



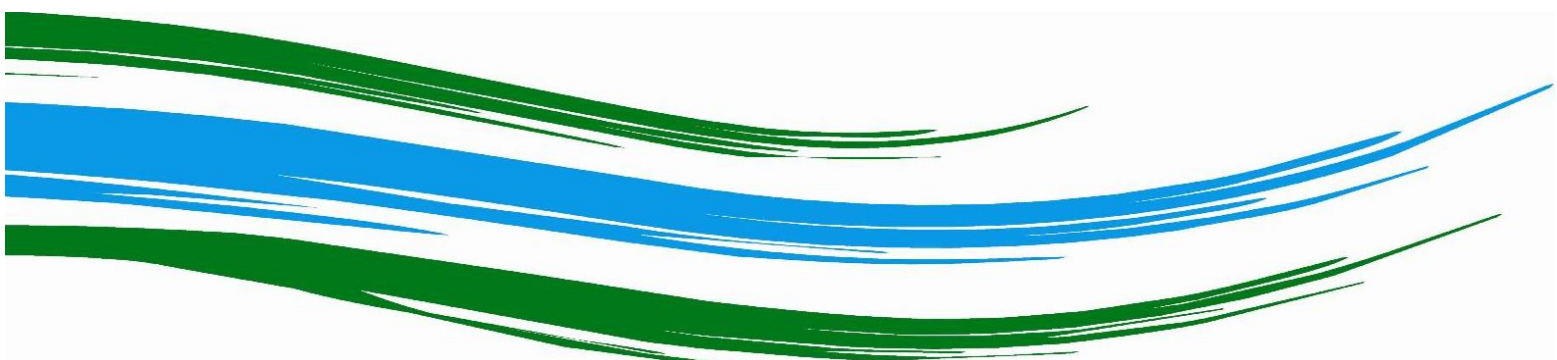
Camden Council

Attachments

Ordinary Council Meeting

8 September 2020

Please note due to COVID-19 restrictions this meeting is being held as a teleconference. The public can view the meeting via Council's webcast. A link to this webcast can be found on Council's webpage – <http://webcast.camden.nsw.gov.au/video.php>



ORDINARY COUNCIL

ATTACHMENTS - ORDINARY COUNCIL

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ORD03

**ORAN PARK PRECINCT
PLANNING PROPOSAL**

Attachment 1

**EMPLOYMENT AREA EXPANSION
& ADDITIONAL PERMITTED USES**

AUGUST 2020



ORAN PARK TOWN PLANNING PROPOSAL

EMPLOYMENT AREA EXPANSION & ADDITIONAL PERMITTED USES

AUGUST 2020

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Rev D	Amended Zone Boundaries	DG	DG	20/08/2020	D+P	20/08/2020

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EXECUTIVE SUMMARY

This Planning Proposal seeks Council support for the expansion of the Oran Park Employment Area which will include an increase in the land zoned *IN1 General Industrial*, introduction of the *B5 Business Development Zone* and the inclusion of additional permitted uses within the *IN1* zone, including 'garden centre', 'hardware and building supplies', 'landscape and garden supplies', 'landscaping material supplies', 'timber and building supplies' and 'vehicle sales and hire premises'. These amendments will facilitate expanded employment opportunities for local residents within and surrounding Oran Park Town, respond to strong demand experienced for such land and uses within the Oran Park Employment Area and will better align the permitted uses of the *IN1 General Industrial* zone of the *State Environmental Planning Policy (Sydney Region Growth Centres) 2006* (Growth Centre SEPP) with the *Camden Local Environmental Plan 2010* (Camden LEP).

The Oran Park Town project was rezoned in December 2007, being one of the first Precincts to be released and rezoned within the South West Growth Centre. Since rezoning, Oran Park Precinct has grown to become an energised and thriving community of approximately 10,000 people, and over 3,800 approved residential dwellings / allotments. There has been major investment in key local infrastructure and services including the delivery of key sub-arterial roadways, major sporting facilities, two new schools, Stage 1 of the Oran Park Podium Shopping Centre and commercial building and recently the new Camden Council administration and library buildings within the Town Centre.

Additional employment land is needed in the response to the strong demand experienced and the desire to create increased opportunities for job containment within the Camden local government area. The proposed expansion of the Oran Park Employment Area will contribute to meeting this demand with the expansion to deliver 11.45ha of additional employment land, generating approximately 1,799 additional jobs (based on job generation of B5: 1 Job / 50sqm and IN1: 1 Job / 100sqm, MacroPlan Dimasi). The expanded employment land area would create a distinct identifiable precinct, well separated and buffered from the surrounding residential development. The employment area expansion would also support the Objectives of the Greater Sydney Region Plan and Western City District Plan through access to local employment.

The proposed modifications will be achieved through amendment to the *State Environmental Planning Policy (Sydney Region Growth Centres) 2006* (the Growth Centres SEPP) Height of Building, Land Zoning, Minimum Lot Size and Special Area maps. The introduction of the Additional Permitted Uses will require creation of an Additional Permitted Uses Map and associated clauses within *Schedule 1 Additional Permitted Uses*.

AECOM has prepared a Traffic Report (refer to Appendix 1) to assess the traffic and transport impacts of the change in land use on the and surrounding road network. The modelling undertaken indicates that the proposed expansion can be accommodated as part of the ultimate delivery of the Oran Park and surrounding Precincts, with only minor upgrades required to the Dick Johnson Drive westbound turn bay length at the signalised intersections of South Circuit.

The Planning Proposal is consistent with the intent, objectives and principles of the Greater Sydney Region Plan and the Western City District Plan. Accordingly, on behalf of Greenfields Development Company we request Council's support for the proposal.

1. INTRODUCTION

This Planning Proposal seeks to amend the existing zoning to facilitate the expansion of the Oran Park Employment Area, including the introduction of an area of land zoned *B5 Business Development* and *Additional Permitted Uses* within the *IN1 General Industrial* zone. The employment expansion is proposed over land zoned *R1 General Residential*.

The Planning Proposal has been prepared in accordance with *Section 3.33 of the Environmental Planning and Assessment Act 1979 (EP & A Act 1979)* and guidelines published by the NSW Department of Planning & Environment (DP&E), namely '*A Guide to Preparing Planning Proposals*' (August 2016) to ensure all matters requiring consideration are appropriately addressed.

This Planning Proposal explains the intent and justification for the proposed amendments to the Growth Centres SEPP as it applies to the Oran Park Precinct of the South West Priority Growth Area. The Planning Proposal amendments will ultimately involve a review of associated planning policies including the Oran Park Development Control Plan and provision of open space / community facilities as part of a review of the Oran Park Voluntary Planning Agreement. Discussion on these matters is provided in this Planning Proposal.



2. SITE DESCRIPTION AND CONTEXT

2.1 Oran Park Town

The site which is the subject of this proposal is located within the Oran Park Town project which comprises the land within the Oran Park Precinct east of The Northern Road.

Oran Park is located within the major urban growth area of Sydney's South West, being the South West Priority Land Release Area, and is approximately 8 kilometres north-east of the Camden town centre, approximately 20 kilometres south-west of the Liverpool CBD and 10 kilometres north-west from Campbelltown (Figure 1).

The Oran Park Precinct incorporates a total land area of approximately 1,120 hectares, spanning land along both the eastern and western side of The Northern Road. The Precinct is currently planned to accommodate 7,500 new homes for around 22,000 new residents, a 50,000-square metre retail area within the emerging 'strategic centre' of Oran Park Town Centre, two neighbourhood centres, 36 kilometres of walking and cycling routes and over 150 hectares of open space.

The Oran Park Town Project forms the major land holding within the Oran Park Precinct encompassing a land area of approximately 596 hectares. Current planning is expected to deliver approximately 5,500 new homes upon completion of the project (approximately 73% of the total precinct).

The site forms part of a larger Leppington Pastoral Company (LPC) land holding of over 1,300 hectares, including the Oran Park South development within the Catherine Field (Part) Precinct and land to the north forming the future Pondicherry and South Creek West land release areas.

Since rezoning in 2007, a significant portion of the Oran Park Town project has been delivered, resulting in a new community of some 3,000 constructed dwellings and over 3,800 approved residential allotments. Development areas either completed or under construction incorporate all the land from the south-east corner of the project to the central-western area adjoining The Northern Road and include the Town Centre Precinct.

There have also been major investments in key local infrastructure and services including:

- Delivery of key sub-arterial roadways, being Oran Park Drive and Peter Brock Drive;
- Delivery of a new intersection and upgrade of a portion of The Northern Road;
- Delivery of sporting fields including Wayne Gardner Reserve and Jack Brabham Reserve;
- Completion and opening of both the Oran Park Town Anglican College and Oran Park Town Public School;
- Completion of Stage 1 of the Podium Shopping Centre and Commercial Building;
- Completion of the Camden Council administration building; and
- Delivery of the Oran Park Town Centre Park.

As one of the largest projects in NSW, Oran Park Town plays a significant role in helping to deliver new communities to meet predicted housing demand and fulfil self-containment and localised employment objectives espoused by the Greater Sydney Commission's Sydney Regional Plan and District Plan for Western Sydney.

Figure 1: Locality Plan

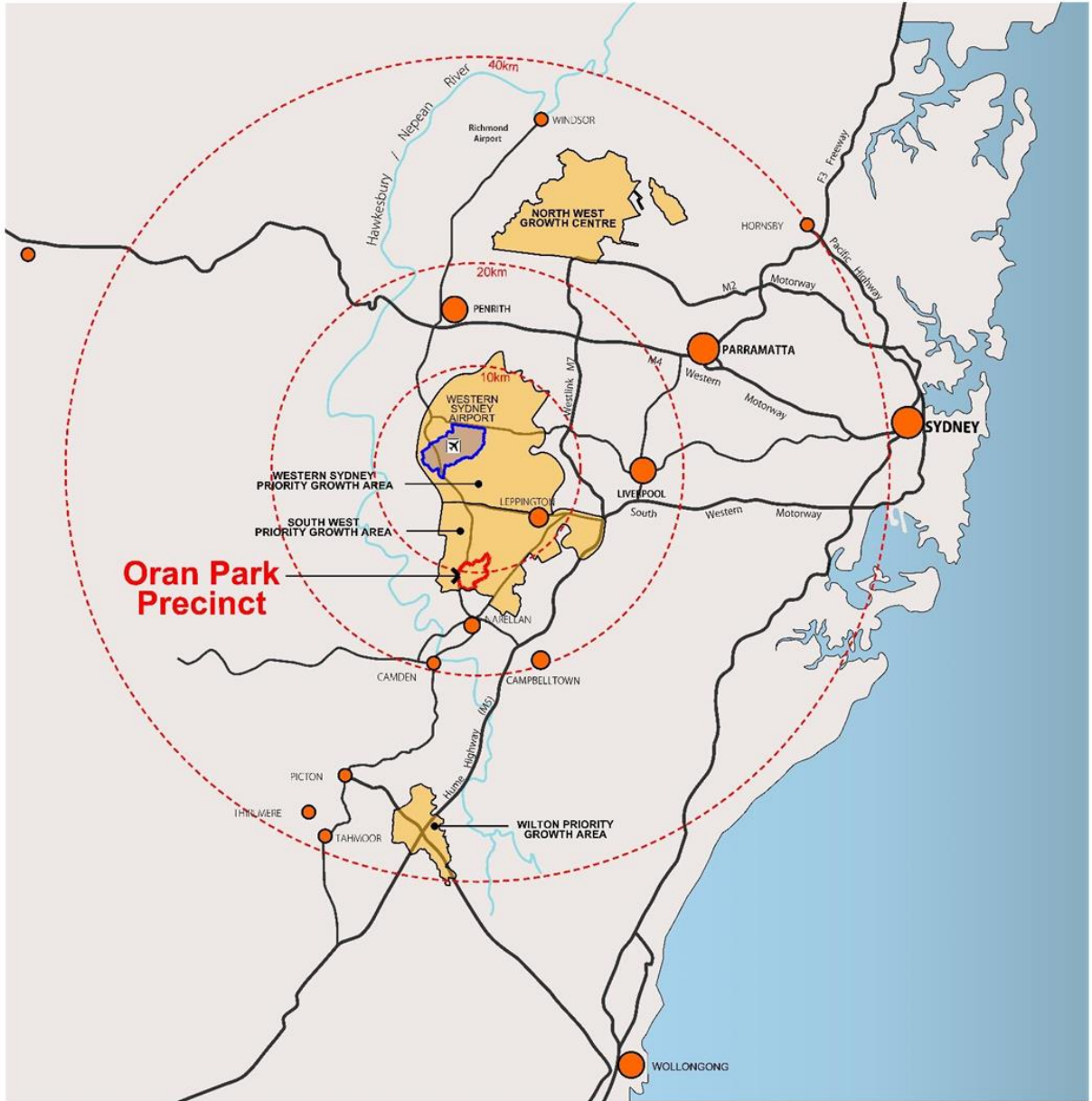
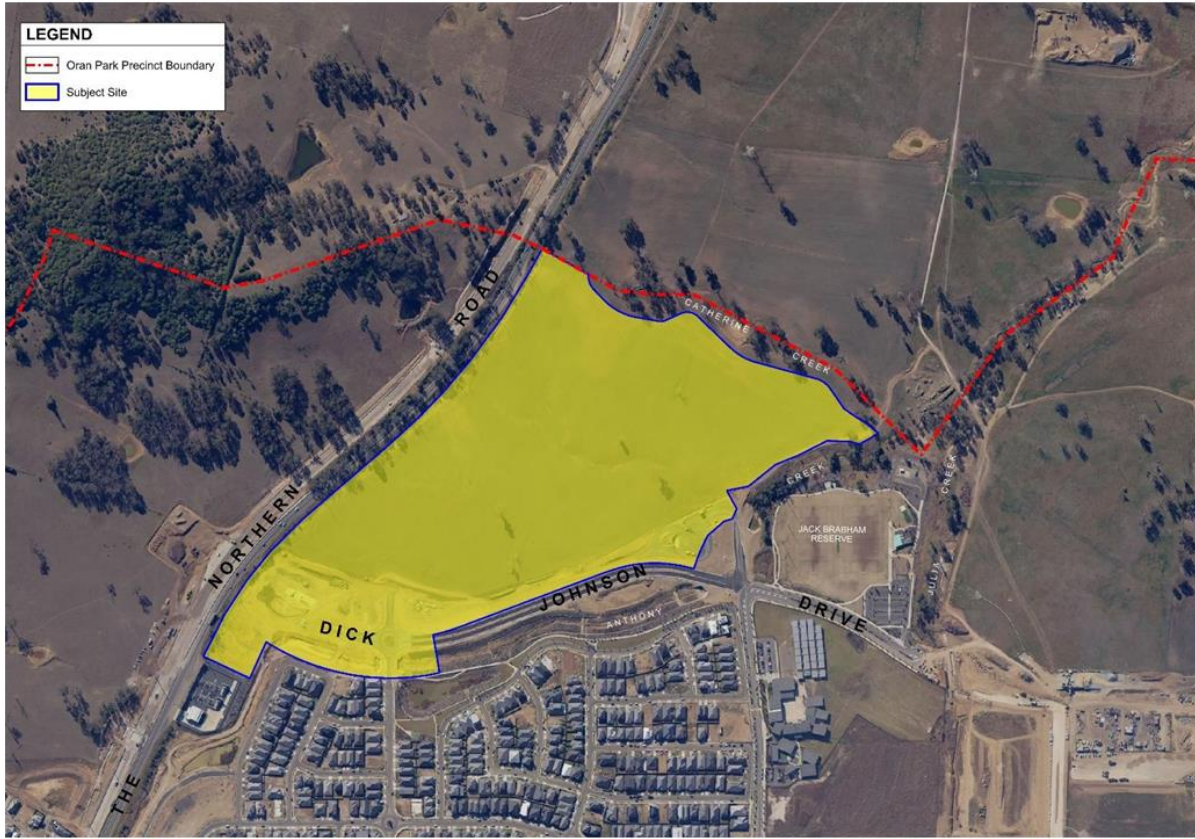


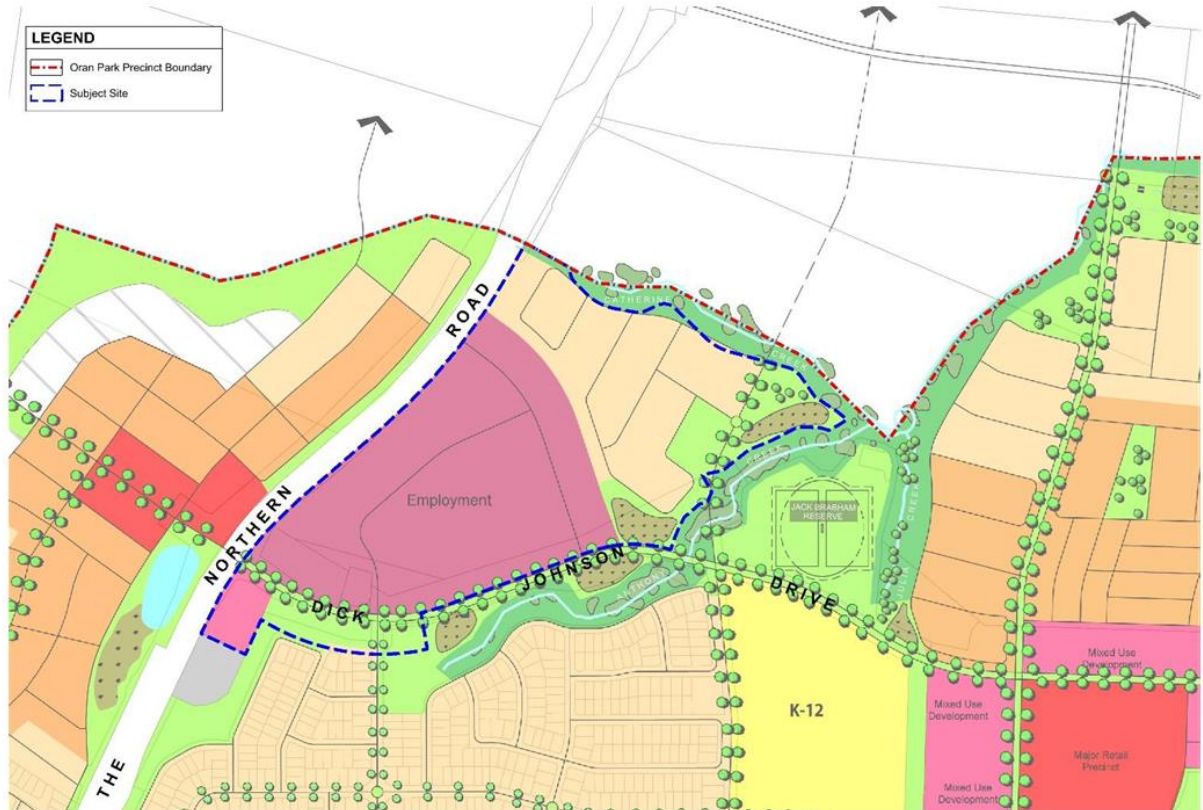
Figure 2: Land to which this Planning Proposal applies (Aerial)



2.2 Oran Park Employment Area

The Oran Park Employment Area as currently zoned is located within the north-west portion of the Oran Park project and at the corner of the arterial road of The Northern Road and the sub-arterial road of Dick Johnson Drive (refer to Figure 3 below). The area is adjoined by currently undeveloped residential zoned land to the north-east, which extends to the riparian corridor (Catherine Creek) at the precinct boundary. The future extension of South Circuit, which is adjoined by Anthony Creek and Jack Brabham Reserve, borders the site to the east.

