 2009-10, the average residential rate in NSW was \$786, and ranged between \$96 and \$1,234.
- In 2008-09 the proportion of revenue from rates in Australian jurisdictions varied from 17% (\$327 per capita) to 55% (\$589 per capita) with NSW at 34% (\$426 per capita)
- Rate concessions to pensioners, charities etc cost councils about \$60 million pa.
- The annual revenue of the City of Sydney (\$504 million) is over 70 times the annual revenue of Urana Council (around \$7 million, the smallest).
- In 2011-12, it is anticipated that NSW local councils will receive over \$480 million in general purpose financial assistance grants from the Commonwealth Government.
- In 2010-11, NSW local councils spent over \$9 billion, including \$1.7 billion (around 20%) on transport and communications – mostly roads and \$1.1 billion (about 13%) on recreation and culture.
- Councils spend around \$3.4 billion (36% of their annual expenditure) on employee costs.

Ensuring the financial sustainability of councils is a central challenge in maintaining a strong and effective system of local government.

A sustainable council is one that is able to meet all its essential commitments in the short, medium and long term, provide a good level of services that the public can afford, and manage any unforeseen financial pressures or shocks (such as a natural disaster). We know that many councils struggle to meet these criteria. A 2006 Access Economics study conducted for the 'Allan' Inquiry suggested that around 26% of NSW councils may be unsustainable in the medium-long term.

In most cases the key factors in determining sustainability are the size of the council's revenue base and the scale of the infrastructure backlog discussed in the previous section. Many small (in population) councils in NSW have very limited revenues from rates and charges and are heavily dependent on State and Federal grants. On the other hand, research by the Productivity Commission has shown that some communities would be able to afford increased rates to strengthen their council's finances and pay for necessary improvements to services and infrastructure.

Since 1979 NSW has had a system of rate-pegging designed to protect households against excessive increases in rates, and to encourage councils to become more efficient. The system was reviewed in 2008 and some adjustments have been made since then. Councils can apply to the Independent Pricing and Regulatory Tribunal (IPART) to increase rates above the annual limit, provided they have a strong case that the funds are needed and can demonstrate a high level of community support. IPART's work suggests that ratepayers may be willing to pay more if they are convinced the additional funds will be earmarked for specific improvements to essential services and facilities.

### Sustainability and infrastructure assessments

To assist the Panel, the Division of Local Government has commissioned the NSW Treasury Corporation (TCorp) to analyse the financial sustainability of each council. Also, the Panel will be able to draw on the findings of similar studies in other states, and compare both the financial position of NSW councils with that of their counterparts elsewhere, and the policy settings that apply.

In addition, the Division of Local Government is conducting a council-by-council audit of the local infrastructure backlog, covering maintenance, renewal and the building of new infrastructure that is required to provide for existing needs and future growth. It will provide better information on where investment is needed and identify how the State Government can work with councils to deliver on those needs through initiatives like its Local Infrastructure Renewal Scheme.

Local government organisations have argued strongly that to improve the sustainability of councils State and Federal grants to councils should be increased, there should be no more 'cost-shifting' – transfer of responsibilities from State and Federal governments to councils without corresponding funding, and rate-pegging should be abolished. These claims need to be tested: the capacity of State and Federal governments to provide increased grants to councils in the short-medium term appears very limited; the extent of 'cost-shifting' has yet to be agreed; and relatively few councils seek 'special variations' above the rate-pegging limit. Also, several studies have found that some councils could do more to help themselves through improved asset and financial management.

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Attachment 2

ORD16

Attachment 2

### Review of the revenue system

As mentioned earlier, the Destination 2036 Implementation Steering Committee has asked the Panel to 'examine the current Local Government revenue system to ensure the system is contemporary, including rating provisions and other revenue options' (item 5b in the Action Plan). In its Action Plan the Committee states that:

... a number of other changes over the period [since the 'Allan' inquiry], such as the cap on developer contributions under section 94 of the Environmental Planning and Assessment Act 1979, have negatively impacted on revenue flexibility for some councils.

...Government legislation should be reviewed to ensure the system is contemporary in the context of the principles of Local Government taxation; namely equity, benefit to the community, capacity of ratepayers to pay, the efficiency of the impact of the taxes, and the simplicity of the taxation system.



### The Panel will need to:

- **Review and update previous research into the sustainability of NSW councils.**
- **Carefully examine the findings of the new TCorp assessments of each council's finances and the Division of Local Government's council-by-council infrastructure audits.**
- **Determine whether councils are likely to have access to sufficient revenues to meet future needs for adequate services and infrastructure, and if not, identify options to increase revenue or reduce costs.**
- **Look at how other jurisdictions in Australia and elsewhere deal with the capacity of local government to raise revenues within acceptable limits of fiscal responsibility.**
- **Consider the possible need for further improvements to financial and asset management.**

# 4

ORD16

## 4. The ability of councils to provide local representation and decision-making

### Did you know?

- There are 1,513 councillors across NSW (including 152 Mayors) as well as 14 County Council Chairs and 27 County Council members.
- The number of residents per councillor ranges from 141 to around 20,000.
- Currently 32 mayors are popularly elected. Other mayors are chosen by the councillors.
- 27% of councillors are female, compared to about 50% of the NSW population.
- 1.6% of councillors identify as Aboriginal or Torres Strait Islander, compared to 2.2% of the population.
- 3% of councillors identify as having a disability, compared to 4% of the population.
- 9% of councillors speak a language other than English at home, compared to 26% of the population.
- Councillors are paid an allowance of between \$7,740 and \$34,100 pa. Mayors receive an additional allowance of between \$8,220 and \$74,530 pa (with the exception of the City of Sydney whose Mayor is paid up to \$187,180 pa). The amount paid depends on the characteristics of the council.

Effective local representation and decision making is at the heart of strong local government. To understand how well councils do this now and how it could be done in the future, we need to look at the building blocks of governance in NSW councils. These include the provisions of the Local Government Act for elections and the roles of mayors, councillors and general managers, as well as the Model Code of Conduct and other guidelines and processes designed to ensure the highest standards of probity and performance.

The quality of decision making depends on the information available, the skills of decision-makers (whether elected members or senior managers), and the way they go about their task. Are councils doing everything possible to ensure that decisions are based on accurate information and sound judgement? In what ways could decision-making be improved?

Of particular importance is the extent and nature of community engagement in planning and decision-making processes. Effective consultation with residents and stakeholders is a central tenet of local government and planning legislation: the Integrated Planning and Reporting arrangements require preparation of a Community Strategic Plan that is based on extensive community engagement to faithfully reflect community priorities and aspirations. Another

key element is regular, thorough and accurate reporting to the community on progress in implementing the Plan and on council's broader activities and financial position.

Many councils are looking for new and better ways of engaging with their communities and providing opportunities for residents to be more involved in local decision making. Neighbourhood committees and forums have been used for many years. In New Zealand, these may take the form of elected Community or Local Boards with their own budgets for small-scale projects and programs.

Increasingly, the internet and social media are being used not only to disseminate information but also to interact with residents and stakeholders on important issues. Some councils have established 'online' panels made up of a representative cross-section of residents who are surveyed regularly to explore community views. New technologies are changing people's expectations about their dealings with local government in terms of both exchanging information and the way services are delivered.

As mentioned earlier, across NSW there are many variations in the way councils are elected and governed. A central issue is the election and role of the mayor. Currently mayors may be popularly elected for the full term, or chosen each year by the councillors. About 20% are popularly elected, but this does not change their legal powers and responsibilities under the Local Government Act. By contrast, in Queensland all mayors are popularly elected, are paid to be full-time, and have additional powers to help ensure the effective running of their councils. Similar provisions are about to be introduced in New Zealand.

### Powers and duties of Queensland mayors

- Leading and managing meetings of the local government at which the mayor is the chairperson, including managing the conduct of the participants at the meetings.
- Proposing the adoption of the council's budget.
- Liaising with the chief executive officer on behalf of the other councillors.
- Leading, managing, and providing strategic direction to the chief executive officer in order to achieve the high quality administration of the local government.
- Directing the chief executive officer, in accordance with the local government's policies.

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Attachment 2

Another debate centres on the roles and numbers of councillors. The current approach across Australia is to have a small number of councillors who are expected to work as a 'board of directors', dealing mainly with policy and strategic issues. Implementation of policy and 'day to day' administration is left to the general manager.

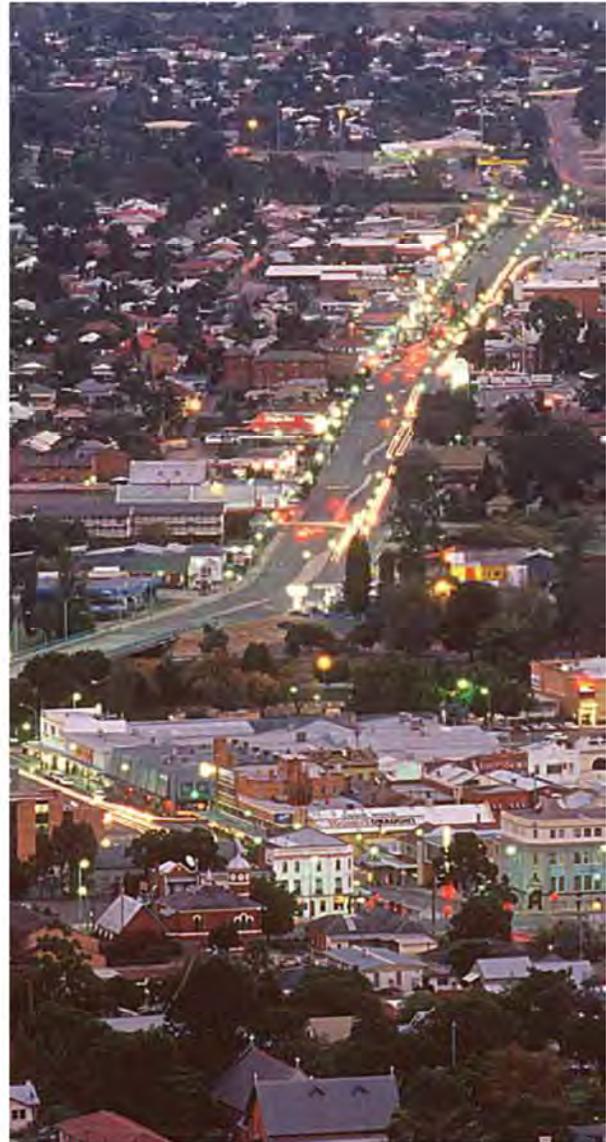
In rural areas and country towns the ratio of population to councillors is typically low, perhaps 1:2,000 or less. However, in large urban councils the ratio can be 1:10,000 or more – and the councillors are still only part-time. This raises questions about whether councillors can really keep in touch with their constituents and hence the quality of local representation. In the UK the average ratio of councillors to population is around 1:5,000. Thus there may be a large number of councillors (often 40 or more), but most are 'backbenchers' and leadership is provided by a small 'cabinet'. In Australia, a 'cabinet' model has been used for many years in Brisbane City Council.

It is important that the composition of councils – both elected members and the workforce – is broadly representative of the local community. At present women, younger people and various other sectors of the population tend to be under-represented generally, or more specifically amongst councillors and senior management. Efforts have been made by governments and councils themselves to change this situation but it appears that much more needs to be done to ensure that local government is truly representative and draws on the diverse talents and resources of its communities.

Further discussion is also needed on other issues flagged earlier, including the use of wards and local committee structures, the respective roles and relationships between elected members and senior managers, and improving the knowledge and skills of both groups.

### The Panel will need to:

- **Gather information from other states and internationally to compare emerging ideas and trends with current practice in NSW.**
- **Assess whether existing legislation, policies and institutional arrangements establish the best possible basis for sound representation and decision-making.**
- **If necessary, develop options for new or modified approaches to the way councils are elected, led and organised, and how they relate to their communities.**





## 5. Barriers and incentives to voluntary boundary changes

### Did you know?

- Since 1906 the number of councils in NSW has fallen progressively from 327 to 152 as a result of mergers.
- This reduction is similar to Australia as a whole which has seen the total fall from 1,067 in 1910 to 565 councils.
- The last group of mergers in NSW occurred in 2003-04, cutting the number of councils from 172 to 152.
- Tasmania, Victoria, South Australia and Queensland have all experienced more dramatic amalgamations in recent decades (cutting numbers by 30-60% in one round), but in each case there had been little previous change.
- Nearly all mergers and boundary changes in NSW have been outside the Sydney metropolitan area. The only changes to local government in Sydney have been the voluntary merger of Drummoyne and Concord to form Canada Bay; the separation of Pittwater from Warringah; and various adjustments to the City of Sydney (most recently its amalgamation with South Sydney in 2004).

The Panel has been asked to consider barriers and incentives for voluntary boundary changes, which it takes to include council mergers. In doing so, it has to take into account the Liberal-National parties' 2011 election policy of no forced amalgamations. Boundary changes and council amalgamations have been one of the principal avenues of local government reform in all parts of Australia and internationally. In most instances, councils have strongly resisted such changes and sooner or later central governments (state or national) have intervened to force major restructuring. The sweeping amalgamations of councils that took place in Victoria in the mid 1990s, and in Queensland in 2007-08, are well known examples of State intervention.