Figure 3 – Land to which this Planning Proposal applies (ILP)



Subject to the rezoning promoted through this Planning Proposal, the land areas of the Employment Area will increase as per Table 1 below:

Table 1 – Employment Area Expansion Land Areas

	Land Area
Existing Employment Area	18.51ha
Proposed Employment Area Expansion	11.45ha
Total Employment Area	29.96ha
(B5 Business Development Land Area)	(6.54ha)
(IN1 General Industrial Land Area)	(23.42ha)

Based on the above land areas the expanded employment area would create an additional 1,799 local jobs (based on job generation of B5: 1 Job / 50sqm and IN1: 1 Job / 100sqm MacroPlan Dimasi).



The rezoning seeks to expand the employment area up to the northern riparian corridor of Catherine Creek (and precinct boundary) and to the South Circuit collector road, thereby removing all residential land from this enclosed portion of the overall precinct. The expansion of the employment area in place of residential land will also remove the potential for conflict between the industrial and residential land uses.

The employment area expansion concept design is provided as Appendix 2 and shows a logical road layout with a central spine connecting the roundabout on Dick Johnson Drive to a future roundabout on South Circuit. The concept design seeks to orient future buildings towards Dick Johnson Drive to ensure this important frontage and Oran Park gateway is enhanced through the built form. The land area to be zoned B5 is located adjoining Dick Johnson Drive to facilitate opportunity for more intensive employment generating uses (relative to industrial) including large format bulky goods outlets. The uses associated with the proposed B5 zone will also provide the best opportunity to deliver a high quality built form frontage to Dick Johnson Drive. Further, the introduction of the B5 zone is not at the expense of IN1 zoned land which will also be increased in area as part of this proposal. The B5 zoning will instead complement the overall Employment Area expansion.

The employment area expansion will provide increased opportunity to maximise the employment capacity of the Oran Park Precinct while also improving job containment within the Camden LGA. Further, the expansion and associated natural site features will remove conflict between the residential and industrial land uses possible with the current zoning arrangement.

2.3 Oran Park Precinct Development Control Plan 2007

The Oran Park DCP applies to all development within the Oran Park Precinct of the South West Priority Growth Area. The Oran Park DCP came into force in April 2007 and includes general controls that guide development along with the provision of Special Area Design Principles for areas that require further detailed planning and design controls. These controls are to be developed in consultation with Council and the DP&E and will form a Part B Amendment to the DCP. The Oran Park Employment Area is identified as one of these special areas.

A Part B DCP is currently being prepared in consultation with Council to facilitate development of the Employment Area in its current ILP adopted size and location. This Part B DCP will facilitate the delivery of the first stage of the Employment Area which will then be expanded in line with this Planning Proposal should it receive a supportive Gateway determination. Amendments to this Part B DCP are envisaged to include updated maps and figures and removal of controls relating to the interface of industrial and residential land uses.

The DCP amendments will be prepared in collaboration with Council and it is anticipated that Council endorsement and DP&E review will run concurrently with the Gateway process. This will enable a draft DCP to be exhibited with the Planning Proposal.

2.4 Oran Park Voluntary Planning Agreement

In September 2011, Camden Council, Leppington Pastoral Company, Greenfields Development Company No.1, Greenfields Development Company No.2 (GDC 2) entered into a Voluntary Planning Agreement (VPA).

It is acknowledged that should Council support the Planning Proposal review of the VPA may be required. It is noted however that the area subject of this rezoning includes a 'Water Quality/Detention Basin' and a small pocket of 'Other Passive Open Space (Riparian Style)'. The delivery of these facilities is unaltered through the Planning Proposal and it is noted that any amendment to the VPA to account for the reduction in residential land and associated open space demand would be subject to negotiation and approval by Camden Council and its relevant officers.

3. THE PLANNING PROPOSAL

3.1 PART 1 – Objectives and Intended Outcomes

The primary objective of this Planning Proposal is to amend the *State Environmental Planning Policy (Sydney Region Growth Centres) 2006* to increase the size and employment diversity of the Oran Park Employment Area.

The main objectives and intended outcomes of the Planning Proposal are described below:

- To amend the zoning of land to the north east of the existing Oran Park Employment Area to facilitate increased employment opportunities within the Oran Park Precinct and local area;
- To introduce the *B5 Business Development* zone to encourage a variety of employment activities within the Oran Park Employment Area;
- To introduce six Additional Permitted Uses within the IN1 zone, including 'garden centre', 'hardware and building supplies', 'landscape and garden supplies', 'landscaping material supplies', 'timber and building supplies' and 'vehicle sales and hire premises' to respond to the experienced demand for such uses and (in the context of the 'garden centre', 'hardware and building supplies', 'landscaping material supplies', and 'vehicle sales and hire premises') align the Growth Centres SEPP with the Camden LEP, ensuring consistency in the location of these land uses across the LGA; and
- To reduce the potential for conflict between industrial and residential land uses by removing this land use interface.

3.2 PART 2 – Explanation of Provisions

The above objectives and outcomes will be achieved by an amendment to the Growth Centres SEPP and associated land use mapping provisions as follows.

The following Growth Centres SEPP amendments are required as part of this proposal:

- Amendment to the Land Zoning Map: Sheets LZN_003 & LZN_004;
- Amendment to the Height of Buildings Map: Sheets HOB_003 & HOB_004;
- Amendment to the Lot Size Map: Sheets LSZ_003 & LSZ_004;
- Amendment to the Special Areas Map: Sheets SAM_003 & SAM_004;
- Amendments to Schedule 1 Additional Permitted Uses through the inclusion of a new clause; and
- Creation of an Additional Permitted Uses Map: Sheets APU_003 & APU_004

3.2.1 Amendment to the Zoning Map

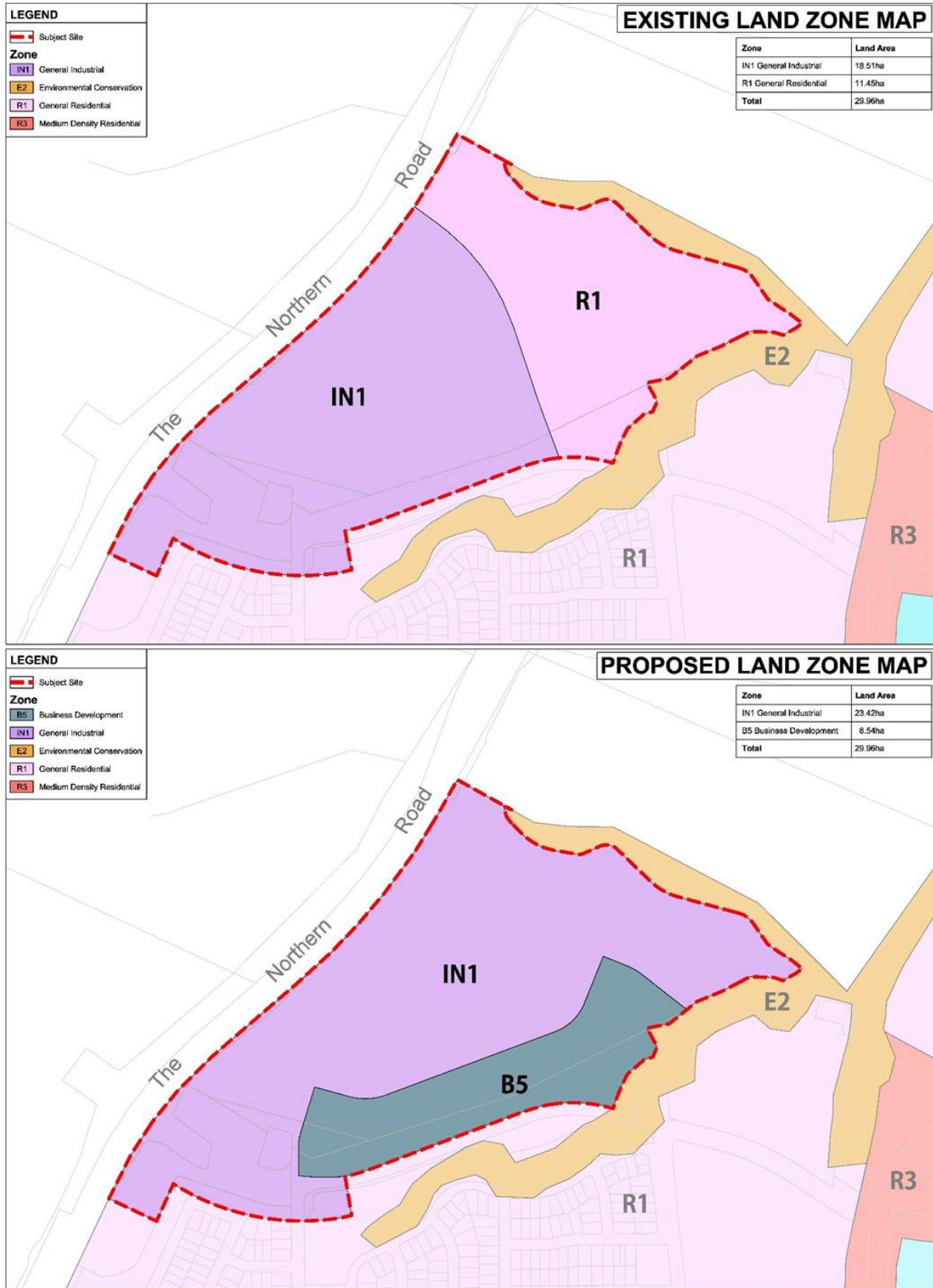
The Land Zoning Maps Sheet LZN_003 & Sheet LZN_004 are proposed to be amended to include:

- Expansion of the existing IN1 Industrial Zone; and
- Introduction of the B5 Business Development Zone for a portion of the site adjoining Dick Johnson Drive.

Figure 4 below (and Appendix 3) provide a comparison between the existing and proposed Land Zoning maps.



Figure 4: Comparison of Existing and Proposed Zoning



3.2.2 Amendment to the Height of Buildings Map

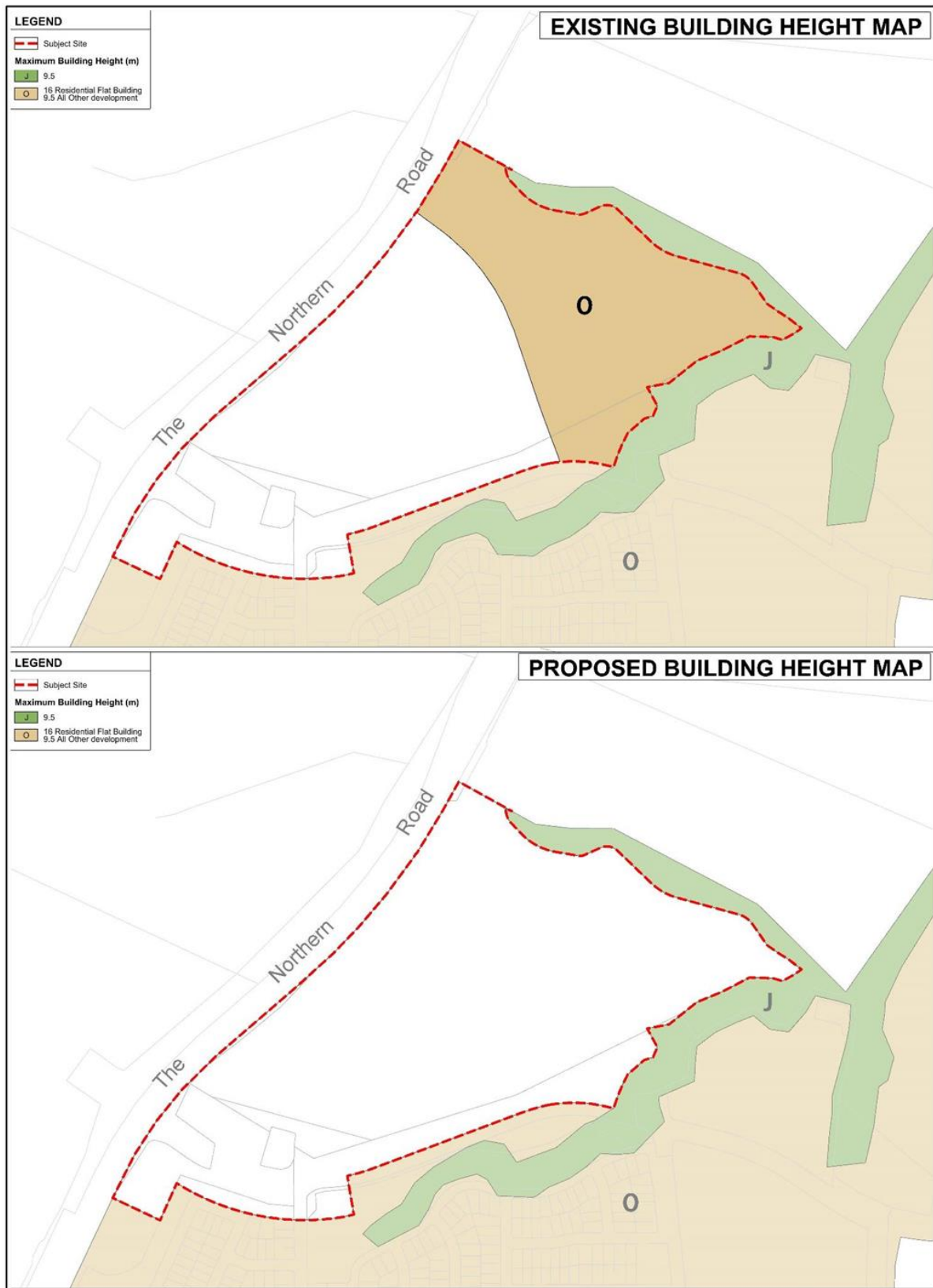
The Growth Centres SEPP Maps do not identify a maximum building height over the *IN1 General Industrial* zone or *B5 Business Development* zone. Accordingly, the Height of Buildings Map Sheets HOB_003 & HOB_004 are proposed to be amended in the following manner:

- Reduction of the specified building height 'O' in line with the proposed expanded IN1 and introduced B5 zones.

Figure 5 below (and Appendix 4) provides a comparison between the existing and proposed Height of Buildings map.



Figure 5: Comparison of Existing and Proposed Height of Buildings



3.2.3 Amendments to the Lot Size Map

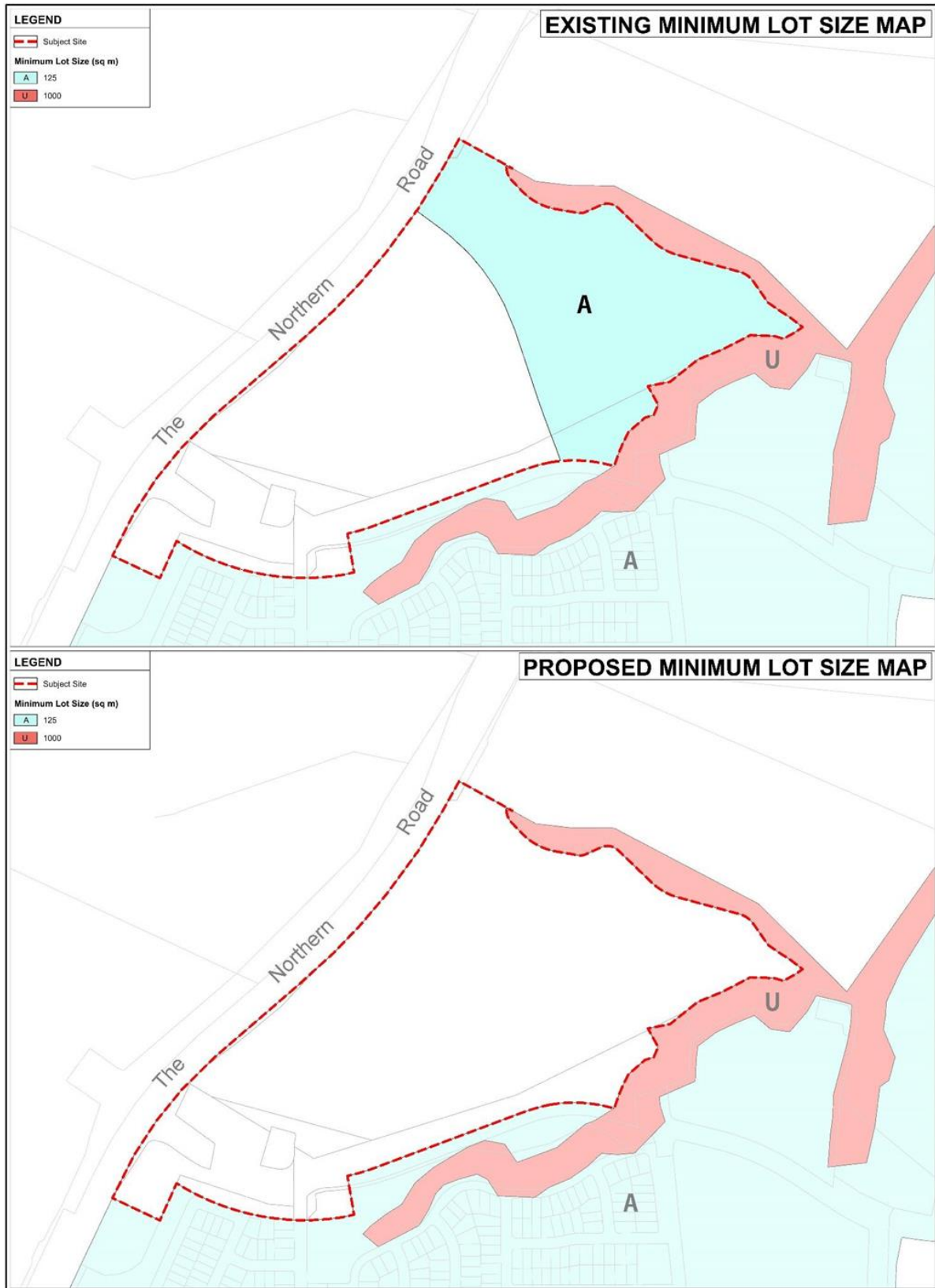
The Growth Centres SEPP Maps do not prescribe a minimum lot size over the *IN1 General Industrial* zone or *B5 Business Development* zone. Accordingly, the Lot Size Map Sheets LSZ_003 & LSZ_004 are proposed to be amended in the following manner:

- Reduction of the specified lot size 'A' in line with the proposed expanded IN1 and introduced B5 zones.

Figure 6 below (and Appendix 5) provides a comparison between the existing and proposed Lot Size map.



Figure 6: Comparison of Existing and Proposed Minimum Lot Size



3.2.4 Amendments to the Special Areas Map

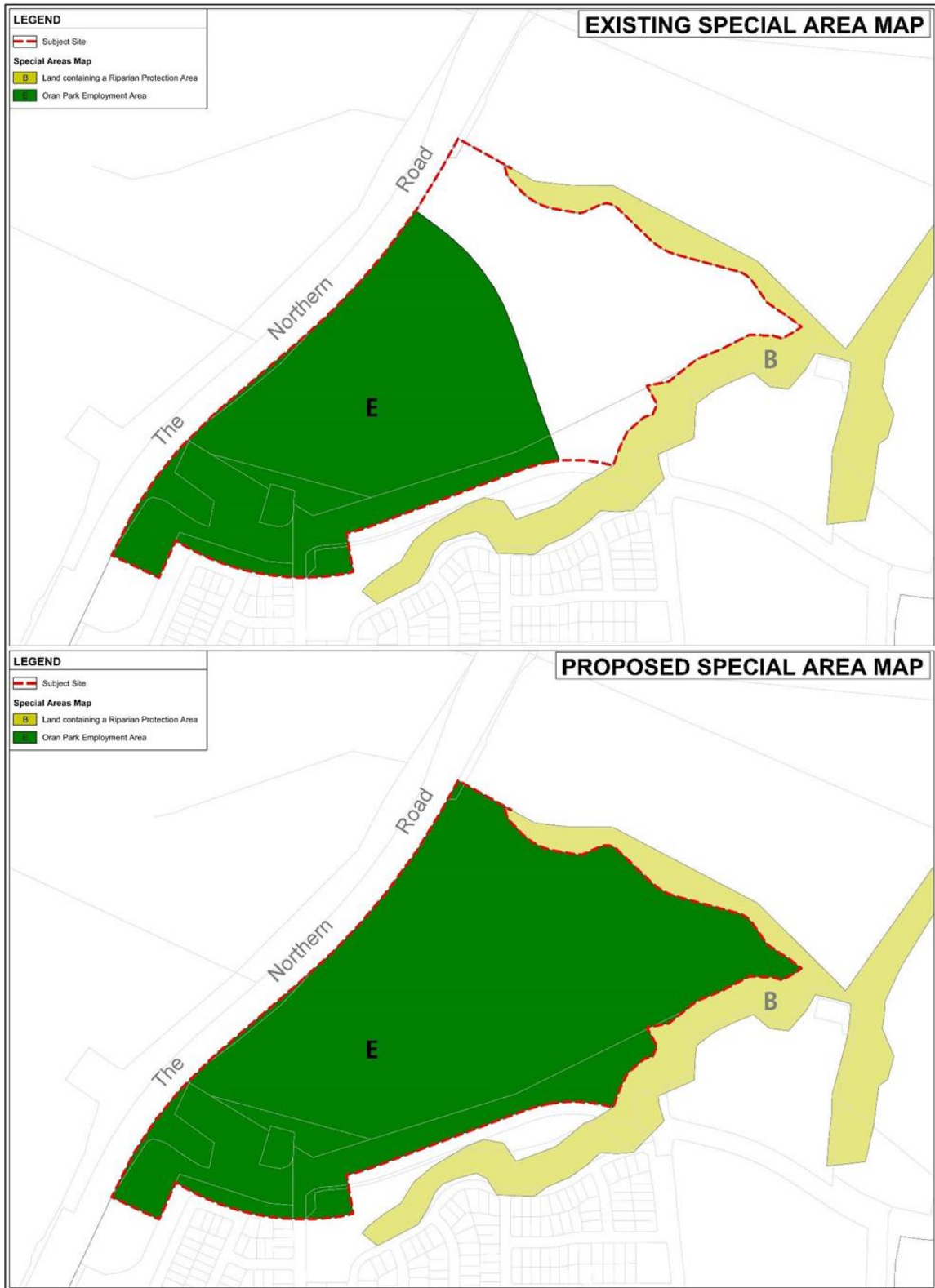
The Growth Centres SEPP maps identify the *Oran Park Employment Area* on the Special Areas Map defined by the boundaries of the IN1 zone. Accordingly, the Special Areas Map Sheets SAM_003 & SAM_004 are proposed to be amended in the following manner:

- Increase the area defined as the Oran Park Employment Areas to align with the proposed extent of the *IN1 General Industrial* and *B5 Business Development* zones.

Figure 7 below (and Appendix 6) provides a comparison between the existing and proposed Special Areas Map.



Figure 7: Comparison of Existing and Proposed Special Areas



3.2.5 Amendments to Schedule 1 Additional Permitted Uses and Creation of an Associated SEPP Map

There is currently one Additional Permitted Use identified in Schedule 1 of the Growth Centres SEPP.

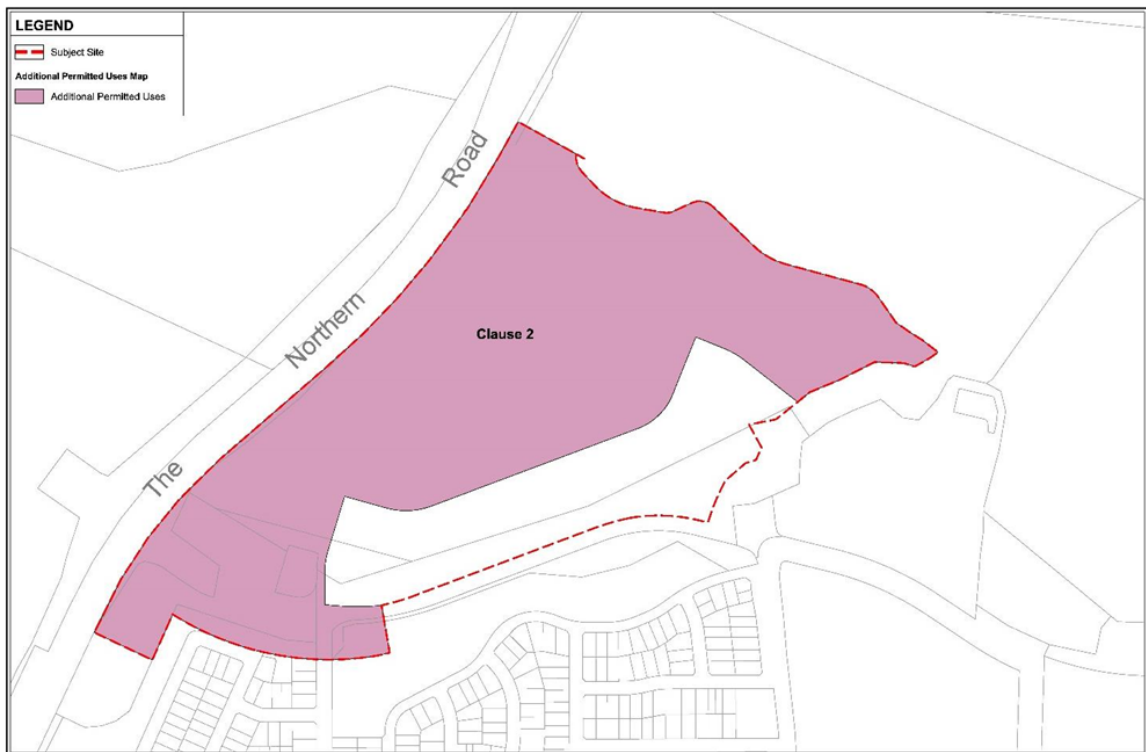
This Planning Proposal seeks to include six Additional Permitted Uses within the land zoned *IN1 General Industrial* as detailed below and on the Map provided as Figure 8 (and Appendix 7):

2. Use of the *IN1 General Industrial* zoned land within the Oran Park Employment Area

- (1) This clause applies to land zoned *IN1 General Industrial* within the Oran Park Employment Area identified as Clause 2 on Sheet 003 and Sheet 004 of the Additional Permitted Uses Map.
- (2) Development for the purpose of *garden centre, hardware and building supplies, landscape and garden supplies, landscaping material supplies, timber and building supplies and vehicle sales and hire premises* is permitted with consent.

The Additional Permitted Uses are provided in response to strong demand experienced for these uses within the Oran Park Employment Area. The introduction of *garden centre, hardware and building supplies, landscaping material supplies, and vehicle sales and hire premises* will better align the Growth Centres SEPP with the Camden LEP, ensuring consistency in the location of these land uses across the LGA.

Figure 8: Proposed Additional Permitted Uses Map



3.3 PART 3 – Justification

3.3.1 Background to Justification

The South West Priority Growth Area has experienced substantial growth over the past decade. Since rezoning, Oran Park Town has grown to form a thriving new community of around 10,000 people, and over 3,800 approved residential dwellings / allotments. Major investment in key local infrastructure and services including the delivery of key sub-arterial roadways, major sporting facilities, two new schools, Stage 1 of the Oran Park Town Centre including the Podium Shopping Centre and Smart Work Hub and recently the new Camden Council administration building and Library has set the foundation for delivery of the vision for Oran Park Town. The delivery of the employment area is a key element of this vision ensuring that Oran Park encompasses a '*complete community incorporating live, work and play options*'.

Recent studies undertaken by the DP&E and Greater Sydney Commission in detailing the future for Sydney including the *Greater Sydney Region Plan* and the *District Plans*, has indicated a changing landscape of South West Sydney not envisaged during the original precinct planning and rezoning of Oran Park. The most significant example of this includes the commitment to the Western Sydney Airport and the associated transport infrastructure projects which will connect the growing communities of Western Sydney. With such commitments comes increased population and residential densities producing increased demand for local employment. The employment area expansion envisaged through this Planning Proposal is modest in the context of the wider South West Priority Growth Area and at 11.45ha of additional employment land, is not expected to adversely impact the employment generating opportunities in the vicinity. Conversely the addition of employment land within Oran Park will improve job containment within both Oran Park and the wider Camden LGA.

The introduction of the proposed B5 zoning will provide increased employment diversity within the Oran Park Precinct. While highly suitable for industrial land the location of the site on one of the main gateway sub-arterial roads within Oran Park provides the opportunity for a more intensive business use which will benefit from this road frontage and access. Further, a B5 use (when compared to an industrial use) is more likely to promote a higher standard of architectural built form outcome appropriate for this gateway location. Accordingly, the introduction of the B5 zone is not at the expense of IN1 land which will also be increased in area, but instead complements the overall Employment Area expansion.

The provision of Additional Permitted Uses is also provided in response to strong demand experienced for such uses within the Oran Park Employment Area. The introduction of *garden centre, hardware and building supplies, landscaping material supplies, and vehicle sales and hire premises* will better align the Growth Centres SEPP with the Camden LEP, ensuring consistency in the location of these land uses across the LGA.

The employment area expansion and introduction of the B5 zone is also considered to complement the *B2 Local Centre* zoning of the Oran Park Town Centre. The primary function of the B2 zone is to provide retail, business, entertainment and community uses which serve the needs of people who live in, work in and visit the local area. This contrasts with the primary function and objectives of the B5 zone which is to enable a mix of business and warehouse uses and specialised retail uses that require a large floor area, in locations that are close to, and that support the viability of centres. The introduction of the Additional Permitted Uses is also not expected to compromise the viability of the Oran Park Town Centre. The uses are suited to industrial land as demonstrated through the Camden LEP.

3.3.2 Strategic Regional and District Planning

While the growth of the Oran Park Town and experienced demand for broader employment generating uses necessitates the expansion of the Employment Area, it is important to acknowledge some of the key strategic planning policies that provide the policy framework for strategic planning in the Sydney Region. A brief review of Our Greater Sydney 2056 and the Western City District Plan is provided below.

Greater Sydney Region Plan 2056

The Greater Sydney Region Plan 2056 – A Metropolis of three Cities (the Region Plan) delivers a high-level regional plan for Sydney that sets the future growth of the Sydney Region with a focus on providing people with access to jobs within reach of liveable and walkable neighbourhoods. This is set on a backdrop of a City expanding from the current 4.7 million population to 8 million people over the next 40 years. The Plan introduces the notion of three cities – the Western Parkland City, the Central River City and the Eastern Harbour City.

The Plan is centred around ten key directions, which are to be used to guide future strategic planning decisions, including planning proposals. The directions are categorised under the plans Planning Priorities for Productivity, Liveability, and Sustainability form the broad strategic criteria to deliver the three Cities notion.

A detailed response to all Infrastructure and Collaboration; Liveability; Productivity; and Sustainability priorities in the Greater Sydney Region Plan – A Metropolis of Three Cities is included in section 3.3.5.2 *Section B – Relationship to Strategic Planning Framework* of this proposal.

Western City District Plan

The Greater Sydney Commission rereleased the final five District Plans in March 2018, including the Western City District Plan which incorporates the Oran Park Precinct, and maps the 20-year vision for the Western District of Greater Sydney.

The Western City District covers the Local Government Areas of Camden, Campbelltown, Liverpool, Wollondilly, Blue Mountains, Fairfield, Hawkesbury and Penrith, with a current population of over 1.07 million people living in the district. This population is estimated to grow to over 1.5 million by 2036, representing growth of approximately 464,450 people annually.

A key purpose of the Western City District Plan is to inform the preparation of planning proposals. The District Priorities for Collaboration, Productivity, Liveability, and Sustainability form the criteria of assessing how proposals respond to the District Plan. The amendments proposed in this Planning Proposal will not hinder the achievement of the objectives, priorities and actions of the District Plan and are consistent with its intent.