By contrast, the amalgamations that took place in South Australia in the 1990s were semi-voluntary: the State government commissioned a review that set out an agenda for reform, and councils then negotiated mergers within that framework. There have also been examples of completely voluntary amalgamations, such as those between Concord and Drummoyne in Sydney to form Canada Bay Council, and more recently a successful merger in Western Australia between the City of Geraldton and the Shires of Greenough and Mullewa.

Recent research by the Australian Centre of Excellence examined the rationale for different forms of 'consolidation' in local government: boundary changes, shared services and mergers. It found that 'form must follow function' – the type of consolidation that will work best depends on the circumstances of the case and precisely what governments are trying to achieve. All options need to be given careful consideration.

One of the main reasons put forward for amalgamations is that larger councils will be more efficient, generate substantial economies of scale and make it possible to cut rates. However, those arguments have been hotly contested, and where economies can be achieved they usually need to be ploughed back into tackling infrastructure backlogs rather than used to reduce rates. An alternative argument is that larger councils are more likely to have greater 'strategic capacity' – the ability to deliver more and better services, to plan effectively for the future of their communities, to advocate and negotiate on behalf of their residents and stakeholders, and to play a stronger role in the wider system of government.



More than a decade ago the NSW Local Government and Shires Associations issued a discussion paper on voluntary structural reform (including mergers, boundary changes and shared services). The discussion paper suggested that ongoing change was inevitable and councils needed to be proactive in implementing the right sort of changes for their areas. It also pointed to research showing that previous rounds of amalgamations had generally produced good results. However, although there has been a considerable increase in shared services and regional collaboration over the past decade, other types of voluntary structural reform continue to meet firm resistance. Clearly councils and many in their communities do not see sufficient benefits in change, and remain concerned about loss of local identity, loss of funding and loss of jobs. This is despite protections that have been put in place to safeguard grant funding and jobs when mergers take place.

### The Panel will need to:

- **Identify factors which should drive the shape and size of local government areas.**
- **Review the successes and failures of previous rounds of structural reform in NSW and elsewhere.**
- **Consider the extent to which increased regional collaboration and shared services can bring about necessary strengthening of local government without the need for extensive boundary changes.**
- **Explore the underlying factors and concerns in continued opposition to boundary changes.**
- **Determine whether and how barriers to voluntary change can be overcome.**

### Perth Metropolitan Review

A current independent review of local government in the Perth metropolitan region has suggested the number of councils be reduced by more than half. Like the NSW Panel, the Perth review was given terms of reference that covered not only boundaries but also broader governance structures.

Some of the key findings of the Perth review are:

- Enhanced leadership across the State and local government sector and the wider community will be required to manage the extraordinary growth of metropolitan Perth over the next 50 years.
- The current local government arrangements will not provide the best outcomes for the community into the future. The status quo cannot and should not remain.
- The outcome of the Review should be a stronger, more effective, more capable local government sector, with an enhanced role and greater authority.
- The creation of larger local governments alone will not address all the shortcomings of the present system.
- The structure and governance arrangements for local government in Perth cannot be considered in isolation from the role and function of local government, and from the relationship between State government and local governments.
- A sense of place and local identity can be maintained through appropriate governance regardless of the size of a local government.

## Next steps in the review

The Panel will be consulting widely throughout the review process. We want to hear the views of communities, councils, businesses, unions and anyone else with an interest in stronger, more effective local government for NSW.

Consultation will take place in stages and in different ways as the review progresses.

There will be numerous opportunities to get involved and contribute your views. These will include regional meetings with councils and community organisations; written submissions; focus groups; and roundtables on key issues.

The Panel intends to structure the review in four stages.

### Stage 1: Identifying key issues and exploring ideas (July-September 2012)

The first stage of consultation, which starts with the launch of this Consultation Paper, will look at the issues facing local communities and the councils that serve them now and over the next 25 years.

During the next two months the Panel will hold a series of meetings in regions around the State and in the metropolitan area, to discuss the issues in this paper and learn more about the challenges faced by different communities.

Details of meetings will be made available on the Panel's website.

### Stage 2: Options for change (October 2012- January 2013)

This stage will commence with the release of a 'case for change' paper based on the first round of consultations and background research carried out for the Panel. It will seek to generate debate on a range of potential models for governance, structures and boundaries to meet future challenges.

Consultation will focus on key issues and ideas, and will mainly take the form of roundtables and focus groups.

### Stage 3: Future directions (February-May 2013)

This final stage of consultation will be based on a third paper that will set out the Panel's emerging views on what sort of changes may need to be made to governance, structures and boundaries in different parts of NSW. It will include the Panel's ideas on barriers and incentives for voluntary boundary changes.

Consultation in Stage 3 will include a further round of regional meetings across NSW, and a call for written responses to the 'future directions' paper.

### Stage 4: Final report (June- July 2013)

The Panel will submit its final report and recommendations to Government by mid-July 2013.

## Call for written submissions

To start the review process the Panel would like to hear your views on the following questions:

1. **What are the best aspects of NSW local government in its current form?**
2. **What challenges will your community have to meet over the next 25 years?**
3. **What 'top 5' changes should be made to local government to help meet your community's future challenges?**

To provide your views you can complete the online feedback form or download and complete a form and send it to us.

**Visit:** [www.localgovernmentreview.nsw.gov.au](http://www.localgovernmentreview.nsw.gov.au)

**Email:** [info@localgovernmentreview.nsw.gov.au](mailto:info@localgovernmentreview.nsw.gov.au)

**Post:** Independent Local Government Review Panel,  
C/- Locked Bag 3015, Nowra NSW 1541

**Remember the Panel is looking for sound evidence on which to base its findings and recommendations. So please make sure your submission is backed-up by accurate information. You can attach additional material if you wish.**

**Stage 1 - Submissions close on 14th September 2012**

**If you have questions about the submission process or the review please call us on (02) 4428 4140.**

#### Disclaimer

All submissions may be made publicly available. If you do not want any part of the submission or your personal details released, because of copyright or other reasons, please indicate this clearly in your submission together with an explanation.

However, you should be aware that even if you state that you do not wish certain information to be published, there may be circumstances in which the Government is required by law to release that information (for example, in accordance with the requirements of the Government Information (Public Access) Act 2009).

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**ORD16**

**Attachment 2**

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## ORDINARY COUNCIL

ORD17

ORD17

**SUBJECT:** INVESTMENT MONIES- JULY 2012  
**FROM:** Manager Corporate Services  
**BINDER:** Investment Monies

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### PURPOSE OF REPORT

In accordance with Part 9, Division 5, Section 212 of the Local Government (General) Regulation 2005, a list of investments held by Council as at 31 July 2012 is provided.

### MAIN REPORT

Council's new Investment Report is an **attachment** to this report. The new report has been developed with the help of Council's investment advisor Oakvale Capital. This report will provide a clear understanding of how Council invests public money, how Council's investments are performing against benchmark and will demonstrate compliance with Council's adopted investment policy.

The weighted average return on all investments was 5.50% p.a. for the month of July 2012.

It is certified that all investments have been made in accordance with Section 625 of the *Local Government Act 1993*, the relevant regulations and Council's Investment Policy.

The Principal Accounting Officer is the Manager Corporate Services.

### RECOMMENDED

**That Council:**

**That:**

- i. **Council note that the Principal Accounting Officer has certified that all investments held by Council have been made in accordance with the *Local Government Act, Regulations, and Council's Investment Policy.***
- ii. **the list of investments for July 2012 be noted.**
- iii. **the weighted average interest rate return of 5.50% p.a. for the month of July 2012 be noted.**

### ATTACHMENTS

1. Investment Report July 2012





The Council of Camden  
Investment Summary

Purchase Date	Institution	Rating	Purchase Price	Face Value	Type	Term	Maturity	Interest Rate	Accrued Interest	Reference
15-Feb-12	Suncorp Meitway	A-1	\$1,500,000	\$1,500,000	Term Deposit	183 days	16-Aug-12	6.00%	\$41,424.66	2501
8-Mar-12	Westpac Banking Corporation	A-1+	\$3,000,000	\$3,000,000	Term Deposit	147 days	02-Aug-12	5.82%	\$69,840.00	2507
14-Mar-12	Bank of Western Australia	A-1+	\$1,500,000	\$1,500,000	Term Deposit	148 days	09-Aug-12	5.78%	\$33,254.80	2508
15-Mar-12	Suncorp Meitway	A-1	\$2,000,000	\$2,000,000	Term Deposit	161 days	23-Aug-12	5.87%	\$44,708.50	2509
15-Mar-12	Suncorp Meitway	A-1	\$2,000,000	\$2,000,000	Term Deposit	168 days	30-Aug-12	5.87%	\$44,708.49	2510
21-Mar-12	ING Bank (Australia) Limited	A-1	\$1,500,000	\$1,500,000	Term Deposit	211 days	18-Oct-12	6.10%	\$33,341.10	2511
28-Mar-12	National Australia Bank Limited	A-1+	\$1,000,000	\$1,000,000	Term Deposit	161 days	06-Sep-12	5.90%	\$20,205.48	2512
18-Apr-12	Bank of Western Australia	A-1+	\$2,500,000	\$2,500,000	Term Deposit	105 days	01-Aug-12	5.80%	\$41,712.33	2515
26-Apr-12	Suncorp Meitway	A-1	\$1,000,000	\$1,000,000	Term Deposit	140 days	13-Sep-12	5.50%	\$14,616.44	2516
3-May-12	Credit Union Australia	BBB	\$1,000,000	\$1,000,000	Term Deposit	728 days	1-May-14	5.95%	\$14,671.23	2518
10-May-12	Credit Union Australia	BBB	\$1,000,000	\$1,000,000	Term Deposit	728 days	8-May-14	5.95%	\$13,530.14	2519
17-May-12	Members Equity Bank Melbourne	A-2	\$1,500,000	\$1,500,000	Term Deposit	126 days	20-Sep-12	5.50%	\$17,178.08	2520
23-May-12	Heritage Bank Ltd	A-1+	\$1,500,000	\$1,500,000	Term Deposit	127 days	27-Sep-12	5.40%	\$15,534.25	2521
24-May-12	National Australia Bank Ltd	A-1+	\$2,000,000	\$2,000,000	Term Deposit	133 days	04-Oct-12	5.21%	\$9,849.04	2522
31-May-12	National Australia Bank Ltd	A-1+	\$2,000,000	\$2,000,000	Term Deposit	133 days	11-Oct-12	5.20%	\$17,665.75	2523
6-Jun-12	National Australia Bank Ltd	A-1+	\$2,000,000	\$2,000,000	Term Deposit	141 days	25-Oct-12	5.10%	\$15,649.32	2524
8-Jun-12	Bank of Queensland	A-2	\$1,500,000	\$1,500,000	Term Deposit	146 days	01-Nov-12	5.25%	\$11,650.68	2525
14-Jun-12	Bank of Queensland	A-2	\$3,000,000	\$3,000,000	Term Deposit	147 days	08-Nov-12	5.20%	\$20,515.07	2526
15-Jun-12	Westpac Banking Corporation	A-1+	\$2,000,000	\$2,000,000	Term Deposit	153 days	15-Nov-12	6.06%	\$13,065.48	2527
28-Jun-12	National Australia Bank Limited	A-1+	\$3,000,000	\$3,000,000	Term Deposit	175 days	20-Dec-12	5.20%	\$14,531.51	2528
4-Jul-12	National Australia Bank Limited	A-1+	\$1,500,000	\$1,500,000	Term Deposit	141 days	22-Nov-12	5.11%	\$5,880.00	2529
4-Jul-12	National Australia Bank Limited	A-1+	\$1,500,000	\$1,500,000	Term Deposit	148 days	29-Nov-12	5.11%	\$5,880.00	2530
5-Jul-12	Westpac Banking Corporation	A-1+	\$1,500,000	\$1,500,000	Term Deposit	154 days	06-Dec-12	5.05%	\$5,603.42	2531
11-Jul-12	Bank of Western Australia	A-1+	\$2,000,000	\$2,000,000	Term Deposit	148 days	06-Dec-12	4.85%	\$5,580.82	2532
12-Jul-12	Westpac Banking Corporation	A-1+	\$1,500,000	\$1,500,000	Term Deposit	154 days	13-Dec-12	5.05%	\$4,150.68	2533
19-Jul-12	Westpac Banking Corporation	A-1+	\$1,500,000	\$1,500,000	Term Deposit	153 days	19-Dec-12	5.00%	\$2,671.23	2534
25-Jul-12	Bank of Western Australia	A-1+	\$1,500,000	\$1,500,000	Term Deposit	105 days	07-Nov-12	5.05%	\$1,452.74	2535
27-Jul-12	Westpac Banking Corporation	A-1+	\$1,000,000	\$1,000,000	Term Deposit	160 days	03-Jan-13	5.00%	\$984.93	2536
27-Jul-12	Suncorp Meitway	A+	\$1,000,000	\$1,000,000	Term Deposit	734 days	31-Jul-14	5.14%	\$704.11	2537
Totals various	Commonwealth Bank of Australia	A-1+	\$48,500,000	\$48,500,000	Call Account			3.75%	\$540,200.28	At Call
Totals			\$1,535,000	\$1,535,000						
			\$50,035,000	\$50,035,000						

\* Heritage Bank have requested S&P no longer provide a credit rating in relation to the bank. However, Heritage is still rated by Moody's (A3 long term, P2 short term) and by Fitch (BBB- longer term, F2 short term). Council's investment in Heritage continues to fully comply with the current Investment Policy.

As at 31 July 2012

The Council of Camden  
Investment Summary

Compliance with Council's adopted investment policy

Distribution of Funds by Financial Institution						
Financial Institution	Investment Balance	Current Weighting	Investment Policy Limit	Investment Policy Compliance	Short/Long Rating	
Bank of Western Australia	\$7,500,000	14.99%	25%	Yes	A1+	AA-
Commonwealth Bank of Australia	\$1,535,000	3.07%	25%	Yes	A1+	AA-
National Australia Bank	\$12,000,000	23.98%	25%	Yes	A1+	AA-
Westpac Banking Corporation	\$10,500,000	20.98%	25%	Yes	A1+	AA-
Suncorp Bank	\$7,500,000	14.99%	15%	Yes	A1	A+
ING Bank (Australia) Limited	\$1,500,000	3.00%	5%**	Yes	A1	A
Bank of Queensland	\$4,500,000	8.99%	10%	Yes	A2	BBB+
Credit Union Australia	\$2,000,000	4.00%	5%*	Yes	A2	BBB
Members Equity Bank	\$1,500,000	3.00%	10%	Yes	A2	BBB
Hertlage Bank	\$1,500,000	3.00%	5%	Yes	A3	BBB-
<b>Total Investment</b>	<b>\$50,035,000</b>	<b>100.00%</b>				
Exposure to Rating Categories						
AAA / A1+ Category	\$31,535,000	63.02%	100%	Yes		
AA / A1 Category	\$8,000,000	15.99%	75%	Yes		
A / A2 Category	\$7,000,000	13.99%	30%	Yes		
BBB / A3 Category	\$3,500,000	7.00%	10%	Yes		
Other						
NSW T-Corp Cash Facilities (unrated)	\$0	0.00%	30%	Yes		
<b>Total Investment</b>	<b>\$50,035,000</b>	<b>100.00%</b>				
Term to Maturity Limits						
Portfolio % < 1 yr	\$47,035,000	94.00%	min 40%	Yes		
Portfolio % > 1 yr < 3 yrs	\$3,000,000	6.00%	60%	Yes		
Portfolio % > 3 yrs < 5 yrs	\$0	0.00%	30%	Yes		

\* Credit Union Australia (CUA) has a 5% investment policy limit as all investments with CUA are long term investments  
 \*\* ING Bank (Australia) has a 5% investment policy limit as it is an authorised depository institution that is a foreign subsidiary bank



## The Council of Camden Investment Summary

Maturity Profile	Investment	Percentage
Less than 30 days	\$12,035,000	24.05%
Between 30 days and 60 days	\$7,000,000	13.99%
Between 60 days and 90 days	\$6,500,000	12.99%
Between 90 days and 180 days	\$21,500,000	42.97%
Between 180 days and 365 days	\$0	0.00%
Between 365 days and 2 years	\$3,000,000	6.00%
<b>Total investment</b>	<b>\$50,035,000</b>	<b>100.00%</b>

SOURCE OF FUNDS INVESTED	
SEC 94 DEVELOPER CONTRIBUTIONS	\$19,941,600
RESTRICTED GRANT INCOME	\$1,668,500
EXTERNALLY RESTRICTED RESERVES	\$11,570,200
INTERNALLY RESTRICTED RESERVES	\$15,059,200
GENERAL FUND	\$1,795,500
<b>TOTAL</b>	<b>\$50,035,000</b>

The source of funds invested are indicative only, due to Council's annual financial reports still being finalised for 30 June 2012.



As at 31 July 2012

# Attachment 1 ORD17

The Council of Camden

Investment Summary

Investment Portfolio Balance	Performance vs Benchmark
<p>The overall reduction in Council's investment portfolio of \$2.2 million from June to July has been used to fund Council's general operations and capital works payments relating to works completed in 2011/12.</p>	<p>Council's portfolio had a weighted average yield of 5.50%pa for the month of July, strongly outperforming the UBS 90 day Bank Bill index's 3.50%pa return. Council originally budgeted for an interest rate of 5.90%pa, with the reduction in the official cash rate by the Reserve Bank this figure will be revised at the September quarterly budget review. Council received \$368,968 in interest from its investment portfolio during July.</p>

As at 31 July 2012



## The Council of Camden

### Investment Summary

#### Standard & Poor's Ratings Description

Standard & Poor's (S&P) is a professional organisation that provides analytical services. An S&P rating is an opinion of the general creditworthiness of an obligor with respect to particular debt security or other financial obligation — based on relevant risk factors.

Credit ratings are based, in varying degrees, on the following considerations:

- Likelihood of payment.
- Nature and provisions of the obligation.
- Protection afforded by, and relative position of, the obligation in the event of bankruptcy, reorganisation or other laws affecting creditors' rights.

The issue rating definitions are expressed in terms of default risk.

#### S&P Short-Term Obligation Ratings are:

**A-1:** This is the highest short-term category used by S&P. The obligor's capacity to meet its financial commitment on the obligation is strong. Within this category, certain obligations are designated with a plus sign (+). This indicates that the obligor's capacity to meet its financial commitment on these obligations is extremely strong.

**A-2:** A short-term obligation rated A-2 is somewhat more susceptible to the adverse effects of changes in circumstances and economic conditions than obligations in higher rating categories. However, the obligor's capacity to meet its financial commitment on the obligation is satisfactory.

**A-3:** A short-term obligation rated A-3 exhibits adequate protection parameters. However, adverse economic conditions or changing circumstances are more likely to lead to a weakened capacity of the obligor to meet its financial commitment on the obligation.

#### S&P Long-Term Obligations Ratings are:

**AAA:** An obligation/obligor rated AAA has the highest rating assigned by S&P. The obligor's capacity to meet its financial commitment on the obligation is extremely strong.

**AA:** An obligation/obligor rated AA differs from the highest rated obligations only in a small degree. The obligor's capacity to meet its financial commitment on the obligations is very strong.

**A:** An obligation/obligor rated A is somewhat more susceptible to the adverse effects of changes in circumstances and economic conditions than obligations/obligor in higher rated categories. However, the obligors' capacity to meet its financial commitment on the obligation is still strong.

**BBB:** An obligation/obligor rated BBB exhibits adequate protection parameters. However, adverse economic conditions or changing circumstances are more likely to lead to a weakened capacity to the obligor to meet its financial commitment on the obligation.

**Unrated:** Financial institutions do not necessarily require a credit rating from the various ratings agencies such as Standard and Poor's and these institutions are classed as "Unrated". Most Credit Unions and Building Societies fall into this category. These institutions nonetheless must adhere to the capital maintenance requirements of the Australian Prudential Regulatory Authority (APRA) in line with all Authorised Deposit Taking Institutions (Banks, Building Societies and Credit Unions).

**Plus (+) or Minus (-):** The ratings from "AA" to "BBB" may be modified by the addition of a plus or minus sign to show relative standing within the major rating categories. Each new investment and investment recall requires two authorised signatories.

As at 31 July 2012



# Attachment 1 ORD17

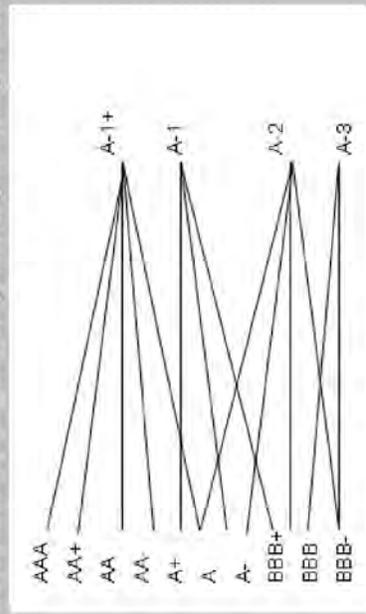
## The Council of Camden Investment Summary

CreditWatch highlights an emerging situation, which may materially affect the profile of a rated corporation and can be designed as positive, developing or negative. Following a full review the rating may either be affirmed or changed in the direction indicated.

A Rating Outlook assesses the potential direction of an issuer's long-term debt rating over the intermediate-to-long term. In determining a Rating Outlook, consideration is given to possible changes in the economic and/or fundamental business conditions. An outlook is not necessarily a precursor of a ratings change or future CreditWatch action. A "Rating Outlook – Positive" indicates that rating may be raised. "Negative" means a rating may be lowered. "Stable" indicates that ratings are not likely to change. "Developing" means ratings may be raised or lowered.

### S&P Ratings Correlations

The standard correlation of short-term ratings with long-term ratings is shown below.



### Profile of Recently Invested Institutions

**CUA (S&P: A2/BBB)** – CUA is Australia's largest credit union with over \$9b in assets. CUA relies on customer deposits for about 70% of its funding, while securitisation makes up 25% of its funding requirements. Its latest profit was \$24m (6 months to Dec 2011) and its Tier 1 Capital Adequacy Ratio was 13.8% (Dec 2011).

**ME Bank (S&P: A2/BBB)** - ME Bank is owned by industry super funds and has assets of around \$8.7b. ME Bank has a heavy reliance on securitisation (59% of funding as of Sep 30 2011) however it is planning to reduce this to 25% by increasing its customer deposits (which make up only 25% of its funding). Its latest profit was \$26m (12 months to June 2011) and its Tier 1 Capital Adequacy Ratio was 12.73% (Mar 2012).

**Bank of Queensland (S&P: A2/BBB+)** – BoQ is a nationwide bank that is listed on the Australian stock exchange with around \$40b in assets. Deposits make up 57% of total funding, wholesale funds 31%, and securitisation 12%. Its latest profit was -\$91m (6 months to Feb 2012), however this included a \$327.7m impairment on loans and its Tier 1 Capital Adequacy Ratio was 7.35% (Feb 2012).

**Heritage Bank (Moody's: P2/A3)** – Queensland based bank that has over \$8b in assets. Heritage relies on customer deposits for about 50% of its funding, securitisation makes up 23% and wholesale funds around 20%. Its latest profit was \$32m (12 months to June 2011) and its Tier 1 Capital Adequacy Ratio was 10.5% (Dec 2011).

As at 31 July 2012





# ORDINARY COUNCIL

ORD18

ORD18

**SUBJECT:** 2011/12 BUDGET - EXPENDITURE REVOTES  
**FROM:** Director Governance  
**BINDER:** 2011/12 Budget

## PURPOSE OF REPORT

The purpose of this report is to seek Council's approval to revoke a list of specific projects that were incomplete or not commenced as at 30 June 2012.

## 2011/12 EXPENDITURE REVOTES

At the end of each financial year a review is undertaken to identify the status of specific projects with a view to having funds carried forward in order to complete the works. Most of the projects had been committed but not yet commenced as at 30 June 2012.

As at 31 March 2012 Council had approved \$8,623,507 in revoted works. The total amount of additional works identified as revotes for the June quarter is \$2,462,508 resulting in a total expenditure revotes program of \$11,086,015 overall.

The following table shows a comparison of the combined September, December and March Review revoke estimates to the actual year-end revoke required. The middle column highlights the additional revotes requiring Council's authorisation:

EXPENDITURE REVOTES (SOURCE OF FUNDS)	Revotes Approved to March 2012	Additional Revotes Requiring Approval	Actual Year-end Revoke Required
Section 94 Contributions	\$1,440,510	\$633,808	<b>\$2,074,318</b>
External Grant Funding	\$620,405	\$933,095	<b>\$1,553,500</b>
Internal Reserves	\$412,881	\$756,981	<b>\$1,169,862</b>
Waste Management	\$646,793	\$0	<b>\$646,793</b>
General Revenue (i.e. Council Funds)	\$314,600	\$1,357,893	<b>\$1,672,493</b>
DOP Loan (Lodges Road)	\$5,000,000	(\$1,653,400)	<b>\$3,346,600</b>
Other Sources	\$188,318	\$434,131	<b>\$622,449</b>
<b>TOTAL EXPENDITURE REVOTES</b>	<b>\$8,623,507</b>	<b>\$2,462,508</b>	<b>\$11,086,015</b>

For a detailed listing of all proposed revotes requiring Council's approval, **please refer to the attachment at the end of this report.**

It should be noted that the upgrade of Lodges Road accounts for \$3,346,600 (30%) of the total \$11,086,015 revoke.

It should also be noted that \$1,672,493 of this year's revote program relates to items funded from general fund. This equates to approximately 1.5% of council's total budget. Whilst the final budget result for 2011/12 is yet to be formally presented to Council, a preliminary review of expenditure and income, and all restricted cash reserves indicates sufficient monies are available to fund the general fund portion of the expenditure revotes program.

### **CONCLUSION**

Council is required to approve the list of expenditure revotes to be carried forward into the 2012/13 Budget. If approved by Council, the general fund portion will be transferred to the "revotes reserve" in accordance with Council's Expenditure Revotes Policy.