A detailed response to all Infrastructure and Collaboration; Liveability; Productivity; and Sustainability priorities in the Western City District Plan is included in section 3.3.5.2 *Section B – Relationship to Strategic Planning Framework* of this proposal.

3.3.3 Infrastructure Capacity**Traffic and Transport**

The design of the Oran Park Precinct road network caters for a range of transport modes and provides an integrated hierarchy of roads to facilitate residential amenity, traffic efficiency and safety. The Oran Park Precinct road network, including pedestrian and cycle paths have been designed with a clear hierarchy that is well distributed and enables access to and from the Oran Park Employment Area.

The key roads supporting the Oran Park Employment Area include:

- The Northern Road – an arterial road providing a north-south link to the wider regional road network including the M4 Motorway (north) and the Hume Motorway (south). The Northern Road connects with the Employment area via signals at Dick Johnson and a southbound left-in slip lane.
- Dick Johnson Drive – a sub-arterial road providing an east-west link through the Oran Park Precinct and in the future across South Creek. Dick Johnson Drive provides the main access into the Employment Area including via a roundabout at the intersection with Steward Drive and the signalised intersection at South Circuit.
- Steward Drive – A collector road which connects Dick Johnson Drive to Peter Brock Drive in the south. The concept Structure Plan for the Employment Area proposes an extension of this road and connection to the extension of South Circuit.

- South Circuit – A collector road which connects Dick Johnson Drive to Oran Park Drive in the south. The Oran Park ILP shows South Circuit continuing to the north into the future Pondicherry Precinct as a collector road.

AECOM has been engaged to undertake a review of the Traffic Impacts of the proposed Employment Area expansion (refer Appendix 1). Traffic modelling (to 2036) indicates that the proposed expansion can be accommodated as part of the ultimate delivery of the Oran Park and surrounding Precincts, with only minor upgrades required to the Dick Johnson Drive westbound turn bay length at the signalised intersections of South Circuit.

Open Space

The reduction in residential land promoted through this Planning Proposal would have a corresponding reduction in demand for services such as open space. As discussed in section 3.4 *Oran Park Planning Agreement* the area subject of this Planning Proposal and as detailed within the Oran Park VPA includes a 'Water Quality/Detention Basin' and a small pocket of 'Other Passive Open Space (Riparian Style)' only. The delivery of these facilities is unaltered through the Planning Proposal and it is noted that any amendment to the VPA to account for the reduction in residential land and associated open space demand would be subject to negotiation and approval by Camden Council and its relevant officers at the appropriate time.

3.3.4 Employment Area Zoning Options Analysis

A review of alternative employment zones which could be adopted and those that would be most suitable to provide increased employment diversity in the Oran Park Employment Area is provided in Table 2 below.

Table 2: Analysis of the Suitability of Employment Zones

Zone	Description of Zone	Suitability
IN1 General Industrial	This zone is intended for a wide range of industrial and warehouse uses including general and light industries.	The majority of the existing employment area and expansion is proposed to be zoned IN1. This is an appropriate land use for the area as it will remove the potential land use conflicts of the current zoning arrangement where industrial zoned land directly adjoins residential zoned land. Further, the Additional Permitted Uses are provided in response to strong experienced demand for these uses within the Oran Park Employment Area. The introduction of <i>garden centre, hardware and building supplies, landscaping material supplies, and vehicle sales and hire premises</i> will better align the Growth Centres SEPP with the Camden LEP, ensuring consistency in the location of these land uses across the LGA.
IN2 Light Industrial	This zone is identified to be adopted for land that provides a range of 'light industry', 'warehouse or distribution centres' and 'depots.' Vehicle trade and other service industries. The expected land uses are similar in type and scale to the existing industrial zone which applies to the subject land.	The light industrial land use is not considered to provide substantive employment diversity which would warrant a change in land use.
B1 Neighbourhood Centre	The B1 zone covers small-scale neighbourhood centres that serve the needs of the surrounding area. It may include retail uses, business premises, community uses and a residential component.	This zoning is not considered appropriate as an alternative zone within the Employment Area as a small neighbourhood centre exists on the western side of The Northern Road. This existing zone is of a suitable size to provide the daily needs of existing and future residents.
B2 Local Centre	Local centres provide a range of services including retail, business, community and entertainment functions that service a wider catchment than the neighbourhood centres.	The site is within close proximity of the Oran Park Town Centre which is an identified major centre. This zoning is not considered appropriate.

Zone	Description of Zone	Suitability
B3 Commercial Core	This zone is for major centres that provide a wide range of uses including large-scale retail, office, businesses, entertainment and community uses directly linked to major transport routes.	The subject site has not been identified in any strategic planning strategies as a major centre. The rezoning of the site to a B3 zone would erode the integrity of the planned major centre of the Oran Park Town Centre.
B4 Mixed Use	This zone encourages a wide range of land uses including commercial, residential, tourist and visitor and community uses. This zone is typically adopted as a transition zone between commercial/town centres and surrounding residential areas.	Rezoning of the subject land as B4 would allow a range of bulky goods, business, office and entertainment uses, in addition to residential outside of the identified Oran Park Town Centre and adjacent neighbourhood centres. This would effectively create an additional previously unplanned centre which would compete directly with the planned Oran Park Town Centre. The Mixed Use zoning is not considered appropriate as an alternative zoning.
B5 Business Development	This zone is intended to accommodate retail uses that require a large floor area, in locations that are close to, and that support the viability of, centres.	This zone is considered eminently suitable for the subject site. It will deliver land for businesses that desire frontage to a major road and passing traffic and require larger floor plates than cannot be offered in the Town Centre. This type of land use is also more likely (than industrial land uses) to promote a higher standard of architectural built form outcome appropriate for the gateway location adjoining Dick Johnson Drive. The range of permitted land uses is also broad enough to permit essential serviced based industries such as restaurants and service stations. The area proposed to be zoned as B5 will deliver a broader diversity and quantum of jobs due to a higher per hectare job creation rate. Due to the overall Employment Area expansion, the provision of a B5 Business Development zone is not at the expense of IN1 zone land which will also be increased in area through this proposal.
B6 Enterprise Corridor	The zone is generally intended to be applied to land where commercial or industrial development is to be encouraged along corridors identified in the metropolitan, regional and subregional strategies.	The subject land has not been identified under any regional strategies as being appropriate to accommodate an 'Enterprise Corridor'. The establishment of an Enterprise Corridor would require significant land areas along the eastern and western side of The Northern Road, outside of the site, to also be rezoned. The Enterprise Corridor zoning is not considered appropriate as an alternative zoning.
B7 Business Park	This zone is generally intended to accommodate office and light industrial uses, including high technology industries. This zone is intended for larger campus-style developments and should not compete with existing centres.	The subject land has not been identified under any regional strategies as being appropriate to accommodate a Business Park. The establishment of Business Park would require significant land areas outside of the site along the eastern and western side of The Northern Road to also be rezoned. The Business Park zoning is not considered appropriate as an alternative zoning.

The analysis in Table 2 above demonstrates that the expansion of the *IN1 General Industrial* including provision of the proposed Additional Permitted Uses and inclusion of an area of *B5 Business Development* adjoining the gateway road of Dick Johnson Drive would be the most suitable land use zones to incorporate into this employment area expansion. The scale of the proposed B5 Business Development zone would not impact on the planned centres hierarchy established in the precinct planning process for the South West Priority Growth Area. The removal of the existing *R1 General Residential* zone and the associated removal of the interface between this and the industrial land will ensure the potential land use conflicts are avoided.

The alternate zones explored, including Light industrial, Mixed Use and Enterprise Corridor are all considered to be inappropriate as they would:

- Permit similar land uses to those currently allowed under the existing IN1 General Industrial zone; and/or
- Compete with the planned centres hierarchy or be inconsistent with metropolitan and subregional strategies.



3.3.5 Questions to Consider when Demonstrating Justification

3.3.5.1 SECTION A – NEED FOR THE PLANNING PROPOSAL

Q1. Is the Planning Proposal a result of any strategic study or report?

This Planning Proposal is not a result of any Strategic Study or Report. Rather, the amendments proposed in this Planning Proposal are a result of high demand experienced for additional Industrial and large format bulky goods outlets within the Oran Park Employment Area. The proposed Additional Permitted Uses are also in direct response to demand for these uses and will better align the Growth Centres SEPP with the Camden LEP ensuring consistency in the location of these land uses across the LGA.

While not directly a result of any Strategic Study or Report, amendments proposed by this Planning Proposal are considered to be consistent with the directions, strategies and actions outlined in the NSW Governments recent strategic planning policies, including the Greater Sydney Region Plan, and the Western City District Plan.

Q2. Is the Planning Proposal the best means of achieving the objectives or intended outcomes, or is there a better way?

The amendment to the Growth Centres SEPP maps outlined will reflect the objectives and intended outcomes of this Planning Proposal request.

3.3.5.2 SECTION B – RELATIONSHIP TO STRATEGIC PLANNING FRAMEWORK

Q3. Is the Planning Proposal consistent with the objectives and actions of the applicable regional, sub-regional or district plan or strategy (including any exhibited draft plans or strategies)?

The NSW Government created the *Greater Sydney Commission*, who recently released the final *Greater Sydney Region Plan – A Metropolis of Three Cities* (the Region Plan) and *Western City District Plan*, which proposes to refocus the planning for the Greater Sydney Region through the establishment of a polycentric Sydney. Both plans provide key directions, strategies and actions to guide Sydney's productivity, environmental management, and liveability including the delivery of housing, employment, infrastructure and open space.

Both the Regional Plan and District Plan set objectives and actions based on four key areas, including *Infrastructure and Collaboration*, *Liveability*, *Productivity* and *Sustainability* and set the framework for the delivery of housing, employment, infrastructure and open space within Sydney.

The proposal is complementary to the relevant outcomes sought by the Regional Plan and District Plan, supporting implementation of key priorities relating to planning for a 30-minute city including self-containment and promotion of localised employment.

Tables 3, and 4 below outline the key actions listed in strategies and demonstrates how the Planning Proposal is consistent with the *Greater Sydney Region Plan* and the *Western City District Plan*.

The subject site is therefore consistent with objectives and actions contained within the State Government strategic planning policies.

Table 3: Greater Sydney Region Plan

Greater Sydney Region Plan Priority	Compliance Statement
Infrastructure and Collaboration	
<p>Objective 1: Infrastructure supports the three cities</p> <p>Applicable Actions and Strategies:</p> <ul style="list-style-type: none"> Prioritise infrastructure investment to support the vision of <i>A Metropolis of Three Cities</i>. Sequence growth across the three cities to promote north-south and east-west connections. 	<p>This Planning Proposal seeks to provide increased supply and diversity of local employment options within Oran Park Town which directly relates to the 30-minute city vision of the Region Plan.</p> <p>The traffic assessment prepared for the Planning Proposal shows the existing and future road network will accommodate the additional employment land with only minor modifications needed.</p>

	Nothing within the Planning Proposal precludes the achievement of Objective 1 and the relevant actions and strategies.
<p>Objective 2: Infrastructure aligns with forecast growth – growth infrastructure compact</p> <p>Applicable Actions and Strategies:</p> <ul style="list-style-type: none"> Align forecast growth with infrastructure. Sequence infrastructure provision across Greater Sydney using a place-based approach. 	<p>The traffic assessment prepared for the Planning Proposal shows the existing and future road network will accommodate the additional employment land with only minor modifications needed. Upgrades to The Northern Road (an arterial road) and construction of Dick Johnson Drive (a sub-arterial road) will be complete prior to the delivery of the Oran Park Employment Area.</p> <p>Nothing within the Planning Proposal precludes the achievement of Objective 2 and the relevant actions and strategies.</p>
<p>Objective 3: Infrastructure adapts to meet future needs</p> <p>Applicable Actions and Strategies:</p> <ul style="list-style-type: none"> Consider the adaptability of infrastructure and its potential shared use when preparing infrastructure strategies and plans. 	<p>The Oran Park Town development is adaptable and embraces the use of technology through work hubs and shared work spaces that encourage knowledge sharing and the effective use of technology.</p> <p>Nothing within the Planning Proposal precludes the achievement of Objective 3 and the relevant actions and strategies.</p>
<p>Objective 4: Infrastructure use is optimised</p> <p>Applicable Actions and Strategies:</p> <ul style="list-style-type: none"> Maximisation of the utility of existing infrastructure assets and consideration to the strategies to influence behaviour changes, to reduce the demand for new infrastructure, including supporting the development of adaptable and flexible regulations to allow decentralised utilities. 	<p>The design and delivery of the Oran Park Town has been considered at a Planning Proposal and Master Planning level which has allowed for the utilisation of infrastructure and the collaboration of all parties to maximise the use of resources.</p> <p>The traffic assessment prepared for the Planning Proposal shows the existing and future road network will accommodate the additional employment land with only minor modifications needed.</p> <p>This Planning Proposal will further enable the efficient use of infrastructure.</p>
<p>Objective 5: Benefits of growth realised by collaboration of governments, community and business</p>	Nothing within the Planning Proposal precludes the vision of the Western Sydney City Deal or Collaboration with the Greater Sydney Commission, NSW Department of Planning & Environment, Council, Urban Growth NSW Development Corporation and Landcom.
Liveability	
<p>Objective 6: Services and infrastructure meet communities' changing needs</p> <p>Applicable Actions and Strategies:</p> <ul style="list-style-type: none"> Deliver social infrastructure to reflect the needs of the community now and in the future. Optimise the use of available public land for social infrastructure. 	Nothing within the Planning Proposal precludes the achievement of Objective 6 and the relevant actions and strategies.
<p>Objective 7: Communities are healthy, resilient and socially connected.</p> <p>Applicable Actions and Strategies:</p> <ul style="list-style-type: none"> Deliver healthy, safe and inclusive places for people of all ages and abilities that support active, resilient and socially connected communities by: <ul style="list-style-type: none"> Providing walkable places at a human scale with active street life. prioritising opportunities for people to walk, cycle and use public transport. co-locating schools, social, health, age care, sporting, and cultural facilities. promoting local access to healthy fresh food and supporting local fresh food production. 	<p>The design and delivery of the Oran Park Precinct has been undertaken with a place-based approach that focuses on delivering exceptional public realm outcomes. The Precinct is easily accessible by car, bike and walking with a road and pedestrian/cycling network that provides connectivity to the wide range of activities and uses within the Precinct.</p> <p>This proposal does not compromise the planning and delivery of healthy, resilient and socially connected communities.</p>

<p>Objective 8: Greater Sydney's communities are culturally rich with diverse neighbourhoods</p> <ul style="list-style-type: none"> • Incorporate cultural and linguistic diversity in strategic planning and engagement. • Consider the local infrastructure implications of areas that accommodate large migrant and refugee populations. 	<p>This Planning Proposal does not compromise the creation of diverse and culturally rich neighbourhoods, with access to a range of open space and sporting facilities.</p>
<p>Objective 9: Greater Sydney celebrates the arts and supports creative industries and innovation</p> <p>Applicable Actions and Strategies:</p> <ul style="list-style-type: none"> • Facilitate opportunities for creative and artistic expression and participation, wherever feasible with a minimum regulatory burden, including: <ul style="list-style-type: none"> — arts enterprises and facilities and creative industries — interim and temporary uses — appropriate development of the night-time economy. 	<p>The planning proposal seeks to rezone residential land to employment lands which will support opportunities for creative industries and innovation.</p>
<p>Objective 10: Greater housing supply</p> <p>Applicable Actions and Strategies:</p> <ul style="list-style-type: none"> • Prepare housing strategies • Develop 6-10-year housing targets 	<p>This Planning Proposal seeks to facilitate the delivery of Oran Park Town as a liveable and highly connected community with access to a diverse mix of local employment.</p> <p>Nothing within the Planning Proposal precludes the achievement of the housing strategies and expected dwelling yields developed for the Oran Park Precinct. Lot sizes have reduced substantially since the initial planning and rezoning of the precinct, leading to a greater density of detached residential housing than originally envisaged. This increase in residential density is supportive of the proposed rezoning proposal to expand the local employment opportunities within Oran Park.</p>
<p>Objective 11: Housing is more diverse and affordable</p> <p>Applicable Actions and Strategies:</p> <ul style="list-style-type: none"> • Prepare Affordable Rental Housing Target Schemes, following development and implementation arrangements. • State Agencies, when disposing or developing surplus land for residential or mixed use projects include, where viable, a range of initiatives to address housing diversity and/or affordable rental housing. 	<p>The actions under this objective are primarily the responsibility of Government and nothing within the Planning Proposal negates the importance of these higher-level priorities.</p>
<p>Objective 12: Great Places that bring people together</p> <p>Applicable Actions and Strategies:</p> <ul style="list-style-type: none"> • Using a place based and collaborative approach throughout planning, design, development and management, deliver great places by: <ul style="list-style-type: none"> — prioritising people friendly public realms and open spaces as a central organising design principle — recognising and balancing the function of streets as places for people and movement — providing fine grain urban form, diverse land use mix, high amenity and walkability in an within a 10-minute walk of centres — integrating social infrastructure to support connections and provide a community hub — recognising and celebrating the character of a place and its people. • In Collaboration Areas, Planned Precincts and Planning for Centres: 	<p>The Oran Park Town project is committed to the delivery of an extensive high-quality pedestrian network, utilising roadways, green corridors and other lineal spaces.</p> <p>This Planning Proposal continues to promote Oran Park Town as a high quality, connected community with access to a range of retail, commercial and leisure activities as well as a diverse range of employment and housing options.</p>