### **RECOMMENDED**

**That Council adopt the list of projects requiring revote as identified within the attachment at the end of this report and endorse the inclusion of these projects in the 2012/13 Budget.**

### ATTACHMENTS

1. Expenditure Revotes List

EXPENDITURE REVOTES CARRIED FORWARD FROM THE 2011/12 BUDGET

Item No.	Description	R/F	Council Approval				Total People	Source of Funds						Expected Completion	Comments	
			Approved	Decided	Decided	Decided		Project Cost	Direct Cost	Revenue Cost	Water Mgmt	General Revenue	RDW Loan			Other Income
1	Information Technology - Upgrades and Improvement	N	50	50	50	\$27,248	\$27,248	50	50	50	50	50	50	50	50	Funds required to complete a number of system upgrades and implementations which will be completed during 2012/13.
	<b>Sub Total - Corporate Services</b>		<b>50</b>	<b>50</b>	<b>50</b>	<b>\$27,248</b>	<b>\$27,248</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	
2	Corporate Training - Professional Development	N	50	50	50	\$38,656	\$38,656	50	50	50	50	50	50	50	50	Funds required for the completion of the 2012/13 training and development programme which will be completed in December 2012.
3	Public Relations - Website Upgrade	N	50	50	50	\$7,000	\$7,000	50	50	50	50	50	50	50	50	Funds are required for the upgrade of Council's public website. Councils currently seeking approval of terms from suitable sponsors.
	<b>Sub Total - Employee &amp; Community Relations</b>		<b>50</b>	<b>50</b>	<b>50</b>	<b>\$45,656</b>	<b>\$45,656</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	
4	Corporate Planning - Service Level Reviews	N	50	50	50	\$12,000	\$12,000	50	50	50	50	50	50	50	50	Council will make a service level review of its local services during the fourth quarter of 2012/13 and are required to finalize the review.
5	Corporate Planning - Performance Management Software	N	50	50	50	\$9,294	\$9,294	50	50	50	50	50	50	50	50	Funds are required for the implementation cost of the Performance Management Software. Licenses for the product have already been paid.
	<b>Sub Total - Strategic Planning</b>		<b>50</b>	<b>50</b>	<b>50</b>	<b>\$21,294</b>	<b>\$21,294</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	
6	Development - Engagement Assessment Project	N	50	50	50	\$29,316	\$29,316	50	50	50	50	50	50	50	50	As part of the Engagement Assessment Project, a number of engagement workshops will be completed during the 2012/13 financial year. This program is funded by the Department of Planning (State Government).
7	Development - Microfiling & Scanning	R	50	50	50	\$27,815	\$27,815	50	50	50	50	50	50	50	50	Funds are required to allow all of Council's micro-film and development applications to be electronically scanned.
	<b>Sub Total - Development</b>		<b>50</b>	<b>50</b>	<b>50</b>	<b>\$57,131</b>	<b>\$57,131</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	<b>50</b>	
8	Domestic Waste Management - Truck Replacements	N	50	50	50	\$746,793	\$746,793	50	50	50	50	50	50	50	50	Advised evaluation of Council's fleet for new replacement trucks within Council's waste fleet.
9	Regulatory Compliance - Integrated litter & Dumping Plan	N	50	50	50	\$26,797	\$26,797	50	50	50	50	50	50	50	50	Funds required for committed costs of an Integrated Litter & Dumping Plan (State Government Income).
10	Noxious Weeds - Annual liver Spray Program	R	50	50	50	\$3,073	\$3,073	50	50	50	50	50	50	50	50	Funds required to be needed to complete the balance of works outlined within the grant funding agreement.
11	Regulatory Compliance - Vehicle Upgrade	N	50	50	50	\$1,670	\$1,670	50	50	50	50	50	50	50	50	Funds are required to complete focus works for new engine unit.
	<b>Sub Total - Environment &amp; Health</b>		<b>50</b>	<b>50</b>	<b>50</b>	<b>\$782,331</b>	<b>\$782,331</b>	<b>50</b>	<b>\$26,870</b>	<b>\$746,793</b>	<b>\$1,670</b>	<b>50</b>	<b>\$100,000</b>	<b>\$27,133</b>	<b>\$777,133</b>	

ORD18

Attachment 1

EXPENDITURE REVOTES CARRIED FORWARD FROM THE 2011/12 BUDGET

Item No.	Description	R/W	Grant Forwarded		Received Jan	Total Received	Spencer \$	Grant Com	Revenue Cont	Source of Funds		FOO Dash	Other Income	Total	Expende Commitment	Comments	
			September	December						Revenue Allocat	Central Reserve						
12	Canfield Town Farm - Community Gardens Project	N	50	50	\$114,546	\$114,546	50	\$114,546	50	50	50	50	\$0	\$114,546	Apr-13	Funds required to be received to complete the balance of works outlined within the grant funding agreement.	
18	Family Day Care - Building Improvements	N	50	50	\$11,000	\$11,000	50	\$11,000	50	50	50	50	50	\$0	\$11,000	Oct-12	Funds required for works contracted but not yet completed at the Family Day Care offices. This project is funded by Family Day Care cash reserves.
14	Library Services - The Space Programs & Marketing	N	50	50	\$12,350	\$11,359	50	512,350	50	50	50	50	50	\$0	\$12,359	Jan-13	Funds required to be received to continue the Space Programs Marketing Program. Funds are held in the Community Library (State Government) Grant account.
15	Library Services - Asset Replacement Program	R	50	50	\$6,381	\$6,381	50	50	50	50	50	50	50	\$0	\$6,381	Apr-12	The claims were committed in Budget for the quarter of 2012/11 but not received due to delays in delivery. Funds are required to be received for supplier payment.
16	Library Services - IT Hardware	N	50	50	\$5,875	\$5,875	50	50	50	50	50	50	50	\$0	\$5,875	Dec-12	Goods have been ordered. The purchase of an additional 10 units of Windows 7 for the fleet with information technology supplies. Funds are required for works contract but not yet received.
17	Community Small Grants - John Deery Bicentenary	N	50	50	\$1,000	\$1,000	50	50	50	50	50	50	50	\$0	\$1,000	Dec-12	Funds have been committed however the purchase of the goods has not yet occurred. Subsidies to be incorporated into the purchase of John Deery tractors.
18	Cultural Developments - Film Festival	N	50	50	\$2,427	\$2,427	50	\$2,427	50	50	50	50	50	\$0	\$2,427	Dec-12	Funds required to be received to complete the film festival project, with one final event planned for the first half 2013/13.
19	Community Small Grants - Community Cinema Group	N	50	50	\$2,101	\$2,101	50	50	50	50	50	50	50	\$0	\$2,101	Mar-13	Funds are required for the 2012/13 Her Majesty Day which was funded by the Community Small Grants Program.
<b>Sub Total - Community Services</b>			<b>50</b>	<b>50</b>	<b>\$162,689</b>	<b>\$162,689</b>	<b>50</b>	<b>\$162,689</b>	<b>\$12,427</b>	<b>50</b>	<b>\$12,357</b>	<b>50</b>	<b>\$0</b>	<b>\$162,689</b>			
20	Design & Survey - Flood Information Mapping & Surveys	N	50	50	\$190,511	\$190,511	50	\$40,511	50	\$0	\$150,000	50	50	\$0	\$190,511	Jan-13	Funds required to be received to complete the balance of works outlined within the grant funding agreement.
21	Traffic Improvements - Curran Mill Drive	N	50	50	\$189,600	\$189,600	50	\$189,600	50	50	50	50	50	\$0	\$189,600	Apr-12	Delays in design have resulted in these works not being completed in 2011/12. The funding body has approved an extension to September 2012. This project is funded by BidStop (Recent Government) Grant income.
22	Traffic Improvements - Welles Drive Upgrade	N	50	50	\$133,200	\$133,200	50	\$133,200	50	50	50	50	50	\$0	\$133,200	Apr-12	Delays in design have resulted in these works not being completed in 2011/12. The funding body has approved an extension to September 2012. This project is funded by BidStop (Recent Government) Grant income.
23	Traffic Improvements - John & Michael St. Roundabout Design	N	50	50	\$149,004	\$149,004	50	50	50	50	50	50	50	\$0	\$149,004	Apr-13	Concepts design have been completed and are currently being reviewed by the Traffic Committee. Funds are required to be received to fund construction costs.

**EXPENDITURE REVOTES CARRIED FORWARD FROM THE 2011/12 BUDGET**

Item No.	Description	R/F	General Fund				Source of Revenue				Total	Expected Completion	Comments	
			April	May	June	July	Water Mgmt	General Revenue	ROP Loan	Other Income				
24	Building Improvements - Renewable Energy Offsets Program	N	50	50	\$140,000	50	50	\$140,000	50	50	50	\$140,000	Jun-13	Funds required to be received to complete the project. The project is funded by WSP (Grant State Government) income.
25	Natural Resources - Baseball Gardens Recreational Path	N	50	50	\$50,000	50	50	\$50,000	50	50	50	\$50,000	Feb-13	This project is a grant funded project which is not required to be completed until 2012/13. It is expected that work will be completed in 2017/18.
26	Natural Resources - Repair Shore Trail Improvements	N	50	50	\$14,500	50	50	\$14,500	50	50	50	\$14,500	Feb-13	Funds required to be received to complete the project. The project is funded by the Metropolitan Resource Program (State Government) Grant Income.
27	Camden Cemetery - Columbarium Construction	N	50	50	\$40,000	50	50	\$40,000	50	50	50	\$40,000	Dec-12	Works associated with the construction of a new columbarium at the Camden Cemetery are expected to commence during 2012/13. A development application is currently being prepared and will be submitted once design has been finalized.
28	Engineering Survey - Camden Entry Sign	N	50	50	\$40,000	50	50	\$40,000	50	50	50	\$40,000	Sept-12	Design have been prepared and are currently being reviewed. Funds are required for sign construction costs.
29	Stormwater Management - Control Erosion Design	R	50	50	\$19,150	50	50	\$19,150	50	50	50	\$19,150	Jun-11	Funds required for survey works contracted but not yet completed. This program is funded from the Stormwater Management Levy.
30	Traffic Improvements - Pedestrian Crossing Program	N	50	50	\$36,584	50	50	\$36,584	50	50	50	\$36,584	Dec-12	Funds required for planned pedestrian crossing improvements. Works have been going forward to agreement to minimise traffic disruption.
31	Design & Survey - Agency Staff	N	50	50	\$11,000	50	50	\$11,000	50	50	50	\$11,000	Nov-11	Funds required to meet additional staffing requirements to coordinate flood mapping & survey grant program.
32	Traffic Improvements - Bus Stop ADA Compliance Works	R	50	50	\$11,754	50	50	\$11,754	50	50	50	\$11,754	Aug-11	Funds required to undertake balance of works remaining. These works are programmed and will be completed by August 2012. Works were delayed by a change in funding conditions with the State Government.
33	Natural Resources - Biodiversity Strategy	N	50	50	\$30,000	50	50	\$30,000	50	50	50	\$30,000	Dec-12	Funds required to be received to complete the work outlined within the grant funding agreement. The project is funded by WSP (Grant State Government) income.
34	Mount Ammir Leisure Centre - Floodlight Replacement	N	50	50	\$28,840	50	50	\$28,840	50	50	50	\$28,840	Dec-12	Funds required to be received to complete the work outlined within the grant funding agreement. The project is funded by WSP (Grant State Government) income.