<ul style="list-style-type: none"> – investigate opportunities for precinct-based provision of adaptable car parking and infrastructure in lieu of private provision of car parking – ensure parking availability takes into account the level of access by public transport – consider the capacity for places to change and evolve, and accommodate diverse activities over time – incorporate facilities to encourage the use of car sharing, electric and hybrid vehicles including charging stations. 	
<p>Objective 13: Environmental heritage is identified, conserved and enhanced</p> <p>Applicable Actions and Strategies:</p> <ul style="list-style-type: none"> • Engage with the community early in the planning process to understand heritage values and how they contribute to the significance of the place • Apply adaptive re-use and interpreting heritage to foster distinctive local places • Managing and monitoring the cumulative impact of development on the heritage values and character of places. 	<p>Nothing within the Planning Proposal precludes the achievement of Objective 13 and the relevant actions and strategies.</p>
<p>Productivity</p>	
<p>Objective 14: A Metropolis of Three Cities – integrated land use and transport creates walkable and 30-minute cities</p> <p>Applicable Actions and Strategies:</p> <ul style="list-style-type: none"> • Integrate land use and transport plans to deliver the 30-minute city. • Investigate, plan and protect future transport and infrastructure corridors. • Support innovative approaches to the operation of business, educational and institutional establishments to improve the performance of the transport network. 	<p>This Planning Proposal seeks to provide increased supply and diversity of local employment options within Oran Park Town which directly relates to the 30-minute city vision of the Region Plan.</p> <p>The traffic assessment prepared for the Planning Proposal shows the existing and future road network will accommodate the additional employment land with only minor modifications needed.</p> <p>Nothing within the Planning Proposal precludes the achievement of Objective 14 and the relevant actions and strategies.</p>
<p>Objective 17: Regional connectivity is enhanced</p> <ul style="list-style-type: none"> • Investigate and plan for the land use implications of potential long-term regional transport connections. 	<p>Nothing within the Planning Proposal precludes the achievement of Objective 17 and the relevant actions and strategies.</p>
<p>Objective 20: Western Sydney Airport and Badgerys Creek Aerotropolis are economic catalysts for Western Parkland City</p> <ul style="list-style-type: none"> • Prioritise: <ul style="list-style-type: none"> – public transport investments to improve north-south and east-west connections to the metropolitan cluster – infrastructure investments, particularly those focused on access to the transport network, which enhance walkability within 2 kilometres of the metropolitan cluster or strategic centres or 10 minutes walking distance of a local centre – infrastructure investments, particularly those focused on access to the transport network, which enhance cycling connectivity within 5 kilometres of strategic centres or 10 kilometres of the metropolitan cluster. • Develop and implement land use and infrastructure plans for the Western Sydney Airport, the metropolitan cluster, the Western Sydney Employment Area and strategic centres in the Western Parkland City by: 	<p>The design and delivery of the Oran Park Precinct has been undertaken with a place-based approach that focuses on delivering exceptional public realm outcomes connected by quality and convenient transport infrastructure. The Precinct is easily accessible by car, bike and walking with a road and pedestrian/cycling network that provides connectivity to the wide range of activities and uses within the Precinct.</p> <p>This Planning Proposal seeks to provide increased supply and diversity of local employment options within Oran Park Town which directly relates to the 30-minute city vision of the Region Plan.</p> <p>Nothing within the Planning Proposal precludes the achievement of Objective 20 and the relevant actions and strategies.</p>



<ul style="list-style-type: none"> — supporting commercial development, aerospace and defence industries and the innovation economy — supporting internationally competitive freight and logistics sectors — planning vibrant strategic centres and attracting health and education facilities, cultural, entertainment, arts and leisure activities — creating high quality places with a focus on walking and cycling — improving transport connections across the Western Parkland City. 	
<p>Objective 22: Investment and business activity in centres</p> <ul style="list-style-type: none"> • Provide access to jobs, goods and services in centres • Create new centres in accordance with the principles for Greater Sydney's centres. 	<p>This Planning Proposal seeks to provide increased supply and diversity of local employment options within Oran Park Town which directly relates to the 30-minute city vision of the Region Plan.</p> <p>Nothing within the Planning Proposal precludes the achievement of Objective 22 and the relevant actions and strategies.</p>
<p>Objective 23: Industrial and urban services land is planned, retained and managed</p> <ul style="list-style-type: none"> • Retain, review and plan industrial and urban services land in accordance with the principles for managing industrial and urban services land. • Consider office development in industrial zones where it does not compromise industrial or urban services activities in the South and Western City Districts. 	<p>The Planning Proposal seek to increase the area of industrial land within the Oran Park Precinct including the introduction of Additional Permitted Uses and a portion of <i>B5 Business Development</i> land, providing increased supply and diversity of employment options for local residents.</p> <p>The proposal does not seek review of the opportunity for office development within the industrial or business zone, with such a use considered more appropriately located within the Oran Park Town Centre.</p>
Sustainability	
<p>Objective 26: A cool and green parkland city in the South Creek corridor</p> <ul style="list-style-type: none"> • Implement the South Creek Corridor Project and use the design principles for South Creek to deliver a cool and green Western Parkland City. 	<p>Nothing within the Planning Proposal precludes the achievement of Objective 26 and the relevant actions and strategies.</p>
<p>Objective 27: Biodiversity is protected, urban bushland and remnant vegetation is enhanced</p> <p>Protect and enhance biodiversity by:</p> <ul style="list-style-type: none"> • supporting landscape-scale biodiversity conservation and the restoration of bushland corridors • managing urban bushland and remnant vegetation as green infrastructure • managing urban development and urban bushland to reduce edge-effect impacts. 	<p>The subject land is currently bio-certified and zoned <i>R1 General Residential</i> or <i>IN1 General Industrial</i>.</p> <p>Therefore, the proposal will have no impact on biodiversity.</p>
<p>Objective 30: Urban tree canopy cover is increased</p> <ul style="list-style-type: none"> • Expand urban tree canopy cover in the public realm. 	<p>The proposed employment area expansion will deliver large street trees at regular intervals contributing to the urban canopy cover.</p> <p>The provision of riparian and open space corridors is unaffected by the proposal.</p>
<p>Objective 31: Public Open Space is accessible, protected and enhanced</p> <p>Maximise the use of existing open space and protect, enhance and expand public open space by:</p> <ul style="list-style-type: none"> • providing opportunities to expand a network of diverse, accessible, high quality open spaces that respond to the needs and values of communities as populations grow 	<p>The Planning Proposal does not seek a corresponding reduction in open space relative to the reduced area of residential land. Consequently, the planned open space through Oran Park will be maximised across the resident population.</p> <p>GDC is committed to delivering an extensive high-quality pedestrian and cycle network, utilising roadways, riparian corridors and other lineal spaces which connect the open space network and deliver the Oran Park Green Grid.</p> <p>The pedestrian and cycle network facilitates and encourages walking and cycling for all local trips including commuter, shopping and leisure.</p>

<ul style="list-style-type: none"> investigating opportunities to provide new open space so that all residential areas are within 400 metres of open space and all high density residential areas (over 60 dwellings per hectare) are within 200 metres of open space requiring large urban renewal initiatives to demonstrate how the quantity of, or access to high quality and diverse local open space is maintained or improved planning new neighbourhoods with a sufficient quantity and quality of new open space delivering shared and co-located sports and recreational facilities including shared school grounds and repurposed golf courses delivering or complementing the Greater Sydney Green Grid providing walking and cycling links for transport as well as leisure and recreational trips. 	
<p>Objective 32: The Green Grid links parks, open spaces, bushland and walking and cycling paths</p> <p>Progressively refine the detailed design and delivery of:</p> <ul style="list-style-type: none"> Greater Sydney Green Grid priority corridors opportunities for connections that form the longterm vision of the network walking and cycling links for transport as well as leisure and recreational trips. 	<p>The Oran Park Structure Plan demonstrates that the "Green Grid" will be delivered through the existing / planned open space and pedestrian / cycle pathways.</p> <p>Nothing within the Planning Proposal precludes the achievement of Objective 32 and the relevant actions and strategies.</p>

Table 4 below outlines each District Priority and how this proposal meets the respective requirements.

Table 4: Response to Western City District Plan District Priorities

Western City District Plan Priority	Compliance Statement
Infrastructure and Collaboration	
<p>Planning Priority W1: Planning for a city supported by infrastructure</p> <p>Applicable Actions:</p> <ul style="list-style-type: none"> (4) Infrastructure use is optimised. 	<p>This Planning Proposal seeks to provide increased supply and diversity of local employment options within Oran Park Town and will optimise the surrounding infrastructure investment directed to The Northern Road upgrade and construction of Dick Johnson Drive as a four lane sub-arterial road.</p> <p>The traffic assessment prepared for the Planning Proposal shows the existing and future road network will accommodate the additional employment land with only minor modifications needed.</p> <p>Nothing within the Planning Proposal precludes the achievement of the remaining actions of Planning Priority W1.</p>
<p>Planning Priority W2: Working through collaboration</p> <ul style="list-style-type: none"> (5) Benefits of growth realised by collaboration of governments, community and business. 	<p>The proposal does not preclude collaboration between all level of Government and the private sector to enable good planning outcomes to be achieved.</p>
Liveability	
<p>Planning Priority W3: Providing services and social infrastructure to meet people's changing needs</p> <p>Applicable Actions:</p> <ul style="list-style-type: none"> (9) Deliver social infrastructure to reflect the needs of the community now and in the future. (10) Optimise the use of available public land for social infrastructure. 	<p>This Planning Proposal supports the delivery of connected places. The Oran Park Precinct has delivered a walkable community connected by open space, pedestrian and cycling links. Schools and open space have been planned and delivered with the ability to share facilities.</p>

	<p>This proposal will reduce demand for open space and other social infrastructure through a reduction in the number of dwellings delivered in Oran Park. GDC through the Planning Proposal do not seek a corresponding reduction in open space ensuring that the currently envisaged extent of existing and future public land is maintained.</p> <p>Nothing within the Planning Proposal precludes the achievement of Objective 6 and the relevant actions and strategies.</p>
<p>Planning Priority W4: Fostering healthy, creative, culturally rich and socially connected communities</p> <p>Applicable Actions:</p> <ul style="list-style-type: none"> • (11) Deliver healthy, safe and inclusive places for people of all ages and abilities that support active, resilient and socially connected communities by: <ul style="list-style-type: none"> a. providing walkable places at a human scale with active street life b. prioritising opportunities for people to walk, cycle and use public transport c. co-locating schools, health, aged care, sporting and cultural facilities d. promoting local access to healthy fresh food and supporting local fresh food production. • (12) Facilitate opportunities for creative and artistic expression and participation, wherever feasible with a minimum regulatory burden, including: <ul style="list-style-type: none"> a. arts enterprises and facilities and creative industries b. interim and temporary uses c. appropriate development of the night-time economy. 	<p>The design and delivery of the Oran Park Precinct has been undertaken with a place-based approach that focuses on delivering exceptional public realm outcomes. The Precinct is easily accessible by car, bike and walking with a road and pedestrian/cycling network that provides connectivity to the wide range of activities and uses within the Precinct.</p> <p>The planning proposal seeks to rezone residential land to employment lands which will support opportunities for creative industries and innovation.</p> <p>This proposal encourages a greater depth of community healthy, resilience and social connectedness.</p>
<p>Planning Priority W5: Providing housing supply, choice and affordability, with access to jobs, services and public transport</p> <p>Applicable Actions:</p> <ul style="list-style-type: none"> • (17) Prepare local or district housing strategies that address the following: <ul style="list-style-type: none"> a. the delivery of five-year housing supply targets for each local government area b. the delivery of 6–10 year (when agreed) housing supply targets for each local government area c. capacity to contribute to the longer term 20-year strategic housing target for the District d. the housing strategy requirements outlined in Objective 10 of the A Metropolis of Three Cities that include: <ul style="list-style-type: none"> I. creating capacity for more housing in the right locations II. supporting planning and delivery of growth areas and planned precincts as relevant to each local government area III. supporting investigation of opportunities for alignment with investment in regional and district infrastructure IV. supporting the role of centres. 	<p>This Planning Proposal seeks to facilitate the delivery of Oran Park Town as a liveable and highly connected community with access to a diverse mix of local employment.</p> <p>Nothing within the Planning Proposal precludes the achievement of the housing strategies and expected dwelling yields developed for the Oran Park Precinct. Lot sizes have reduced substantially since the initial planning and rezoning of the precinct, leading to a greater density of detached residential housing than originally envisaged. This increase in residential density is supportive of the proposed rezoning proposal to expand the local employment opportunities within Oran Park.</p>

<p>Planning Priority W6: Creating and renewing great places and local centres, and respecting the District's heritage</p> <p>Applicable Actions:</p> <ul style="list-style-type: none"> • (19) Using a place-based and collaborative approach throughout planning, design, development and management, deliver great places by: <ul style="list-style-type: none"> a. prioritising a people-friendly public realm and open spaces as a central organising design principle b. recognising and balancing the dual function of streets as places for people and movement c. providing fine grain urban form, diverse land use mix, high amenity and walkability, in and within a 10-minute walk of centres d. integrating social infrastructure to support social connections and provide a community hub e. recognising and celebrating the character of a place and its people • (22) Use place-based planning to support the role of centres as a focus for connected neighbourhoods 	<p>The design and delivery of the Oran Park Precinct has been undertaken with a place-based approach that focuses on delivering exceptional public realm outcomes. The Precinct is easily accessible by car, bike and walking with a road and pedestrian/cycling network that provides connectivity to the wide range of activities and uses within the Precinct.</p> <p>Nothing within the Planning Proposal precludes the continuation of a place-based approach and the broader achievement of the remaining actions of Planning Priority W6.</p>
<p>Productivity</p>	
<p>Planning Priority W7: Establishing the land use and transport structure to deliver a liveable, productive and sustainable Western Parkland City</p> <p>Applicable Actions:</p> <ul style="list-style-type: none"> • (24) Integrate land use and transport plans to deliver the 30-minute city • (25) Investigate, plan and protect future transport and infrastructure corridors • (28) Manage the interfaces of industrial areas, trade gateways and intermodal facilities • (31) Plan for urban development, new centres and employment uses that are integrated with, and optimise opportunities of, the public value and use of the potential north-south train link • (34) Prioritise the planning and delivery of east-west and north-south roads to facilitate access to the strategic centres (including Badgally Road transport corridor to Campbelltown, Spring Farm Parkway and The Horsley Drive) and improve walking and safe cycling connections nearby. 	<p>This Planning Proposal seeks to provide increased supply and diversity of local employment options within Oran Park Town which directly relates to the 30-minute city vision of the Region Plan. The increased capacity of the employment area will also optimise the surrounding infrastructure investment directed to The Northern Road upgrade and construction of Dick Johnson Drive as a four lane sub-arterial road.</p> <p>The traffic assessment prepared for the Planning Proposal shows the existing and future road network will accommodate the additional employment land with only minor modifications needed.</p> <p>The removal of the existing R1 General Residential zone and the associated removal of the interface between this and the industrial land will ensure the potential land use conflicts are avoided.</p> <p>Nothing within the Planning Proposal precludes the achievement of the applicable or other actions of Planning Priority W7.</p>
<p>Planning Priority W8: Leveraging industry opportunities from the Western Sydney Airport and Badgerys Creek Aerotropolis</p>	<p>The employment area expansion and provision of diverse employment options will provide early opportunity for industry to leverage off the future Western Sydney Airport and Badgerys Creek Aerotropolis.</p> <p>The employment area expansion is modest in the context of the wider South West Priority Growth Area and is not expected to adversely impact the employment generating opportunities in the vicinity. Conversely the addition of employment land within Oran Park will improve job containment within both Oran Park and the wider Camden LGA.</p> <p>The proposed Additional Permitted Uses are appropriate for the location and will respond to the strong demand experienced for these uses, along with better aligning the Growth Centres SEPP with the Camden LEP ensuring consistency in the location of these land uses across the LGA.</p>
<p>Planning Priority W9: Growing and strengthening the metropolitan city cluster</p>	<p>Nothing within the Planning Proposal precludes the achievement of the actions of Planning Priority W9.</p>