Information Current as at 10:00 AM on 28/08/2012



**EXPENDITURE REVOTES CARRIED FORWARD FROM THE 2011/12 BUDGET**

Item No.	Description	Qty	General Fund				Special	Grant	Revenue	Water	Source of Funds			Total	Expected Completion	Comments	
			September	December	March	June					General	Special	Other				
46	Road Improvements - Hebard Road	N	\$0	\$0	\$470,600	\$0	\$470,600	\$0	\$0	\$136,000	\$0	\$174,600	\$0	\$0	\$410,600	Jun-13	Road improvements on Richardson Road (also known as Hebard Road) to be completed in 2012/13. These works will be completed as part of the 2012/13 Road Reconstruction Program.
49	Plant Purchases - Plant Replacement Program	N	\$0	\$0	\$363,000	\$0	\$363,000	\$0	\$0	\$233,000	\$0	\$0	\$0	\$0	\$363,000	Sept-12	There have been delays in the purchase of a number of plant items identified for replacement in 2011/12. These items are expected to be delivered during the 3rd quarter of 2012/13.
50	Road Improvements - Waterworth Drive	N	\$0	\$0	\$142,286	\$2,557	\$144,843	\$0	\$0	\$144,843	\$0	\$0	\$0	\$0	\$144,843	Dec-12	Project has been delayed as a result of public utility works which have recently been completed on Waterworth Drive. Works will be completed as part of the 2012/13 Road Reconstruction Program.
51	Road Improvements - Wisconsin/Rehder Lane	N	\$0	\$0	\$0	\$103,481	\$0	\$0	\$0	\$103,481	\$0	\$0	\$0	\$0	\$103,481	Aug-12	Funds required to undertake balance of works remaining. Delays were primarily a result of wet weather. This project is funded by Blackspot Project Government Grant Income.
52	Building Improvements - Rehder Lane Cottage	N	\$0	\$0	\$0	\$100,118	\$0	\$0	\$0	\$71,118	\$0	\$23,000	\$0	\$0	\$100,118	Dec-12	Funds required for works contracted but not yet completed at Rehder Lane Cottage. This project is funded by the Community Grants Lottery Welfare Program.
53	Road Improvements - Wilson Road	N	\$0	\$0	\$0	\$87,945	\$0	\$87,945	\$0	\$0	\$0	\$0	\$0	\$0	\$87,945	Aug-12	Funds required to undertake balance of works remaining. Delays were primarily a result of wet weather. This project is funded by Road to Recovery (Federal Government) Grant Income.
54	Road Improvements - Concourse Bridge Repairs	N	\$0	\$0	\$0	\$35,840	\$31,840	\$0	\$0	\$17,000	\$0	\$17,000	\$0	\$0	\$35,840	Sept-12	Funds are required to complete balance of works. Delays in completing the project are due to the unavailability of suitable contractors.
55	Additional Plant - Paris Sportfield Maturity	N	\$0	\$0	\$0	\$26,160	\$26,160	\$0	\$0	\$0	\$0	\$26,160	\$0	\$0	\$26,160	Sept-12	Funds are required for the purchase of a new a Sportfield aerator. This purchase will be made in the first quarter of 2012/13.
56	Building Improvements - Camden Town Farm Barn	N	\$0	\$0	\$0	\$13,825	\$13,825	\$0	\$0	\$13,825	\$0	\$0	\$0	\$0	\$13,825	Dec-12	These works are currently underway. The works include the purchase of materials and the ordering and making of materials. This project is funded by the Community Welfare Infrastructure Renewal Program.
57	Road Improvements - Guard Rail Renewal	N	\$0	\$0	\$0	\$13,158	\$13,158	\$0	\$0	\$13,158	\$0	\$0	\$0	\$0	\$13,158	Aug-12	Funds required to undertake balance of works remaining. This project is funded by the Community Welfare Infrastructure Renewal Program.
58	Road Improvements - Beck & Guller Renewal	B	\$0	\$0	\$0	\$8,015	\$8,015	\$0	\$0	\$8,015	\$0	\$0	\$0	\$0	\$8,015	Sept-12	Funds required to undertake balance of works remaining. This project is funded by the Community Welfare Infrastructure Renewal Program.

Ordinary Council - Financials - Revotes - 2011/12

ORD18

Attachment 1

EXPENDITURE REVOTES CARRIED FORWARD FROM THE 2011/12 BUDGET

Item No.	R/W	Description	Grant Revenue		Forecasted	Total	Source of Funds					Other Income	Total	Expenditure Commitment	Comments	
			Expenditure	Revenue			Revenue	Capital	Revenue	Capital	Revenue					Capital
59	N	Staff Office Accommodation - New Staff Accommodation	50	50	\$4,227	\$4,227	\$0	\$4,227	\$0	\$0	\$0	\$0	\$0	\$4,227	Jan-13	Funds required for new 1000 office accommodation requirements.
60	N	Building Improvements - Rheubarbs Cottage Studios	50	50	\$1,800	\$1,800	\$0	\$1,800	\$0	\$0	\$0	\$0	\$0	\$1,800	Dec-12	Funds required for works connected but not yet completed at Rheubarbs Cottage.
		<b>Total Total - Asset Management</b>	<b>50</b>	<b>50</b>	<b>\$6,027</b>	<b>\$6,027</b>	<b>\$0</b>	<b>\$6,027</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>	<b>\$0</b>	<b>\$6,027</b>		
61	N	Road Improvements - Lodge Road & Hillier Street Reconstruction	50	\$3,000,000	\$2,000,000	\$1,653,800	\$5,246,800	\$0	\$0	\$0	\$0	\$0	\$0	\$3,046,800	Dec-12	Works associated with the temporary closure of Lodge Road were deferred until Spings Road reconstruction is complete. Work has now commenced and will continue with the agreed work program.
62	N	Road Improvements - Spings Road Realignment	50	\$0	\$0	\$799,834	\$799,834	\$0	\$0	\$0	\$0	\$0	\$0	\$799,834	Jan-13	Funds required for works connected but not yet completed on Spings Road Spings Farm.
63	N	Community Facilities - Niverton Community Centre Redevelopment	50	\$3,242,200	\$0	\$431,267	\$431,267	\$0	\$0	\$0	\$0	\$0	\$0	\$431,267	Nov-11	Work will commence redevelopment of the Niverton Community Centre in early 2013. This will allow existing tenants at the Niverton Community Centre the opportunity to make arrangements for alternative accommodation during the redevelopment.
64	N	Road Improvements - Ebenezer Link Road Construction	50	\$0	\$700,000	(\$282,981)	\$417,019	\$317,019	\$0	\$0	\$0	\$0	\$0	\$317,019	Dec-12	The commencement of works on the Ebenezer Link Road was deferred as a result of delays in re-opening Spings Road. Works have now commenced and will continue in accordance with the agreed work program.
65	N	Plant Improvements - Ron Dick Reserve New Outdoor Facilities	50	\$0	\$40,000	\$43,802	\$83,802	\$0	\$0	\$0	\$0	\$0	\$0	\$83,802	Mar-13	The design stage of this project has been advanced due to a review of the original design and the inclusion of a new area of outdoor consultation with key stakeholders.
66	N	Caravan Town Farm - Trade Training Centre	50	\$0	\$180,000	\$3,415	\$183,415	\$0	\$0	\$0	\$0	\$0	\$0	\$183,415	Mar-13	Confirmation of the funding for this project has only recently been received. This has led to significant delays in the delivery of the project.
67	N	Traffic Improvements - Macarthur Road Traffic Agent	50	\$0	\$150,000	\$0	\$150,000	\$0	\$0	\$0	\$0	\$0	\$0	\$150,000	Jan-13	Further investigation is required to develop a detailed traffic management strategy for the Ebenezer & Spings Farm bus stop area. Traffic management initiatives for Macarthur Road will be completed in early 2013. A detailed traffic management plan for these works will be developed and these investigations will be completed in 2012/13.
68	N	Mount Awhi Learning Centre - Stage 2 Design	50	\$0	\$122,200	\$0	\$122,200	\$0	\$0	\$0	\$0	\$0	\$0	\$122,200	Jan-13	Stage 2 design and tender process have recently been completed for this site. The balance of funds for this project are to be transferred to 2011/13 for detailed design.

**EXPENDITURE REVOTES CARRIED FORWARD FROM THE 2011/12 BUDGET**

Item No.	Description	R/F	Source of Funding				Total Budget	Section 84	Grant Cont.	Revenue Cont.	Vwtr Mgmt	General Reserve	ROP Loan	Other Income	Total	Expected Completion	Comments
			Approved	Approved	Approved	Approved											
69	Park Improvements - Leah Free Area Improvements	N	\$0	\$0	\$112,475	\$112,475	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$112,475	Mar-11	Site investigations and planning completed. Funds are required to implement works.	
70	Canadian Memorial Pool - Pool Redevelopment	N	\$0	\$70,000	\$39,395	\$48,395	\$0	\$43,720	\$46,595	\$0	\$0	\$0	\$0	\$48,395	Nov-11	The balance of items allocated in the Canadian Pool Redevelopment are required to be received for further site improvements.	
71	Park Improvements - McKinnon Memorial Courts Stage 2	N	\$0	\$0	\$64,083	\$64,083	\$0	\$0	\$0	\$0	\$0	\$0	\$64,083	Sept-12	Funds required to undertake balance of works remaining. This project is funded by a grant received by the football club under the Community Building Grant Program.		
72	Park Improvements - Horseshoe Sports Grounds Studies	N	\$0	\$60,000	\$1,475	\$61,475	\$53,403	\$0	\$0	\$0	\$0	\$0	\$0	\$61,475	Jun-11	Funds are required to be carried forward to complete ongoing investigation and planning works relating to future sports ground requirements at Horseshoe.	
73	Park Improvements - Kensington Green Playground	N	\$0	\$0	\$51,211	\$51,211	\$0	\$0	\$51,211	\$0	\$0	\$0	\$0	\$51,211	Sept-12	Funds required for works contracted but not yet completed at Kensington Green (Kensington Park).	
74	Staff Office Accommodation - Works Depot Study	N	\$0	\$0	\$50,000	\$50,000	\$0	\$0	\$0	\$0	\$50,000	\$0	\$0	\$50,000	Jun-11	Preiminary planning work has been carried out in preparation for quotations to engage consultant. Funds required to continue planning work with in-house option.	
75	Road Improvements - Camden Valley Way / Hilder St Street Intersection	N	\$0	\$50,000	\$0	\$50,000	\$50,000	\$0	\$0	\$0	\$0	\$0	\$0	\$50,000	Jun-11	Public investigation is required to develop a detailed traffic management strategy for the intersection at the intersection of Camden Valley Way and Hilder St. Works required to continue planning work with in-house option. Investigation will be completed in 2012/13.	
76	Men's Amen Issues Centre - Phase 2 Improvement Program	N	\$0	\$0	\$19,680	\$19,680	\$0	\$0	\$19,680	\$0	\$0	\$0	\$0	\$19,680	Sept-12	Funds required for works contracted for site yet completed at the Men's Amen Issues Centre.	
77	Stormwater Management - Love Avenin Rehabilitation Planning	N	\$0	\$0	\$18,320	\$18,320	\$0	\$0	\$18,320	\$0	\$0	\$0	\$0	\$18,320	Jun-11	Preiminary planning work has been carried out in preparation for quotations to engage consultant. Funds required to continue planning work with in-house option.	
78	Purch Fire Services - Camden West Building Construction	N	\$0	\$0	\$8,110	\$8,110	\$0	\$8,110	\$0	\$0	\$0	\$0	\$0	\$8,110	Jun-11	Design works have been commissioned and are ongoing in preparation for construction tenders.	
79	Traffic Improvements - MacArthur Road Shared Path	N	\$0	\$0	\$5,783	\$5,783	\$0	\$2,882	\$2,901	\$0	\$0	\$0	\$0	\$5,783	Sept-12	Works required to fund payment of balance of works contracted on the construction of a shared pathway on MacArthur Road.	
<b>Sub Total - Capital Works</b>			\$0	\$3,328,250	\$3,615,578	\$778,141	\$2,066,118	\$519,968	\$18,697	\$0	\$50,000	\$3,346,600	\$0	\$6,165,667			
<b>Total Revotes Program</b>			\$0	\$3,328,250	\$2,662,508	\$11,986,013	\$2,074,118	\$1,553,900	\$1,159,682	\$546,793	\$1,672,473	\$3,346,600	\$872,410	\$0	\$11,986,013		

Expenditure Revotes - Capital Works - For 2011/12 Budget

Attachment 1

ORD18

**EXPENDITURE REVOTES CARRIED FORWARD FROM THE 2011/12 BUDGET**

EXPENDITURE REVOTES SOURCE OF FUNDS	2009/10			2010/11			2011/12		
	Approved Amount	Actual Expenditure	Unexpended Balance	Approved Amount	Actual Expenditure	Unexpended Balance	Approved Amount	Actual Expenditure	Unexpended Balance
Section 44 Contributions	2004,000	2699,787	\$1,044,797	44,462,400	\$388,124	\$4,731,520	\$1,440,510	\$633,808	22,497,418
Central Grant Expenditure	\$1,181,000	\$1,809,317	\$2,588,617	\$609,803	\$771,922	\$208,425	\$208,425	\$933,095	\$1,533,500
Internal Donations - Items Festival	\$11,000	\$151,314	616,314	\$20,000	\$20,000	\$121,971	\$413,881	\$796,096	\$1,466,887
Waste Management	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0	\$0
Special Projects	\$0	\$419,800	\$478,800	\$278,800	\$483,386	\$14,000	\$14,000	\$1,357,864	\$1,472,813
Open Lane	\$0	\$0	\$0	\$3,228,000	\$3,415,921	\$1,471,921	\$5,200,000	\$5,473,626	\$3,716,640
Other Sources	\$70,000	\$394,500	\$464,500	\$0	\$0	\$0	\$188,138	\$444,171	\$422,449
<b>TOTAL - EXPENDITURE REVOTES</b>	<b>\$2,075,000</b>	<b>\$3,295,921</b>	<b>\$5,186,921</b>	<b>\$8,699,823</b>	<b>\$12,299,435</b>	<b>\$9,649,642</b>	<b>\$8,271,507</b>	<b>\$2,482,538</b>	<b>\$11,986,035</b>

INTERNAL RESERVE REVOTE ANALYSIS 2011/12	Initial Cost	CBP	Capital Expenditure	Revenue Expenditure	Contingency Reserve	Other Costs	Transfer From
Information Technology Upgrades	\$44,328	\$0	\$0	\$44,625	\$0	\$0	\$0
Family Day Care - Building Improvements	\$21,000	\$0	\$0	\$0	\$0	\$21,000	\$0
Library (Acquisition - items festival)	\$4,427	\$0	\$0	\$0	\$0	\$4,427	\$0
Highway Road Trial Improvements	\$34,500	\$0	\$36,000	\$4,300	\$0	\$0	\$0
Stonewall Celebrations & Awareness	\$1,000	\$0	\$0	\$0	\$0	\$0	\$0
Tree Planting Grant - Rosestone Reserve	\$3,727	\$0	\$0	\$3,727	\$0	\$0	\$0
Street Lighting Installation	\$14,000	\$0	\$0	\$14,000	\$0	\$0	\$0
Stonewall - Carrot Quizzes (ump)	\$39,134	\$0	\$0	\$39,134	\$0	\$0	\$39,134
Stonewall - Carrot Quizzes (ump)	\$20,000	\$0	\$0	\$20,000	\$0	\$0	\$20,000
Community Services & POPLS	\$20,000	\$0	\$0	\$20,000	\$0	\$0	\$0
Local Improvements - Rippon Road	\$16,000	\$16,000	\$0	\$0	\$0	\$0	\$0
Road Improvements - Waterworks Drive	\$14,443	\$14,443	\$0	\$0	\$0	\$0	\$0
Buildings - Rippon Road Cottage	\$77,118	\$77,118	\$0	\$0	\$0	\$0	\$0
Buildings - New Staff Accommodation	\$13,425	\$13,425	\$0	\$0	\$0	\$0	\$0
Buildings - Rippon Road Cottage	\$1,800	\$1,800	\$0	\$1,800	\$0	\$0	\$0
Road Improvements - General Renewal	\$13,134	\$13,134	\$0	\$0	\$0	\$0	\$0
Drainage - Maintenance	\$8,013	\$8,013	\$0	\$8,013	\$0	\$0	\$0
Drainage - Maintenance	\$12,800	\$12,800	\$0	\$12,800	\$0	\$0	\$0
Local Improvements - Park & Ride	\$23,350	\$23,350	\$0	\$0	\$0	\$23,350	\$0
Local Improvements - Park & Ride	\$46,350	\$46,350	\$0	\$0	\$0	\$0	\$46,350
Local Improvements - Park & Ride	\$13,278	\$13,278	\$0	\$0	\$0	\$0	\$13,278
Local Improvements - Park & Ride	\$52,231	\$52,231	\$0	\$0	\$0	\$0	\$52,231
Local Improvements - Park & Ride	\$1,801	\$1,801	\$0	\$0	\$0	\$0	\$1,801
Local Improvements - Park & Ride	\$19,000	\$19,000	\$0	\$0	\$0	\$0	\$19,000
<b>TOTAL - INTERNAL RESERVE REVOTES</b>	<b>\$1,604,862</b>	<b>\$304,178</b>	<b>\$76,071</b>	<b>\$186,989</b>	<b>\$10,400</b>	<b>\$277,377</b>	<b>\$111,755</b>

Please Note: Amounts highlighted in yellow are General Fund situations which have been revised for the past few years.



# ORDINARY COUNCIL

ORD19

ORD19

**SUBJECT: RATES AND CHARGES AND LEVIES WRITTEN OFF 2011/2012**  
**FROM:** Director Governance  
**BINDER:** Rates and Charges

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## PURPOSE OF REPORT

The purpose of this report is to advise Council of the 2011/2012 Rates and Charges to be written-off as permitted under the Local Government Act.

## BACKGROUND

The Local Government Act (Clause 131) requires the General Manager to advise Council of all Rates and Charges to be written off in the previous financial year.

## MAIN REPORT

The amounts proposed in respect of the 2011/2012 financial year are set out below and discussed.

### 1. Postponed Rates

An owner of rural land or land used as a principal dwelling where the land is not being used for the purpose for which it is zoned, may apply to Council for postponed rates. The rating of land is on the basis of use, not zoning. The Valuer General approves and provides Council with a discounted land value to calculate the rates payable on these properties. The amount discounted is referred to as postponed rates. Under Section 595 of the Local Government Act on the 6<sup>th</sup> year the first year's postponed rates and interest are to be written off. Upon sale of the property the amount postponed (up to 5 years) is payable. There are currently 21 properties which qualify for postponed rates within the Camden LGA. The total amount of postponed rates and charges as at 30 June 2012 is \$146,333.47.

The postponed amounts written off for the 2011/2012 rating year are as follows:

Rates written off from 2007/08	\$2,854.60
Interest written off from 2007/08	<u>\$1,218.22</u>
Total	<b>\$4,072.82</b>

### 2. Pension Rebates

Section 583 of the Local Government Act requires Council to write off amounts of Rates, Charges and Interest reduced or waived under Division 1 of Part 8 of Chapter 15 of the Act (concessions for pensioners).

Amount of Pension Rebates for 2011/2012 - **\$587,408.18**

Council has claimed 55% reimbursement (\$323,074.50) from the Division of Local Government for the amount written off.

Therefore, the cost to Council of subsidising pensioner rates during the 2011/12 financial year was \$264,333.68.

3. Accrued Interest (minor amounts outstanding)

Section 567 of the Local Government Act allows Council to write off accrued interest on amounts that would be uneconomical to recover.

Amounts written off under \$3.00 - **\$1,831.15**

**CONCLUSION**

In accordance with the relevant sections of the Local Government Act, the total amount to be written off in the 2011/2012 financial year is \$593,312.15. The majority of the amount to be written off pertains to pensioner rebates, 55% of which is recovered from the Division of Local Government.

The amount to be written off each financial year is considered as part of the annual budget process and is reviewed at each quarterly budget review. Adjustments which arise as a result of exemptions or write-offs are included within budget projections to minimise the impact they may have on Council's budget position.

**RECOMMENDED**

**That Council note and write-off rates, charges and levies outlined in this report totalling \$593,312.15 for the 2011/2012 financial year.**



# ORDINARY COUNCIL

ORD20

ORD20

**SUBJECT:** COMMUNITY SMALL GRANTS PROGRAM 2012/2013  
**FROM:** Manager Community Services  
**BINDER:** Community and Recreation Service / Grants and Subsidies

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## PURPOSE OF REPORT

To seek Council's endorsement of the recommended funding allocations in this year's Community Small Grants Program (CSGP) a component of Council's Community Financial Assistance Program.

## BACKGROUND

Council provides an annual financial assistance program to assist local groups, one element of which is the Community Small Grants Program (CSGP). In the current budget, \$80,000 has been allocated to this program.

CSGP grant guidelines assist Council in the consideration and allocation of funds to applicants. These guidelines are available all year on our website and provided to not-for-profit local groups when preparing their application.

## MAIN REPORT

The availability of financial assistance through the Community Small Grants Program (CSGP) was:

- advertised in the Camden Advertiser for five weeks prior to the close of applications;
- displayed on Council's website;
- promoted through an information session held on 29 May 2012
- promoted by fliers emailed across Council's networks of community service providers; and
- emailed to organisations on Council's mailing list.

Forty four (44) applications were received with a total of \$144,995 being requested.

Each application was assessed against the guidelines for the program, with further consideration given to the impact on the local community, number of participants, applicant's contribution (financial or in-kind) and availability of other funding sources.

As it is not possible to fund every project under the program, unsuccessful groups will be:

- advised of potential alternate sources of funding and provided assistance to access these funds wherever possible, and
- provided support with the formation of partnerships which may be possible to achieve project goals.



## ORD20

After assessment against the CSGP guidelines, twenty eight (28) applications have been recommended for CSGP funding totalling \$80,000.

The following projects are recommended for the full amount of funding requested:

1. **Association of Independent Retirees (AIR) Ltd Macarthur Monthly Meetings - \$1,957** for the purchase of a laptop, projector and screen for monthly meetings
2. **Brand New Day Marketing and Advertising Promotion - \$702** to develop, produce, print and distribute brochures and business cards to promote service
3. **Camden Area Family History Society Internet Access - \$4,000** to provide internet access to family history websites and purchase of printer and monitor
4. **Camden Athletic Club Incorporated Refurbishment of Canteen at Onslow Park - \$5,000** to assist with refurbishment of canteen at Onslow Park
5. **Camden Community Connections U 8Teen Dance Committee (U8DC) - \$1,678** for workshops on organising under 18 dance parties
6. **Camden District Care Carpet Replacement for Centre-based Day Care - \$4,360** to replace carpet at centre-based day care
7. **Camden Men's Shed Men's Shed Equipment Locker - \$2,043** for Men's Shed equipment locker
8. **Camden Junior Australian Football Club Inc Seating for Spectators at Fairfax Oval - \$1,358** for spectator seating at Fairfax Oval
9. **Camden Senior Citizens Association Inc Photocopier - \$998** for the purchase of a photocopier for use by community groups using the facility
10. **Cobbitty Village Market Day Committee Inc Traffic Management Signage - \$5,000** for the purchase of traffic management signage
11. **Harrington Park Scorpion Softball Club Mobile BBQ Trailer - \$1,098** to convert existing trailer into a mobile BBQ trailer for use on competition and carnival days
12. **Macarthur Anglican School Wagon Restoration - \$5,000** towards the restoration of the historical Camden based wagon
13. **Macarthur District Temporary Family Care Ballroom Spectacular Show - \$5,000** to fund the Ballroom Spectacular Show

14. **Macarthur Preschool**  
**Sustainable and Interactive Outdoor Learning Environment - \$4,385** to establish a sustainable and interactive outdoor learning environment at the centre
15. **Macarthur Singers**  
**Harmony of Voices: A Vocal Workshop for School Choirs of Camden - \$4,960** for a two day vocal workshop for school choirs of Camden followed by an event
16. **Macarthur Textile Network**  
**Multimedia Projector in Conjunction with Textile Speaker Series - \$1,587** for the purchase of a multimedia projector and payment of professional textile artists fees to speak to guild members
17. **ROAM Communities**  
**WRAP (Wellness Recovery Action Plan) Packs – \$5,000** for the purchase of Wellness Recovery Action Plan packs for participants in the outreach mental health program.
18. **Rotary Club of Camden**  
**Onslow Park Picnic Facility - \$4,000** for the repair of the Onslow Park picnic facility
19. **YMCA of Sydney – Mt Annan Leisure Centre**  
**Outdoor Multipurpose Fitness Zone - \$5,000** towards the costs of an outdoor multipurpose fitness zone
20. **Big Fat Smile (formerly Illawarra Children’s Services)**  
**Sustainable Community Garden and Native Garden - \$2,500** for the installation of a sustainable community garden and native garden at Council facility at 85 Richardson Road, Narellan
21. **Camden Baptist Church**  
**Parenting Toolbox Course - \$3,500** for the purchase of equipment and resources to conduct Parenting Toolbox Courses
22. **Mets Baseball Club - \$590** to assist with the purchase of new equipment and new uniforms
23. **Cobbitty Narellan Cricket Club**  
**Covers Lifting Trolley - \$2,850** for the purchase of a covers lifting trolley to assist groundsman

The following projects are recommended for part funding

24. **Camden Community Connections**  
**Camden Parent’s Support Group - \$840** for an 11 week Parent’s Support Group Program to engage socially or geographically isolated parents
25. **Camden Show Society Inc**  
**A H & I Hall Kitchen Upgrade - \$2,500** to install a commercial 8 burner gas stove with oven at the AH & I Hall

26. **Leppington Public School Remembrance Garden and Flagpole** - **\$1,196** for the installation of a remembrance garden for ANZAC/Remembrance Day services and a flagpole for the Aboriginal flag
27. **Northcott Disability Services Camden Playlinks Therapist Project** - **\$1,898** to engage therapists to attend Camden Playlinks to offer additional support for families who have concerns for their child's growth and development
28. **Playgroup NSW – Narellan Jack and Jill Play Group Revive and Survive** - **\$1,000** to purchase new and repair existing equipment for the playgroup

Remaining projects will be referred to other funding sources and/or potential partners as appropriate.

### CONCLUSION

The breadth of work being undertaken by a range of not-for-profit community organisations, which contributes to the increase of social capital and improved community well-being within the Camden LGA, has been demonstrated again by the high quality, number and range of worthwhile projects seeking assistance. Unfortunately Council is not in a position to meet all requests.

Applications have been assessed against the criteria contained in the program guidelines and recommendations reflect this assessment. A full list of all application is contained in the attached **Supporting Document**.

Projects recommended for funding will complement existing services within the community and provide improved opportunities for the community to access services and/or facilities within the LGA.

### RECOMMENDED

#### **That Council:**

- i. **approve grants to projects 1 to 28, totalling \$80,000 as outlined in this report, to be funded from the 2012/2013 Community Small Grants Program; and**
- ii. **write to each applicant, both successful and unsuccessful, advising them of the outcome.**

### ATTACHMENTS

1. Application Summary for Council Meeting - *Supporting Document*



## ORDINARY COUNCIL

ORD21

ORD21

**SUBJECT: REDEVELOPMENT OF RON DINE RESERVE AND TENDER OUTCOME FOR CONSTRUCTION OF NEW CLUBHOUSE AMENITIES BUILDING AT RON DINE RESERVE**  
**FROM:** Director Works & Services  
**BINDER:** Capital Works/Council Properties/Ron Dine Clubhouse

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### PURPOSE OF REPORT

To provide information to Councillors on the works to date in relation to the \$1.2M federally funded redevelopment of Ron Dine Reserve, and seek Council's approval to reject all tenders for Tender No. T111/2012 being for construction of a new clubhouse and amenities building.