<p>Planning Priority W10: Maximising freight and logistics opportunities and planning and managing industrial and urban services land</p> <ul style="list-style-type: none"> • (51) Retain and manage industrial and urban service land, in line with the principles for managing industrial and urban services land, in the identified local government areas (refer to Figure 19) by safeguarding all industrial zoned land from conversion to residential development, including conversion to mixed-use zones. In updating local environmental plans, councils are to conduct a strategic review of industrial land. • (53) Plan and manage industrial and urban service land in line with the principles for managing industrial and urban services land, in the identified local government areas (refer to Figure 19) by creating additional industrial and urban services land where required in land release areas to service the growing population. In updating planning for release areas, relevant agencies are to conduct a strategic review of industrial land. • (54) Consider office development in industrial zones where it does not compromise industrial or urban services activities. 	<p>The Planning Proposal seek to increase the area of industrial land within the Oran Park Precinct including the introduction of a portion of <i>B5 Business Development</i> land, providing increased supply and diversity of employment options for local residents.</p> <p>The proposal does not seek review of the opportunity for office development within the industrial or business zone, with such a use considered more appropriately located within the Oran Park Town Centre.</p>
<p>Planning Priority W11: Growing investment, business opportunities and jobs in strategic centres</p> <p>Applicable Actions:</p> <ul style="list-style-type: none"> • (56) Provide access to jobs, goods and services in centres by: <ul style="list-style-type: none"> a. attracting significant investment and business activity in strategic centres to provide jobs growth b. diversifying the range of activities in all centres c. creating vibrant, safe places and a quality public realm d. focusing on a human-scale public realm and locally accessible open space e. balancing the efficient movement of people and goods with supporting the liveability of places on the road network f. improving the walkability within and to centres g. completing and improving a safe and connected cycling network to and within centres h. improving public transport services to all strategic centres i. conserving and interpreting heritage significance j. designing parking that can be adapted to future uses k. providing for a diverse and vibrant night-time economy in a way that responds to potential negative impacts l. creating the conditions for residential development within strategic centres and within walking distance (up to 10 minutes), but not at the expense of the attraction and growth of jobs, retailing and services; where appropriate, strategic centres should define commercial cores informed by an assessment of their need. • (57) Create new centres in line with the Principles for Greater Sydney's Centres. • (60) Review current planning controls and create capacity to achieve the job targets for the District's strategic centres. 	<p>The Planning Proposal seek to increase the area of industrial land within the Oran Park Precinct including the introduction of a portion of <i>B5 Business Development</i> land, providing increased supply and diversity of employment options for local residents.</p> <p>The design and delivery of the Oran Park Precinct has been undertaken with a place-based approach that focuses on delivering exceptional public realm outcomes. The Precinct is easily accessible by car, bike and walking with a road and pedestrian/cycling network that provides connectivity to the wide range of activities and uses (including employment) within the Precinct.</p>

Sustainability	
Planning Priority W12: Protecting and improving the health and enjoyment of the District's waterways	This Planning Proposal will maintain the water quality targets and riparian corridor areas established in the Oran Park Precinct rezoning in 2007.
Planning Priority W13: Creating a Parkland City urban structure and identity, with South Creek as a defining spatial element	The Oran Park Precinct has been designed to incorporate green links along all riparian corridors as they funnel towards South Creek. Enhancements to the riparian corridors will occur as adjoining development occurs. This Planning Proposal does not prevent the achievements of this Planning Priority.
Planning Priority W14: Protecting and enhancing bushland and biodiversity	The subject land is currently bio-certified and zoned for either residential or industrial development. Therefore, the proposal will have no impact on biodiversity.
Planning Priority W15: Increasing urban tree canopy cover and delivering Green Grid connections	The Oran Park Structure Plan demonstrates that the "Green Grid" will be delivered through the existing / planned open space and pedestrian / cycle pathways. The Oran Park Town project is committed to the delivery of an extensive high-quality pedestrian network, utilising roadways, green corridors and other lineal spaces.
Planning Priority W16: Protecting and enhancing scenic and cultural landscapes	The proposal will not impact on any areas of identified scenic landscape value.
Planning Priority W18: Delivering high quality open space	The design and delivery of the Oran Park Precinct has been undertaken with a place-based approach that focuses on delivering exceptional public realm outcomes. The Precinct is easily accessible by car, bike and walking with a road and pedestrian/cycling network that provides connectivity to the wide range of activities and uses within the Precinct. The Planning Proposal does not seek a corresponding reduction in open space relative to the reduce area of residential land. Consequently, the planned open space through Oran Park will be maximised across the resident population.

Q4. Is the Planning Proposal consistent with a Council's local strategy or local strategic plan?

Camden Community Strategic Plan (formerly Camden 2040)

The Camden Community Strategic Plan represents the community's vision for the Local Government Area (LGA) over the coming decade. It details the strategies that will need to be prioritised by a range of agencies, groups and individuals in order to achieve the community vision, 'A Sustainable Camden LGA by 2040'. The Plan was adopted by Council in June 2017.

The plan acknowledges that at the time of writing the State Government was embarking on a number of Strategic Plans and documents which would shape the growth of Sydney and have an impact on the Camden LGA. These plans include the Greater Sydney Region Plan and the Western City District Plan which have since been released and place greater emphasis on the creation of high amenity, compact communities that are able to deliver a higher level of self-containment.

The increase in employment land through additional IN1 zoned land and introduction of the proposed Additional Permitted Uses and B5 zoned land will provide an increase in the quantum and diversity of jobs within Oran Park and directly assist with local job containment.

The proposal is consistent with the principles and objectives of the Camden Community Strategic Plan.



Camden Residential Strategy 2008

The Camden Residential Strategy 2008 was prepared to inform how the growth pressures the LGA will experience to 2038 are managed. The strategy recognises that planning for housing is not static and is informed by new planning concepts, principles and market forces. The Strategy specifically seeks to provide the framework that will guide the creation of development guidelines for the form and character of housing.

Housing within the Oran Park Precinct is guided by the Growth Centres SEPP which sets a minimum dwelling yield for the Precinct. Accordingly, the Camden Residential Strategy 2008 is not applicable to the site. Nevertheless, the minimum dwelling yield indicated within the Growth Centres SEPP (7,540 dwellings) is unlikely to be impacted by the Planning Proposal and consequential reduction in residential zoned land. The Oran Park DCP indicates the site area subject of this Planning Proposal would deliver a yield of 160 dwellings, with those dwellings able to be accommodated elsewhere in the Precinct.

Camden Council Economic Development Strategy – Growth and Prosperity

On 9 July 2013, Camden Council adopted its economic development strategy. This strategy was developed by Council to actively promote strong economic growth and development in a manner consistent with Camden 2040. The strategy identifies Council's role in economic development and the 'Key Activity Areas' for Council to focus on over a four-year period.

The Economic Development Strategy does not contain actions relevant to industrial land. Instead, the actions are more specific to economic activity within town centres.

Table 5 below outlines each of the Camden Economic Development Strategies and how this proposal meets the respective requirements.

Table 5: Camden Council Economic Development Strategy Growth and Prosperity

Key Activity Areas	Comment
<p>Council's Operating Environment</p> <p>Goals</p> <ol style="list-style-type: none"> 1. Activate public and private underutilised spaces through planning and development [Target Sectors: Retail, Education, Health, and Professional Services]. 2. Support the expansion of existing businesses and industry [Target Sectors: Retail, Education, Health, Professional Services, Agriculture, and Tourism]. 3. Attract new businesses and industry to grow employment in the LGA consistent with the community's vision, including a focus on the development of associated executive housing requirements for new residents [Target Sectors: Health, Professional Services, and Government Services]. 4. Maintain and develop the rural lifestyle setting which is an important part of the place, and therefore the economy, of Camden [Target Sectors: Construction, Retail, Agriculture, and Tourism]. 	<ol style="list-style-type: none"> 1. Goal one is not relevant to the Planning Proposal. 2. The Planning Proposal seeks to increase the area and diversity of employment land in Oran Park, which will assist with job containment in the locality and wider LGA. 3. As above. 4. The Planning Proposal relates to land already zoned for residential or industrial development. The Planning Proposal will therefore not impact the rural lifestyle setting of Camden.
<p>Advocacy and Engagement</p> <p>Goals</p> <ol style="list-style-type: none"> 1. Attract new investment and more skilled people to Camden by working with the business community and other key stakeholders [Target Sectors: All]. 2. Communicate more regularly and effectively with the business community and key stakeholders [Target Sectors: All]. 3. Develop Camden's position as the region's professional services area and encourage networking, events and other activities that support the on-going development of this sector [Target Sector: Professional Services]. 4. Work closely with State and Federal government to meet our desired economic outcomes, including finding and attracting the desired residents [Target Sector: Government Services]. 	<ol style="list-style-type: none"> 1. The Planning Proposal seeks to facilitate the commitment of more investment into the delivery of local jobs. 2. Nothing within this Planning Proposal prevents Council from actioning this goal. 3. Nothing within this Planning Proposal prevents Council from actioning this goal. 4. Nothing within this Planning Proposal prevents Council from actioning this goal.

Support Business	
1. Create an environment that supports a modern economy and encourages business interactions and the exchange of ideas [Target Sectors: All].	1. Nothing within this Planning Proposal prevents this action from being achieved. The introduction of the B5 land and increased variety of jobs has the potential to facilitate greater business interaction and exchange of ideas.
2. Support business growth and attract new industry through the provision of economic and business information [Target Sectors: All].	2. Nothing within this Planning Proposal prevents Council from actioning this goal.
3. Encourage entrepreneurs to develop projects that will increase business and employment opportunities for the area [Target Sectors: All].	3. Nothing within this Planning Proposal prevents Council from actioning this goal.
4. Ensure that small businesses and emerging industries are supported and help them to prosper [Target Sectors: All].	4. Nothing within this Planning Proposal prevents Council from actioning this goal.

Q5. Is the Planning Proposal consistent with applicable State Environmental Planning Policies?

The consistency of the Planning Proposal with applicable State Environmental Planning Policies (SEPPs) is outlined in Table 6 below. Former Regional Environmental Plans (REPs) for the Sydney and Greater Metropolitan Regions, which are deemed to have the weight of SEPPs have also been addressed in Table 7.

Table 6: SEPP Review

SEPP	Comment
State Environmental Planning Policy No 1—Development Standards	SEPP No.1 is not applicable within the Oran Park and Turner Road precincts under the Growth Centres SEPP.
State Environmental Planning Policy No 14—Coastal Wetlands	Not Applicable. The area is not within an identified coastal wetland area.
State Environmental Planning Policy No 15—Rural Land sharing Communities	This SEPP does not apply to land within Camden LGA.
State Environmental Planning Policy No 19—Bushland in Urban Areas	Not Applicable as there are no identified areas of urban bushland within the subject site.
State Environmental Planning Policy No 21—Caravan Parks	Not Applicable. However, nothing in this Planning Proposal prevents the realisation of this SEPP.
State Environmental Planning Policy No 26—Littoral Rainforests	Not Applicable as there are no Littoral Rainforests within the subject site.
State Environmental Planning Policy No 29—Western Sydney Recreation Area	Not Applicable as the site is not within the Western Sydney Recreation Area
State Environmental Planning Policy No 30—Intensive Agriculture	Not Applicable as this Planning Proposal does not seek to convert the land from rural to urban use.
State Environmental Planning Policy No 32—Urban Consolidation (Redevelopment of Urban Land)	Not Applicable. However, the Planning Proposal will not prevent the future application of the SEPP.
State Environmental Planning Policy No 33—Hazardous and Offensive Development	Not Applicable. However, the Planning Proposal will not prevent either the existing or future application of the SEPP.
State Environmental Planning Policy No 36—Manufactured Home Estates	Not Applicable. However, the Planning Proposal will not prevent the future application of the SEPP when the land is appropriately serviced for urban development.
State Environmental Planning Policy No 39—Spit Island Bird Habitat	Not Applicable. The site is not within the vicinity of Spit Island.
State Environmental Planning Policy No 44—Koala Habitat Protection	Not Applicable as the site does not incorporate any identified areas of Koala habitat.
State Environmental Planning Policy No 47—Moore Park Showground	Not Applicable as the site is not within the Moore Park Showground area.
State Environmental Planning Policy No 50—Canal Estate Development	Not Applicable. The site is not within an area where canal development could occur.

SEPP	Comment
State Environmental Planning Policy No 52—Farm Dams and Other Works in Land and Water Management Plan Areas	Not Applicable. The proposal however does not prevent the successful application of this SEPP.
State Environmental Planning Policy No 55—Remediation of Land	Consistent. Land capability studies were undertaken as part of the rezoning of the Precinct in 2007.
State Environmental Planning Policy No 59—Central Western Sydney Regional Open Space and Residential	Not Applicable as the subject site is not within the specified land area.
State Environmental Planning Policy No 62—Sustainable Aquaculture	Not Applicable as the proposal does not involve aquaculture.
State Environmental Planning Policy No 64—Advertising and Signage	Consistent. The proposal will continue to enable signage to be assessed consistent with SEPP 64.
State Environmental Planning Policy No 65—Design Quality of Residential Flat Development	Not applicable as the site area is being rezoned for IN1 and B5 uses where all form of residential development are prohibited.
State Environmental Planning Policy No 70—Affordable Housing (Revised Schemes)	Not applicable as the site area is being rezoned for IN1 and B5 uses where all form of residential development are prohibited.
State Environmental Planning Policy No 71—Coastal Protection	Not applicable as the site is not within a coastal zone.
State Environmental Planning Policy (Affordable Rental Housing) 2009	Not applicable as the site area is being rezoned for IN1 and B5 uses where all form of residential development are prohibited.
State Environmental Planning Policy (Building Sustainability Index: BASIX) 2004	Not applicable as the site area is being rezoned for IN1 and B5 uses where all form of residential development are prohibited.
State Environmental Planning Policy (Exempt and Complying Development Codes) 2008	Consistent. Exempt and complying development as envisaged by this SEPP will continue to be permissible.
State Environmental Planning Policy (Housing for Seniors or People with a Disability) 2004	Not applicable as the site area is being rezoned for IN1 and B5 uses where all form of residential development are prohibited including <i>Seniors Housing</i> .
State Environmental Planning Policy (Infrastructure) 2007	Infrastructure can be provided consistent with the intent of this SEPP.
State Environmental Planning Policy (Kosciuszko National Park—Alpine Resorts) 2007	Not Applicable as the site is not within the Kosciusko National Park area.
State Environmental Planning Policy (Kurnell Peninsula) 1989	Not Applicable as the site is not at the Kurnell Peninsula.
State Environmental Planning Policy (Major Development) 2005	Not Applicable as there is currently no major development envisaged under this SEPP within the Study Area. Nothing however will prevent the Minister applying this SEPP within the study area.
State Environmental Planning Policy (Mining, Petroleum Production and Extractive Industries) 2007	The Planning Proposal does not prevent the application of this SEPP.
State Environmental Planning Policy (Penrith Lakes Scheme) 1989	Not Applicable as the subject site is not within the specified land area.
State Environmental Planning Policy (Port Botany and Port Kembla) 2013	Not Applicable as the site has no relevance to the areas identified in the SEPP.
State Environmental Planning Policy (Rural Lands) 2008	Not Applicable as the SEPP does not apply to the study area.
State Environmental Planning Policy (State and Regional Development) 2011	Not Applicable. However, the Planning Proposal does not prevent the application of this SEPP for state significant or critical infrastructure projects.
State Environmental Planning Policy (Sydney Drinking Water Catchment) 2011	Not applicable. The proposal does not contain any area within the drinking water catchment.
State Environmental Planning Policy (Sydney Region Growth Centres) 2006	Consistent. The site is located with the Oran Park Precinct.
State Environmental Planning Policy (Three Ports) 2013	Not Applicable as the land has no relationship to the three ports covered by the SEPP.
State Environmental Planning Policy (Urban Renewal) 2010	Not Applicable as the site is not identified as an Urban Renewal Precinct.

SEPP	Comment
State Environmental Planning Policy (Western Sydney Employment Area) 2009	Not Applicable. The site is not within the Western Sydney Employment Area.
State Environmental Planning Policy (Western Sydney Parklands) 2009	Not Applicable as the subject site is not within the specified land area.

Table 7: Deemed SEPP Review

Deemed SEPPs	Comment
Sydney Regional Environmental Plan No 8 (Central Coast Plateau Areas)	Not Applicable as the subject site is not within the specified land area.
Sydney Regional Environmental Plan No 9—Extractive Industry (No 2—1995)	Not Applicable. Nothing in this Planning Proposal prevents the application of this SEPP to relevant development applications.
Sydney Regional Environmental Plan No 16—Walsh Bay	Not Applicable as the subject site is not within the specified land area.
Sydney Regional Environmental Plan No 18—Public Transport Corridors	Not Applicable as the site is not within an identified public transport corridor.
Sydney Regional Environmental Plan No 19—Rouse Hill Development Area	Not Applicable as the subject site is not within the specified land area.
Sydney Regional Environmental Plan No 20—Hawkesbury-Nepean River (No 2—1997)	Consistent. Future development as a result of this Planning Proposal is able to occur in a manner in keeping with the requirements of this deemed SEPP.
Sydney Regional Environmental Plan No 24—Homebush Bay Area	Not Applicable as the subject site is not within the specified land area.
Sydney Regional Environmental Plan No 25—Orchard Hills	Not Applicable as the subject site is not within the specified land area.
Sydney Regional Environmental Plan No 26—City West	Not Applicable as the subject site is not within the specified land area.
Sydney Regional Environmental Plan No 30—St Marys	Not Applicable as the subject site is not within the specified land area.
Sydney Regional Environmental Plan No 33—Cooks Cove	Not Applicable as the subject site is not within the specified land area.
Sydney Regional Environmental Plan (Sydney Harbour Catchment) 2005	Not Applicable as the subject site is not within the specified land area.

Q6. Is the Planning Proposal consistent with applicable Ministerial Directions (s.117 directions)?

The Planning Proposal has been assessed against each Section 117 direction as shown in Table 8 below.

Table 8: Section 117 Direction Review

Direction	Comment
1. Employment and Resources	
1.1 Business and Industrial Zones	The Planning Proposal is consistent with this ministerial direction. The proposal seeks to increase the quantum and diversity of local jobs within the Oran Park Precinct through an increase in Industrial land including associated Additional Permitted Uses and introduction of an area of business development land. This employment area expansion would be in place of land currently zoned residential and will have the added benefit of removing the interface between these two conflicting land uses. The employment area will instead be adjoined by either a major road or riparian corridor.
1.2 Rural Zones	Not applicable as the proposal site is not located on rural land.
1.3 Mining, Petroleum Production and Extractive Industries	The proposal site area is located within the South West Priority Growth Area and is not within an area identified for future extractive industries.
1.4 Oyster Aquaculture	Not applicable as the proposal site will not impact on an oyster aquaculture area.
1.5 Rural Lands	Not applicable as the proposal site is not subject to a rural zone.

Direction	Comment
2. Environment and Heritage	
2.1 Environment Protection Zones	Not applicable as the proposal site is not located within an area which has been identified as having ecological value or biodiversity constrained.
2.2 Coastal Protection	Not applicable as the proposal site is not within a coastal protection zone.
2.3 Heritage Conservation	Not applicable as the proposal site does not affect any areas identified as having items of heritage significance.
2.4 Recreation Vehicle Areas	Not Applicable as the proposal does not seek to introduce any recreational vehicle areas.
3. Housing, Infrastructure and Urban Development	
3.1 Residential Zones	<p>Housing within the Oran Park Precinct is guided by the Growth Centres SEPP and Oran Park DCP which set a minimum total dwelling yield for the Precinct of 7,540 dwellings and a yield of 160 for the area subject of this proposal.</p> <p>It is considered that the total dwelling yield to be delivered through Oran Park is unlikely to be impacted by the loss of residential land envisaged through this proposal. The DCP allows yield to be traded between sub-precincts and so the 160 dwellings would be accommodated elsewhere in the Precinct.</p> <p>The employment area expansion would continue to make efficient use of the surrounding existing and proposed infrastructure and assist with local job creation and containment within the locality and LGA.</p>
3.2 Caravan Parks and Manufactured Home Estates	Not Applicable as no caravan or manufactured home estates are proposed.
3.3 Home Occupations	Not applicable as the proposal seeks to remove residential land for the site subject to rezoning. Home occupations are not relevant to land uses permitted within Industrial or Business Development zones.
3.4 Integrating Land Use and Transport	<p>The Planning Proposal is consistent with this Ministerial Direction. Road infrastructure within the site will be suitable for bus routes and pedestrian/cycle paths will link to surrounding residential areas.</p> <p>The Planning Proposal seeks to increase the number and diversity of local jobs within the Oran Park Precinct which will increase job containment in the area and reduce car dependency.</p>
3.5 Development Near Licensed Aerodromes	Not Applicable as the proposal is not within the vicinity of an existing licensed aerodrome.
3.6 Shooting Ranges	Not Applicable as there is no shooting range on the subject site.
4. Hazard and Risk	
4.1 Acid Sulfate Soils	The Planning Proposal is consistent with this Direction as comprehensive acid sulphate soil testing occurred during the precinct planning of Oran Park.
4.2 Mine Subsidence and Unstable Land	Not applicable as the proposal site is not within a mine subsidence area.
4.3 Flood Prone Land	Not applicable as the proposal site is not identified as flood prone land.
4.4 Planning for Bushfire Protection	<p>The proposal site area is subject to bushfire constraints with consultation required with the NSW Rural Fire Service following gateway determination.</p> <p>The site is highly capable of being developed for employment land subject to addressing the relevant NSW Rural Fire Service plans and policies at the Development Application stage.</p>
5. Regional Planning	
5.1 Implementation of Regional Strategies	Not Applicable as the proposal site is not within an area subject to a Regional Strategy.
5.2 Sydney Drinking Water Catchments	Not applicable as the proposal site is not within a drinking water catchment.
5.3 Farmland of State and Regional Significance on the NSW Far North Coast	Not Applicable as the proposal site is not within the specified area.

Direction	Comment
5.4 Commercial and Retail Development along the Pacific Highway, North Coast	Not Applicable as the proposal site is not within the specified area.
5.8 Second Sydney Airport: Badgerys Creek	Not Applicable as the proposal site is not within the specified area.
6. Local Plan Making	
6.1 Approval and Referral Requirements	The Planning Proposal is consistent with this direction as it does not introduce any additional or new referral requirements.
6.2 Reserving Land for Public Purposes	The Planning Proposal is consistent with this direction as it will not require land for public purposes without the relevant authority's consent.
6.3 Site Specific Provisions	The Planning Proposal is consistent with this direction as it does not introduce any site-specific provisions.
7. Metropolitan Planning	
7.1 Implementation of A Plan for Growing Sydney	The Greater Sydney Commission released the Sydney Region Plan and Western City District Plan in 2018 and this Planning Proposal has been assessed based on these documents. Notwithstanding this, the Planning Proposal is consistent with this Ministerial Direction as it seeks to provide increased supply and diversity of local employment options within Oran Park Town which directly relates to the 30-minute city vision of the Region Plan.
7.2 Implementation of Greater Macarthur Land Release Investigation	Not Applicable as the proposal site is not within the specified area.
7.3 Parramatta Road Corridor Urban Transformation Strategy	Not Applicable as the proposal site is not within the specified area.
7.4 Implementation of North West Priority Growth Area Land Use and Infrastructure Implementation Plan	Not Applicable as the proposal site is not within the specified area.
7.5 Implementation of Greater Parramatta Priority Growth Area Interim Land Use and Infrastructure Implementation Plan	Not Applicable as the proposal site is not within the specified area.
7.6 Implementation of Wilton Priority Growth Area Interim Land Use and Infrastructure Implementation Plan	Not Applicable as the proposal site is not within the specified area.
7.7 Implementation of Glenfield to Macarthur Urban Renewal Corridor	Not Applicable as the proposal site is not within the specified area.

3.3.5.3 SECTION C – ENVIRONMENTAL, SOCIAL & ECONOMIC IMPACT

Q7. Is there any likelihood that critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal?

The site includes existing zoned *R1 General Residential* or *IN1 General Industrial* land and does not contain any areas of significant existing vegetation. The site has been cleared of vegetation for stock grazing as part of the previous farm use of the site. The site also subject to biodiversity certification under the Growth Centres SEPP 2006 which was gazetted on 14 December 2007.

No critical habitat or threatened species, populations or ecological communities, or their habitats, will be adversely affected as a result of the proposal.

Q8. Are there any other likely environmental effects as a result of the Planning Proposal and how are they proposed to be managed?

The proposed amendments will not create any undue environmental effects.

Stormwater impacts as a result of the change in land use will be managed in accordance with Council's Engineering Specification and the Oran Park DCP. Bushfire impacts will also be managed in accordance with the RFS requirements and are not materially altered as a result of the Planning Proposal.

As demonstrated in the submitted Traffic Report (refer Appendix 1) the change in land use will require minor modification to the westbound turn bay lengths of the Dick Johnson Drive signalised intersections at South Circuit. These works can be initiated as part of future subdivision development applications over the land subject of this Planning Proposal.

The Planning Proposal will also result in the reduction of the potential for land use conflict under the existing zoning arrangement. This is achieved through the industrial land being provided in an area where it will not directly adjoin residential land with buffers including either a major road or riparian corridor. While this will improve the potential for conflict between the two land uses, future development applications will be required to address Camden Council's Environmental Noise Policy and the NSW Industrial Noise Policy.

Q9. How has the Planning Proposal adequately addressed any social and economic effects?

The Planning Proposal seeks to increase the size and employment diversity of the Oran Park Employment Area. This increase in local jobs fulfils the self-containment and localised employment objectives espoused by the Greater Sydney Commission's Sydney Regional Plan and Western City District Plan and promotes positive social and economic impacts in the area.

3.3.5.4 SECTION D – STATE & COMMONWEALTH INTERESTS

Q10. Is there adequate public infrastructure for the Planning Proposal?

The subject site is located within the South West Priority Growth Area, which forms a major component of the State Governments strategy for accommodating Sydney's growth. The Planning Proposal seeks to provide increased supply and diversity of local employment options within Oran Park Town which directly relate to the 30-minute city vision, including self-containment and localised employment objectives of the Region Plan. The increased capacity of the employment area will also optimise the surrounding infrastructure investment directed to The Northern Road upgrade and construction of Dick Johnson Drive as a four lane sub-arterial road. The traffic assessment prepared for the Planning Proposal shows the existing and future road network will accommodate the additional employment land with only minor modifications needed.

The Oran Park Employment Precinct is adequately serviced by public infrastructure (e.g. transport, water, sewer, electricity and communications) to meet the demand generated by this Planning Proposal request.

Q11. What are the views of State and Commonwealth public authorities consulted in accordance with the gateway determination?

This section of the Planning Proposal is to be completed following consultation with the State and Commonwealth Public Authorities identified in the Gateway Determination. Preliminary discussions have been undertaken with Camden Council however there has not been any formal consultation with State and Commonwealth public authorities at this stage.

3.4 PART 4 – Mapping

As outlined in Section 3.2 of this proposal, the following maps in the Growth Centres SEPP will require creation/amendment:

- Land Zoning maps: Sheet LZN_003 & Sheet LZN_004;
- Height of Buildings maps: Sheet HOB_003 & Sheet HOB_004;
- Lot Size maps: Sheet LSZ_003 & Sheet LZN_004;
- Special Areas maps: Sheet SAM_003 & Sheet SAM_004; and
- Creation of an Additional Permitted Uses Map: Sheets APU_003 & APU_004.

These proposed amendments are shown at Appendices 4 – 8.

3.5 PART 5 – Community Consultation

Community consultation will be undertaken consistent with Camden Council requirements and the Department of Planning and Environment's Gateway Determination conditions should the Planning Proposal proceed.

3.6 PART 6 – Project Timeline

Below is a suggested project timeline for the Proposal:

Table 9 - Project Timeline

Project Milestone	Timeline
Anticipated commencement date (Gateway Determination)	July 2019
Anticipated timeframe for the completion of required supporting information – post-gateway	August/September 2019
Commencement and completion dates for public exhibition period & government agency consultation – after amending Planning Proposal, if required	September/October 2019
Dates for public hearing, if required	October 2019 (if necessary)
Timeframe for consideration of submissions	November 2019
Timeframe for the consideration of proposal post-exhibition, including amendments and report to Council	December 2019
Date of submission to the Department to finalise the SEPP	December 2019

4. CONCLUSION

This Planning Proposal seeks Council support for the expansion of the Oran Park Employment Area which will include an increase in the land zoned *IN1 General Industrial*, introduction of the *B5 Business Development Zone* and the inclusion of six additional permitted uses within the *IN1* zone including 'garden centre', 'hardware and building supplies', 'landscape and garden supplies', 'landscaping material supplies', 'timber and building supplies' and 'vehicle sales and hire premises'. These amendments will facilitate expanded employment opportunities for local residents within and surrounding Oran Park Town, will better align the Growth Centres SEPP with the Camden LEP ensuring consistency in the location of these land uses across the LGA, and will respond to strong demand experienced for such land and uses within the Oran Park Employment Area. Further and importantly these amendments directly relate to the 30-minute city vision, including self-containment and localised employment objectives of the Region Plan and Western City District Plan.

The employment area expansion concept design is provided as Appendix 2 and shows a logical road layout with a central spine connecting the roundabout on Dick Johnson Drive to a future roundabout on South Circuit. The concept design seeks to orient future buildings towards Dick Johnson Drive to ensure this important frontage and Oran Park gateway is enhanced through the built form. The land area to be zoned *B5* is located adjoining Dick Johnson Drive to facilitate opportunity for more intensive employment generating uses (relative to industrial) including large format bulky goods outlets. The uses associated with the proposed *B5* zone will also provide the best opportunity to deliver a high quality built form frontage to Dick Johnson Drive. Further, the introduction of the *B5* zone is not at the expense of *IN1* zoned land which will also be increased in area as part of this proposal. The *B5* zoning will instead complement the overall Employment Area expansion.

The employment area expansion will provide increased opportunity to maximise the employment capacity of the Oran Park Precinct while also improving job containment within the Camden LGA. Further, the employment area expansion and associated natural site features will remove the potential for conflict between the residential and industrial land uses of the current zoning.

As demonstrated in the submitted Traffic Report (refer Appendix 1) the change in land use will require only minor modification to the westbound turn bay lengths of the Dick Johnson Drive signalised intersections at South Circuit. These works can be initiated as part of future subdivision development applications over the land subject of this Planning Proposal.

The adoption of this Planning Proposal would be consistent with the intent, objectives and principles of the Greater Sydney Region Plan and the Western City District Plan and will deliver 11.45ha of additional employment land, generating approximately 1,799 additional jobs to the local area (based on job generation of *B5*: 1 Job / 50sqm and *IN1*: 1 Job / 100sqm, MacroPlan Dimasi). The proposed modifications will be achieved through amendment to the *State Environmental Planning Policy (Sydney Region Growth Centres) 2006* (the Growth Centres SEPP) Height of Building, Land Zoning, Minimum Lot Size and Special Area maps and creation of an Additional Permitted Uses Map.

Accordingly, we request Council consideration and support for this proposal and to forward the Planning Proposal to the Department of Planning and Environment for Gateway Determination.

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Attachment 1



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SYDNEY NSW 2000
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APPENDIX 1

Oran Park Precinct: Employment Area Traffic Report (AECOM)



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Attachment 1

APPENDIX 2

Employment Area Expansion Concept Design with Zoning Overlay



APPENDIX 3

Land Zoning Map Amendments



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Attachment 1

APPENDIX 4

Height of Building Map Amendments



APPENDIX 5

Lot Size Map Amendments



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Attachment 1

APPENDIX 6

Special Areas Map Amendments



APPENDIX 7

Additional Permitted Uses Map



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Oran Park Precinct: Employment Area

Traffic Report



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Oran Park Precinct: Employment Area

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Oran Park Precinct: Employment Area

Traffic Report

Client: Greenfields Development Company No.2

ABN: 31 133 939 965

Prepared by

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Oran Park Precinct: Employment Area

DRAFT**Quality Information**

Document Oran Park Precinct: Employment Area – Traffic Report


Ref

Date 08-Mar-2019

Prepared by Igor Mileusnic

Reviewed by Marcel Cruz

Revision History

Rev	Revision Date	Details	Authorised	
			Name/Position	Signature
A	26-Jan-2019	Draft	Nick Bernard Associate Director	Original signed
B	08-Mar-2019	Draft Final	Nick Bernard Associate Director	

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Oran Park Precinct: Employment Area

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1.0 Introduction

AECOM has been commissioned by Greenfields Development Company (GDC2) to prepare a traffic study to support the proposed modifications to the Oran Park Precinct Indicative Layout Plan (ILP). These proposed modifications seek to expand the Oran Park Employment Area by converting the adjacent residential area to the east to employment lands.

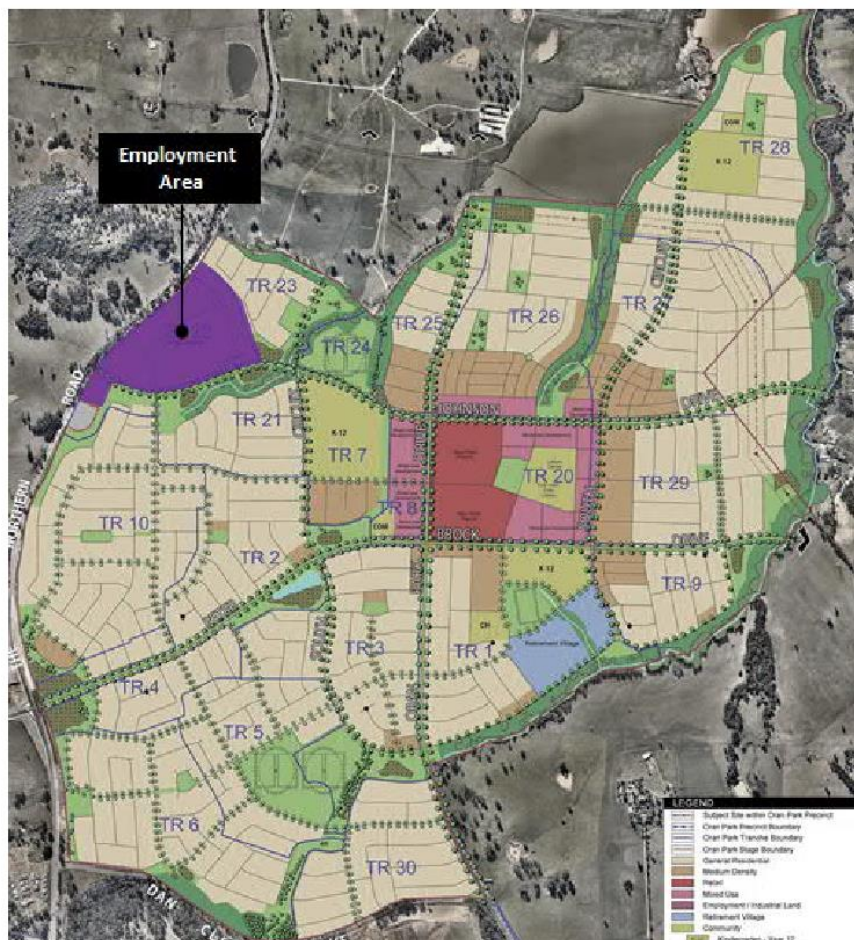
This traffic study has been prepared to support the Planning Proposal submission to Camden Council and assess the traffic and transport impacts of expanding the Oran Park Employment Area.