### BACKGROUND

On 16 December 2011, Council entered into a funding agreement with the Federal Government for \$1.2M funding for the construction of new clubhouse amenities building and upgrade of associated facilities at Ron Dine Reserve. The break-up of the proposed redevelopment works was:

• Construction of new clubhouse amenities building	\$ 925,000
• Upgrade of floodlighting to sports fields	\$ 125,000
• Installation of new electrical substation	\$ 60,000
• Investigations, design fees and other costs	\$ 40,000
• Contingency	<u>\$ 50,000</u>
Total:	\$1,200,000

Council's Capital Works Branch is managing delivery of the works in close consultation with Camden Tigers Soccer Club and Council's Community Services and Asset Branches to ensure that the objectives of all stakeholders are satisfied.

The proposed new sports field lighting and clubhouse requires an upgrade of power supply to the site. Council Officers have obtained preliminary approval from Endeavour Energy to increase the power supply to the site by installing a new pole mounted substation. Based on the requirements of this approval, detailed design of the substation is nearing completion to enable submission to Endeavour Energy for formal certification. Following receipt of this certification, quotations will then be invited to construct the substation.

Quotations will be invited from lighting contractors for the supply and installation of new floodlighting to the sports fields when the power upgrade to the site is carried out.

Design for the clubhouse has been developed with input from internal stakeholders and Camden Tigers Soccer Club. Council officers undertook a review of the original concept design developed by the club which was based on the clubhouse at Hayter Reserve. A site inspection of the facility at Hayter Reserve and discussions with Camden Rugby representatives identified aspects of the existing building that the rugby club would change if they had the opportunity. These changes were incorporated into the design of the Ron Dine clubhouse. This review and consultation process has

extended the design period beyond the originally anticipated timeframe, but has provided an improved design.

The club executive committee of Camden Tigers agreed to the design in a meeting held on 4 May 2012 prior to Council going to tender for construction of the clubhouse.

A pre-tender estimate was provided by the project architects which indicated that the proposed works could be constructed within the available budget.

## **MAIN REPORT**

### **Invitation to Tender**

The tender for construction of the clubhouse was advertised in the local press, Sydney Morning Herald and NSW E-Tendering site [www.tenders.nsw.gov.au](http://www.tenders.nsw.gov.au). Tenders opened on 3 July 2012 and closed on 31 July 2012. Tenderers were asked to provide a lump sum for the proposed works as outlined in the tender documentation.

### **Tender Submissions**

Tenders were received from companies listed below in alphabetical order:

<u>Name of Tenderer</u>	<u>Location</u>
• A J Bristow and Sons Pty Ltd	Dural
• ADR Group Pty Ltd	Homebush West
• Artel Constructions Pty Ltd	Gosford
• Axis Constructions Pty Ltd	Wetherill Park
• Batmac Constructions Pty Ltd	North Nowra
• Beach Constructions Australia Pty Ltd	Leichhardt
• Bermagui Constructions Pty Ltd	Artamon
• Icon Building Group Pty Ltd	Prestons
• Keystone Projects Group Pty Ltd	Homebush
• McGrath Builders	Smeaton Grange
• Melkonian Constructions Pty Ltd	Seven Hills
• Momentum Built Pty Ltd	Caringbah
• Mullaly Constructions	Sefton
• Nace Civil Engineering Pty Ltd	Prestons
• Parkview Constructions Pty Ltd	Glebe
• Patterson Building Group Pty Ltd	Rosebery
• Perich Constructions (NSW) Pty Ltd	Minto
• Petra Construction Group Pty Ltd	Blacktown
• Simco Enterprises Pty Limited	Seven Hills
• Sina/Yong Constructions	West Pennants Hills
• Sullivans Constructions	Miranda
• Vantagecorp Pty Ltd	Seven Hills

### **Tender Evaluation**

The aim of the tender evaluation process is to assess the capability of tenderer to provide the best value and quality services to Council and to recommend the preferred tenderer.

A tender evaluation panel was established and the submissions were assessed on price and non-price factors as agreed by the evaluation panel. Price was given weighting of 65% and non-price factors a weighting of 35%.

Non Price Factors considered for this project:

- Standard of Submission
- Capacity incl. WH&S, ENV, and Company Profile
- Experience in similar projects
- Construction Program

Despite an excellent response from the market, all tenders received have exceeded the available budget for construction of the clubhouse, and therefore Council cannot accept any tenders at this time.

After consultation with key stakeholders, Council officers are of the opinion that sufficient savings can be made through changes to the project scope to deliver a successful outcome within the available project budget.

Based on the discussions with project consultants, Camden Tigers representatives and internal staff, the following potential savings have been identified:

- Reduce length of sewer rising mains and electrical sub-mains by crossing existing fields.
- Reduce length of water mains by connecting to existing services (dependant on available pressure).
- Substitute specified sanitary items with alternatives.
- Substitute solar hot water heating with electric.
- Substitute specified lights with alternatives.
- Substitute specified floor finishes with alternatives.
- Reduction in building areas.
- Contractors could also be invited to suggest changes for consideration that would achieve further savings.

Camden Tigers have confirmed to Council that sports field lighting is to be retained in the scope for the redevelopment of Ron Dine Reserve. The club recognises that substantial changes to the proposed clubhouse will be required in order to provide the sports field lighting and the clubhouse.

Local Government (General) Regulation 2005 – Clause 178 (4) allows Council to reject all tenders and enter into negotiations with any person (whether or not the person was a tenderer) with a view to entering into a contract in relation to the subject matter of the tender.

Given that twenty two companies have tendered the project and there are significant differences in prices, it is considered that the most advantageous outcome for Council would be achieved by negotiating with the six most competitive and suitable companies as outlined in the confidential supporting document. Based on the original tenders received, an assessment has been made of the companies that would be most likely to provide a revised price within the project budget. This will also be the most timely method of awarding a contract and meeting the timeline set out in Council's Funding Agreement with the Federal Government.

The proposed negotiation process is to provide an amended scope of works to the selected companies and obtain a revised offer based on this reduced scope. The revised offers will then be evaluated for best value, and a further report provided to Council for consideration.

### **Relevant Legislation**

The tender has been concluded in accordance with the Local Government Act 1993, the Local Government Regulations (2005) and Camden Council's Purchasing and Procurement policy.

### **CONCLUSION**

Based on the tenders received for construction of the clubhouse as currently proposed, there are insufficient funds available. Following discussions with the project consultants and Camden Tigers representatives, Council officers are of the opinion that sufficient savings can be made through changes to the project scope to deliver a successful outcome within the available project budget.

Local Government (General) Regulation 2005 – Clause 178 (4) allows Council to reject all tenders and enter into negotiations with any person (whether or not the person was a tenderer) with a view to entering into a contract in relation to the subject matter of the tender

Given the large number of companies that have tendered the project and the significant difference in prices, it is considered that the most advantageous outcome for Council would be achieved by negotiating with the six most competitive and suitable companies as evaluated and detailed in the confidential supporting document.

### **RECOMMENDED**

#### **That Council:**

- i. decline to accept any of the tenders submitted in response to Tender No. T111/2012 - Construction of New Clubhouse Building at Ron Dine Reserve Camden South and enter into negotiations with any person (whether or not the person was a tenderer) with a view to entering into a contract in relation to the subject matter of the tender;**
- ii. in accordance with Clause 178(4) of the Local Government (General) Regulation 2005, decline to invite fresh tenders, as it is considered the tenders previously received provide a sufficient basis for negotiating a contract price within the budget allocation, and in a timeframe that will minimise delays to the commencement of works as outlined in the Funding Agreement with the Federal Government; and**
- iii. delegate authority to the General Manager to negotiate with the six most competitive and suitable contractors as evaluated and detailed in the confidential supporting document, with the outcome of negotiations to be reported back to Council for further consideration.**

#### **ATTACHMENTS**

1. Commercial in Confidence tender price breakdown - *Supporting Document*



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2. Commercial in Confidence tender evaluation - *Supporting Document*

**ORD21**



ORD22

## ORDINARY COUNCIL

ORD22

**SUBJECT: RETAIL SUPPLY OF ELECTRICITY FOR LARGE COUNCIL FACILITIES AND FOR STREETLIGHTING**

**FROM:** Director Works & Services

**BINDER:** Utilities/Gas-Electricity-Water-Telecommunications/Public Utilities Usage

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### PURPOSE OF REPORT

To inform Council of its participation in a 'reverse auction' process for the supply of electricity to Council's large sites and for streetlighting and to seek the endorsement of Management to assess the outcome of the tender process and enter into a retail supply agreement for Council's large sites and for streetlighting.

### BACKGROUND

The retail supply of electricity for all of Council's facilities was historically provided through Integral Energy, which itself took many forms over the years.

In 1998, the (then) State Minister for Energy announced the timetable for the deregulation of the electricity market and the introduction of contestability thresholds (i.e. sites consuming in excess of 160MWH per annum). In June 1999, Council became party to a Retail Electricity Supply Agreement with Energy Australia for four contestable sites; being John Street Camden, Camden Civic Centre, Camden Pool and Queen Street Narellan, which was established and available through the (Department of Commerce) NSW State Contracts Control Board (Contract 777). Over time this agreement was extended to include electricity supply for streetlighting, Narellan Library and Mount Annan Leisure Centre.

At the Council meeting on 24 November 2009, Council considered an alternative purchasing approach and resolved to engage Regional Procurement Initiative (a division of Hunter Councils Inc) and their partners Energy Action, to undertake the tender process for the procurement of electricity for a 30 month period commencing 1 July 2010.

Following this process, Council resolved on 15 December 2012 to enter into a retail supply agreement with AGL Sales Pty Ltd for a 30 month period for the supply of electricity to seven nominated large sites (the aforementioned sites and Camden Library). In addition, Council also resolved to enter into a retail supply agreement with TRUenergy Pty Ltd for a 30 month period for streetlighting. These contracts expire on 31 December 2012.

### MAIN REPORT

Regional Procurement Initiative (a division of Hunter Councils Inc.), in association with Energy Action has invited Council to once again participate in a competitive tender process to test the market for the provision of electricity supply for Council's large sites and for streetlighting.

Essentially the adopted process tests the market by means of a reverse auction tender (an online platform), initially establishing a benchmark price and inviting tenderers

(electricity retailers) to “bid” online and in real-time, in a time restricted open forum until the lowest price is realised.

The reverse auction process facilitated through Regional Procurement Initiative and their partners Energy Action, complies with the Local Government Tendering Guidelines and Council’s Purchasing and Procurement Policy. In addition it should also be noted that in accordance with Section 55 3(f) of the Local Government Act 1993, Council is not required to invite tenders before entering into a contract as it will be entering into a contract for purchase or sale at a public auction.

Regional Procurement Initiative has advised Camden’s “reverse auction” is scheduled for Thursday 20 September 2012. Council will be inviting electricity retailers to submit tenders for the supply of electricity to seven large sites; being Camden Administration, Camden Civic Centre, Camden Library, Camden Pool, Mount Annan Leisure Centre, Narellan Administration and Narellan Library, and streetlighting for a period of 30 months from 1 January 2013. This timeframe, as recommended by Regional Procurement, has proven attractive to retail suppliers and provides an optimum timeframe for retailers to be competitive if what is an ever changing market. This period also provides longer term certainty of pricing which assists in forecasting future budget requirements.

Tenders will be assessed against price as well as a set of pre-determined criteria including referees, quality assurance, customer services and Ecologically Sustainable Development. In addition the tenders will be assessed against the prices currently available under Local Government Procurement’s electricity supply contract to ensure Council is obtaining the best possible price.

Due to the energy market, energy retailers can only hold firm on prices for a short period of time and acceptance of the tendered prices must be actioned within 5 to 7 working days of the close of the tender, which is effectively the close of the “reverse auction”. In this regard, endorsement of the Director of Works and Services to assess the outcome of the tender process and enter into a retail supply agreement for Council’s large sites and for streetlighting on behalf of Council is sought.

## **CONCLUSION**

Council currently purchases electricity for seven large sites and streetlighting through a contract with AGL and TRUenergy respectively which expires on 31 December 2012. Council has once again been invited to participate in a competitive tender process with Regional Procurement Initiative and their partners EnergyAction, to procure electricity supply for a 30 month period commencing 1 January 2013.

This process will be undertaken on Thursday 20 September 2012 and due to the nature of the electricity market, and limited timeframe in which to accept tender prices, it is recommended that Management be endorsed to enter into a retail supply agreement for Council’s large sites and for streetlighting on behalf of Council.

## ORD22

### **RECOMMENDED**

**That Council:**

- i. Note the participation in a tender process through Regional Procurement Initiative (a division of Hunter Councils Inc.) and their partners EnergyAction, for the retail supply of electricity to Council's seven large sites as described in this report and for streetlighting for a period of 30 months, commencing 1 January 2013; and**
- ii. endorse Management to assess the outcome of the tender process and enter into a retail supply agreement for Council's large sites and for streetlighting on behalf of Council.**



## ORDINARY COUNCIL

ORD23

ORD23

**SUBJECT: CIVIC CENTRE - CULTURAL PERFORMANCE SUBSIDY**

**FROM:** Director Works & Services

**BINDER:** Community Services/Grants and Subsidies/Civic Centre Cultural Performance Subsidy

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### PURPOSE OF REPORT

To seek Council approval to allocate funding to local community groups and organisations through Council's Civic Centre – Cultural Performance Subsidy, under the Council's Community Financial Assistance Program.

### BACKGROUND

Council provides funds as fee relief for not-for-profit groups, providing musical or performance arts presentations at the Camden Civic centre. These funds increase venue accessibility to groups wishing to provide such performances for our community.

The funding round is held annually (in July) for amounts of \$400 to \$1200 (GST exclusive).

The policy aims to attract a minimum of six high quality cultural performances to the Centre. In addition to those events funded the Civic Centre, Management seek up to three events to compliment the calendar, sourced to meet the needs of the community and its demographic breakdown.

### **Objectives**

The objectives of the policy are:

- to increase accessibility to the Camden Civic centre venue for not-for-profit community performance groups;
- to enhance community awareness and involvement in cultural performances, and heighten the profile of community performance groups; and
- to enhance community well being and sense of belonging, through exposure to high quality cultural events and activities that are of interest to key demographic groups.

### **Eligibility**

- Applications for cultural performances scheduled to be held at Camden Civic centre in the July to June period. Dates must coincide with the availability of the facility.
- Funds must be available to non-government organisations who are not-for-profit, and/or community groups based in the Camden LGA, or undertaking a performance of direct benefit to the community and people of Camden LGA.
- Applications may be for a portion of venue hire costs up to the value of and not exceeding \$1200 (excluding GST). Funds which provide for either the cost of the Auditorium on a Saturday evening, or a day hire of the Auditorium and gallery for six hours, Sunday to Friday).

**MAIN REPORT**

The funding round was advertised in the Camden Advertiser, Council and Civic Centre websites, Lets Connect, and through direct marketing to organisations on the Civic Centre database and community directory.

Council received 10 valid applications in this funding round, with requests totalling \$11,600 (GST exclusive). A total of \$11,300 is available for allocation in 2012/2013.

Details of requests are as follows:

Amount requested	Applicant	Event Type
\$1,200	AGAPE Carols Festival	Family/all age event
\$1,200	Camden Campbelltown Band	Family/all age event
\$1,200	Camden Community Connections	Adult
\$1,200	Camden Cultural Development	Adult
\$800	Camden Public School	Family/all age event
\$1,200	Macarthur Anglican African Aids	Family/all age event
\$1,200	Mater Dei School	Family/all age event
\$1,200	Penrith Symphony Orchestra	Family/all age event
\$1,200	Rockwave Youth event;	Youth
\$1,200	Sydney Detachment Band	Family/all age event
<b>Total</b>	<b>\$11,600</b>	

The **table provided as an attachment at the end of the report** provides a summary of each application received, with an assessment against criteria.

Previous funding, and a history of events staged within the venue has been considered in determining the likely response from the community and level of funding recommended.

**CONCLUSION**

The applications received include the following;

- 7 x all age event/family event
- 0 x senior event
- 1 x school age event/youth event
- 2 x accompanied by adult event

As in previous years, there were no applications for events for the specific demographics; 0-5 year olds, seniors and adult.

Noted in the policy, Civic Centre Management are to source three appropriate events to meet the needs of this demographic, with a maximum allocation of \$600 to each event.

Each of the applicants were assessed against the criteria from information provided on the application and in light of improved cultural programming for 2012/2013, available funds for 2012/2013, audience trends, and evidence of planning and partnerships.

It is to be noted that many of the applicants have been funded in previous years, and the total of the requests exceeds available funds.

It is recommended that a sum of \$6,200 be utilised to partially fund the applicants, and the balance be managed by Centre Management to attract high calibre cultural performances in the key demographic areas.

The Table below provides a summary of the recommended funding.

<b>Amount Requested</b>	<b>Applicant</b>	<b>Amount</b>
\$1,200	AGAPE Carols Festival	\$400
\$1,200	Camden Campbelltown Band	\$400
\$1,200	Camden Community Connections*	\$1,200
\$1,200	Camden Council Cultural Development*	\$1,200
\$800	Camden Public School	\$400
\$1,200	Macarthur Anglican African Aids	\$400
\$1,200	Mater Dei School	\$600
\$1,200	Penrith Symphony Orchestra	\$600
\$1,200	Rockwave Youth event;	\$400
\$1,200	Sydney Detachment Band	\$600

\* *new event*

It is to be noted that two further applications were received:

- Lachlan Glenn
- Watoto Concert – Camden Uniting

Neither were assessed.

Lachlan Glenn withdrew the submission and Watoto were seeking funds for the 2013/2014 funding period.

The 10 applicants recommended for funding each contribute to the cultural program of the Centre at varying levels appealing to a cross section of the community.

**ORD23**

**RECOMMENDED**

**That Council:**

- i. provide \$6,200 (GST exclusive) to the applicants as noted in this report, under Council's Civic Centre Cultural Performance Subsidy, and advise each of the applicants of the outcome in writing; and**
- ii. authorise Civic Centre management to utilise the balance of \$4,900 to source additional cultural events which meet the needs of the 0-3, seniors and adult profiles.**

**ATTACHMENTS**

- 1. Workshop Report Attachment**

Applicant	Demonstrated Value/High Quality	Involves Local Residents as Audience and Participants	Indicates Local Support in Kind or Financial	Evidence that the Event is Well Planned and Likely to Attract Audience	Contributes to the Annual Cultural Program	Previous Funding	Comment/Summary	Amount Requested	Rationale	Recommended (Full, Partial, Minimal)
Mater Del	Medium	High	High	High	High	Not Funded Past Five Years	The event will provide an opportunity for the students to showcase to the community both their hard work and achievements. Planning for the event has been underway for many months. The students actively contribute to a number of community events and activities. Entry to this event is \$10 adult, \$5 kids.	\$ 1,200.00	Maximum capacity crowds are anticipated with support from parents, family and community members. All money raised will be absorbed by the project. It is considered that the event offers some contribution to the cultural calendar. The event will be staged over multiple days attracting higher fees and charges. The event has not been funded previously.	\$ 600.00
Ignite Camden: Camden Community Connections	High	High	High	Medium	High	New Project	Professional entertainment employed to play at the event Australian Blues Brothers. The event is an open community event entry is free. A number of local performers are included in the program including Danny Elliott who is a recognised draw card.	\$ 1,200.00	The event has been declared a free event for community to promote Camden Community Connections, capacity is for 200 people. This event is regarded as contributing to the cultural calendar as it is open to the community. No funding has been sought previously.	\$ 1,200.00
The Biker of Youth; Penrith Symphony	High	Medium	Medium	High	High	Funding received in 2011/2012 for \$800	Orchestral performance of high quality showcasing trained musicians including local residents. The ticket price ranges from \$15 to \$25. The Symphony is endeavouring to establish a following in Camden to enable regular performances to be held within the area.	\$ 1,200.00	The event contributes to the centres cultural calendar for music recitals for all age groups. All income associated goes back into the ongoing performance schedule. It is anticipated that the performance will attract 200-200 people.	\$ 600.00
School Daze; Camden Public School	Medium	High	High	High	Medium	Funding received in 2010 for \$600	The event includes a cast of local students who showcase their talent to the broader community. The event has previously attracted capacity crowds, been of a very high standard and professionally managed. The ticket price is rated as \$10 with free entry to seniors and invited guests.	\$ 900.00	Maximum capacity crowds are anticipated with support from parents, family and community members. All money raised will be absorbed by the project. It is considered that the event offers some contribution to the cultural calendar.	\$ 400.00
Sydney detachment and Royal Australian Navy Band	High	High	High	High	High	Funding received in 2011 for \$1000.	It is noted that the Navy Band have been funded previously. Promotion for the band has not achieved the anticipated result. If funding is to be offered a promotion strategy needs to be agreed upon to ensure audiences are increased. The band is of a very high standard and entry is by gold coin donation. This event is the beginning of the Anzac Day Services.	\$ 1,200.00	Funded in the previous funding round. The Band offers a high quality performance generally attracting an audience of 200 plus. The event is promoted as a community event and because of the calibre of performers is considered a benefit to the cultural calendar.	\$ 600.00
Camden Campbelltown Band	High	High	High	Medium	High	Funding received for three years; '09 \$1200, '10 \$800 '11 \$800.	A very high calibre of local musicians enjoyed by many local residents. This event attracts a minimum of 300 guests and ticket price is \$10 flat across all ages. The CCDB have been utilising the venue for 30 years and played at the official opening of the Civic Centre in 1982.	\$ 1,200.00	The event has secured funding in three consecutive years, it is noted that the CCDB receive an annual subsidy from Camden Council's community services. The performance is of a very high standard, attracts an estimated 300 people and is regarded as a valuable contributor to the cultural calendar.	\$ 400.00
African Aids Foundation	Medium	High	High	High	Medium	Funded 08 \$330, '11 \$600.	This event is managed as part of Macarthur Anglican Annual Program to raise awareness of African Aids and raise much needed funds. The students of Macarthur Anglican will showcase their talents in this event providing a range of entertainment. This event is designed to highlight the closeness of our global family and raise awareness of inequality. It is anticipated that a minimum of 300 people will attend and entry is by gold coin donation to the charity.	\$ 1,200.00	This event is offered to showcase Macarthur Anglican students and raise awareness and support for the AAF. All money raised is paid to AAF. Maximum capacity crowds are anticipated with support from parents, family and community. It is considered that the event offers some contribution to the cultural calendar.	\$ 400.00

ORD23

Attachment 1

ORD23

Attachment 1

Applicant	Demonstrated Value/High Quality	Involves Local Residents as Audience and Participants	Involves Local Support in Kind or Financial	Evidence that the Event is Well Planned and Likely to Attract Audience	Contributes to the Annual Cultural Program	Previous Funding	Comments/Summary	Amount Requested	Justification	Recommended (Full, Partial, Minimal)
Camden Carols Festival; Agepe	Medium	High	High	Medium	Medium	Funded annually '07 \$500, '08 \$800, '09 \$1200, '10 \$400, '11 \$800	The carols festival is an annual community event that is held for the families of Camden with children from the local schools all coming together to deliver a joyful night with many other local performers. The event has been going for over 20 years and has always attracted crowds of 500+. Entry to the event is by gold coin donation. This year all funds raised will go to 24hr Fight Against Cancer-Macarthur.	\$ 1,200.00	The annual carols festival has been funded for the past 20 years with exception of one year, Council have funded between \$400 and \$1200 each year to cover costs associated with venue hire. The event has an established profile and is a recognised event on the cultural calendar. Free to enter and well supported.	\$ 400.00
Watoto ; Camden Uniting						Funded '08 \$1200, '09 \$1200 and '11 \$800.	Application withdrawn - outside of funding period.	\$ -	<b>WITHDRAWN</b>	Event outside current funding round parameters.
Inchian Glen Concert						Funded annually, application withdrawn.	Application has been withdrawn.	\$ -	<b>WITHDRAWN</b>	Withdrawn by Leano Glen
Camden Cultural Connection, Cultural Development Officer	High	High	High	High	High	<b>New Project</b>	This event is to be held in partnership with the Narrabeen Library "The Space" as an opportunity to showcase a significant cultural performance for the local community following a series of sound recording workshops held within the space. It is anticipated the performance would attract an audience in the vicinity of 400 Macarthur-wide. Entry will be charged to cover costs of promotion and securing of an appropriate performer.	\$ 1,200.00	A new event programmed in conjunction with the in residence program in The Space @ Narrabeen Library. Following a series of workshops with community the artist would be heading at a cultural event. It would be anticipated that 400 people would attend the event and as a pilot be the driver behind other similar programs. The event coincides to the cultural calendar and exposes Camden to a project never seen before.	\$ 1,200.00
Rockwave; National Youth Week event	High	High	High	High	Medium	Funded for four years '08 \$1210, '09 \$1200, '10 \$440 and '11 \$800.	Rockwave will be in it's third year. This event has been well received as a safe house for young people aged 9-15 years, the message delivered is anti bullying. The event has attracted 100 kids previously and is building and entry is \$5 per person. In partnership with community services a further three of the Rockwave events will be delivered assisting to build on audiences. Marketing and promotion will embrace the talents of local kids. Rockwave is managed in partnership with local churches by Council staff.	\$ 1,200.00	The National Youth Week program has included events at The Civic Centre for the past four years. The event is marketed in partnership with a local church or youth group, is well supported by parents and provides for a safe house night of entertainment for the youth in the area. The event would not go ahead without funding as it is not a money making program. It is anticipated that the event would attract 250 people and will contribute to the cultural calendar. Partnership has been with Lifespace Church in previous years, ECOI will be called for 2015 partnership.	\$ 400.00
<b>TOTAL REQUESTED</b>								\$ 11,600.00	<b>ALLOCATED</b>	\$ 6,200.00
<b>AVAILABLE FUNDS</b>								\$ 11,300.00	<b>CIVIC CENTRE MANAGER</b>	\$ 3,600.00