1.1 Background

Oran Park is a major land release area, located in the south west growth region of Sydney. It was rezoned for urban development and is one of the first areas to be planned under the NSW Government's South West Priority Growth Area (formerly the South West Growth Centre). Overall, the precinct has an area of 1,120 hectares and has been rezoned to allow for residential, business, industrial, special purpose, recreational and environmental projection uses, as shown in Figure 1.

The Oran Park Precinct Development Control Plan (DCP) was adopted in 2007 by the NSW Department of Planning and Infrastructure (now Department of Planning and Environment) with the intent that the precinct is developed to provide a hierarchy of interconnected streets with safe and convenient public transport, pedestrian and cycleway networks.

Figure 1 Oran Park Precinct – strategic context



Source: Design + Planning, 2018; modified by AECOM, 2019
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Oran Park Precinct: Employment Area

2

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1.2 Report structure

The report is structured as follows:

- **Section 2.0** provides a summary of the proposed expansion to the Oran Park Employment Area and provides context from a transport perspective for the site.
- **Section 3.0** discusses the traffic implications associated with the proposed modifications, including forecast road network performance and SIDRA modelling results.
- **Section 4.0** provides a summary of the traffic assessment.

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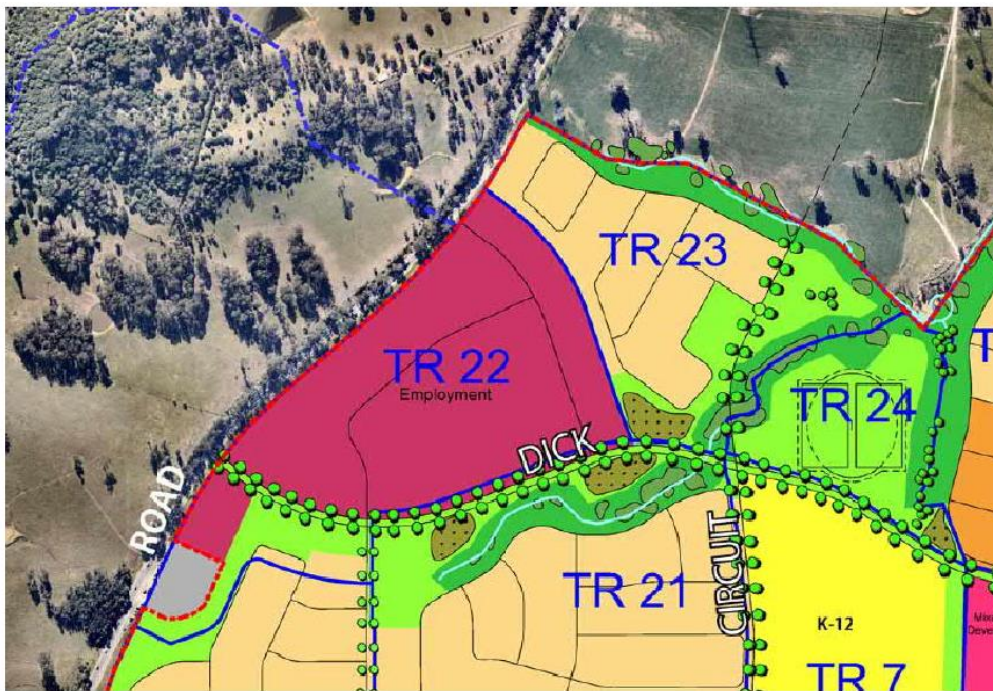
2.0 Oran Park Employment Area

2.1 Current context

The Oran Park Employment Area is located in the north-west section of Oran Park Precinct. It is currently zoned as IN1 – General Industrial under the SEPP (Sydney Region Growth Centres) 2006. The Employment Area forms Tranche (TR) 22 of the precinct and is adjacent to the residential areas of TR 21 and TR 23, as shown in Figure 2.

The Oran Park Employment Area is expected to provide for a range of employment-generating uses, including industrial, light industrial, warehouse and distribution uses. Higher employment-generating uses are preferred to meet the objective of providing opportunities for local employment within Oran Park Precinct and the wider area.

Figure 2 Oran Park Employment Area



Source: Design + Planning, 2018

The development of Oran Park is to be generally in accordance with the ILP and other controls within the Oran Park Precinct Development Control Plan (DCP). The consent authority is administered by Camden Council.

The Oran Park DCP was prepared by the NSW Department of Planning and adopted in 2007. The DCP contains objectives and development controls relating to the overall layout and vision for the future development of the precinct.

The DCP has two parts:

- Part A contains general objectives and controls that apply to development across the whole precinct
- Part B provides site specific DCPs relating to areas that require further detailed planning, including the Oran Park Employment Area.

It is understood more details with regard to planning and design controls in the form of a Part B amendment to the DCP is currently being prepared for the Oran Park Employment Area.

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2.2 Proposed expansion

The proposed expansion is seeking to convert the adjacent residential area of TR 23 to form part of the Oran Park Employment Area. This results in a total area of approximately 22ha and modifications to the internal road network for the Oran Park Employment Area, as shown in **Figure 3**.

Figure 3 Oran Park Employment Area expansion



Source: Design + Planning, 2019

It is understood the expanded Oran Park Employment Area would contain a mix of IN1 – General Industrial and B5 – Business Development uses. A breakdown of intended land uses is provided in **Table 1**.

Table 1 Proposed land use in the expanded Employment Area

Land Use	Proposed area (ha)
IN1 – General Industrial	18.14
B5 – Business Development*	3.86
Total Employment Area	22.00

* permissible retail which at this stage is understood to likely be bulky goods

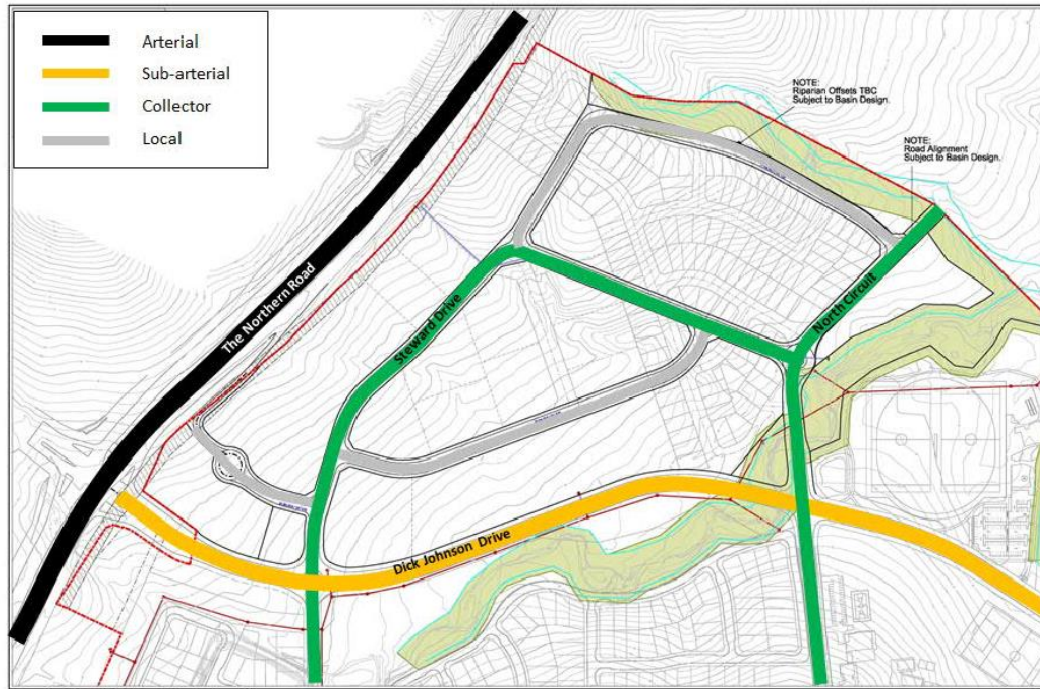
As shown in **Figure 3**, multiple access points to the site are proposed: along The Northern Road (left-slip lane), Dick Johnson Drive (roundabout) and North Circuit (roundabout and priority intersection). A separate left-in only and left-out only access point is proposed along Dick Johnson Drive, which is understood is to provide access to car parking areas for the B5 – Business Development component of the Oran Park Employment Area.

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DRAFT**2.3 Road network**

The design of the road network within the precinct caters for a range of transport modes and provides an integrated hierarchy of roads to facilitate residential amenity, traffic efficiency and safety. The Oran Park road network has been designed with a clear hierarchy of roads that are well distributed and enable access to and from the Oran Park Employment Area.

Figure 4 Oran Park Employment Area road network



Source: Design + Planning, 2019; modified by AECOM, 2019

Key roads surrounding the study area are shown in **Figure 4**, which include:

- The Northern Road is an arterial road providing a north-south link from Oran Park Precinct to surrounding suburbs and the greater arterial road network. The road connects the sub-arterial road of Dick Johnson Drive to the M4 Western Motorway (to the north) and the Hume Motorway (to the south). A proposed southbound slip lane will provide vehicles direct access from The Northern Road into the Oran Park Employment Area.
- Dick Johnson Road is currently planned as a four-lane sub-arterial road, providing an east-west link through the Oran Park Precinct. It provides access to the wider strategic road network through connections to The Northern Road (to the west), Leppington (to the north-east) and Camden Valley Way (to the east). Dick Johnson Drive will provide bus services to the Town Centre and surrounding areas through stops located at the eastern end of the Employment Area.
- Steward Drive is a two-lane collector road providing a north-south link between Peter Brock Drive and Dick Johnson Drive. Steward Drive (north of Dick Johnson Drive) will primarily service industrial vehicles and people employed within the area, connecting them to the sub-arterial road network.
- North Circuit is a two-lane collector road providing a link from Dick Johnson Drive to the Oran Park Employment Area. It operates as higher order collector road that serves local and through traffic and provides drivers with a route choice to avoid perceived congestion on the higher order roads. North Circuit will also service industrial vehicles and employees within the area.

Swept path analysis should be undertaken during the detailed stage to ensure that the internal road network is able to accommodate the manoeuvring of heavy vehicles.

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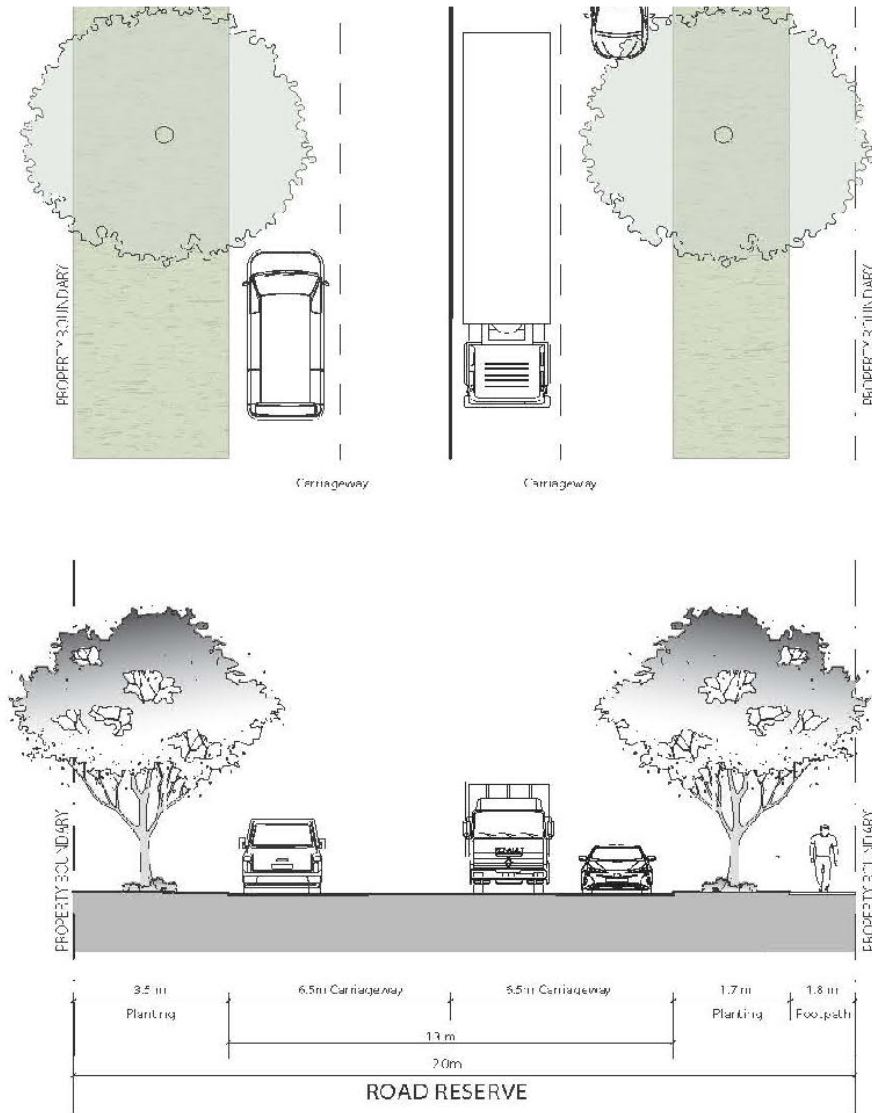
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2.4 Cross-sections

Roads within the Oran Park Employment Area would be required to accommodate heavy vehicles, which would need a travel lane width of 3.5m. The typical road cross-section for internal roads is presented in Figure 5.

Figure 5 Typical road cross-section



Source: GDC2, 2019

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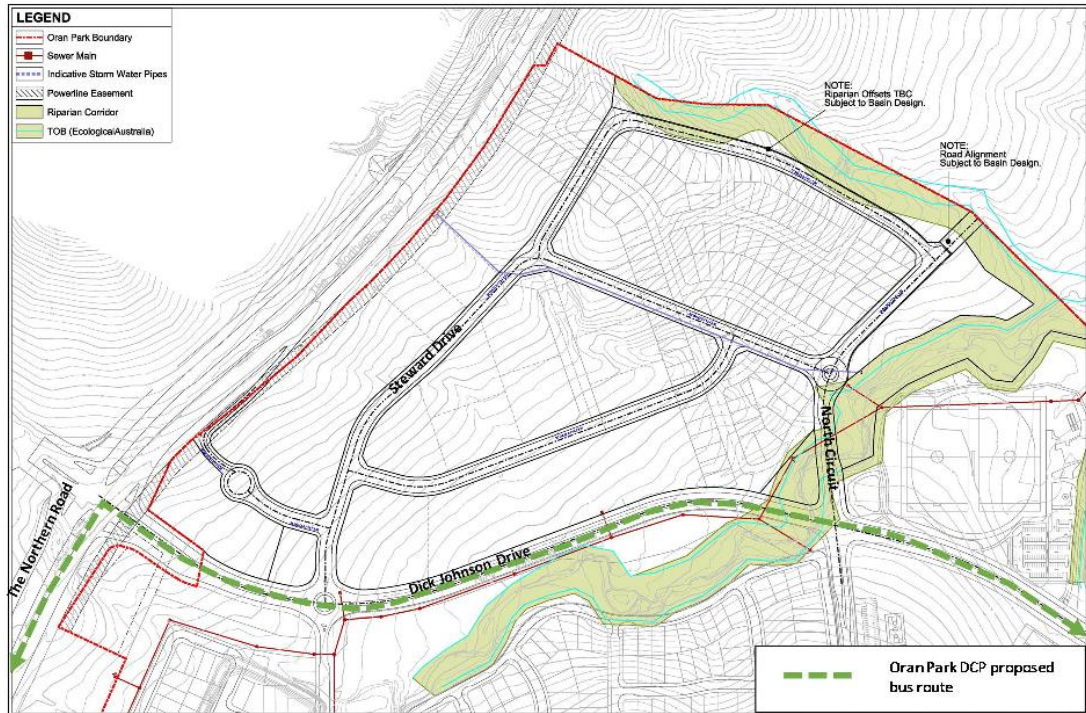
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2.5 Public transport

The Oran Park public transport network has been developed to encourage the provision and use of public transport within Oran Park Precinct. Key bus routes have been identified in the Oran Park DCP, which aim to connect areas within the precinct to the Town Centre and nearby key local centres. This includes bus operations along Dick Johnson Drive, which fronts the Oran Park Employment Area.

Figure 6 illustrates the bus routes within the vicinity of the Oran Park Employment Area.

Figure 6 Public transport routes - Bus



Source: Design + Planning 2019; modified AECOM, 2019

Design + Planning have developed the *Oran Park Bus Services Strategy (2017)* to rationalise the location of bus shelters within the precinct. The proposed locations for bus shelters in the vicinity of the Oran Park Employment Area are presented in **Figure 7**.

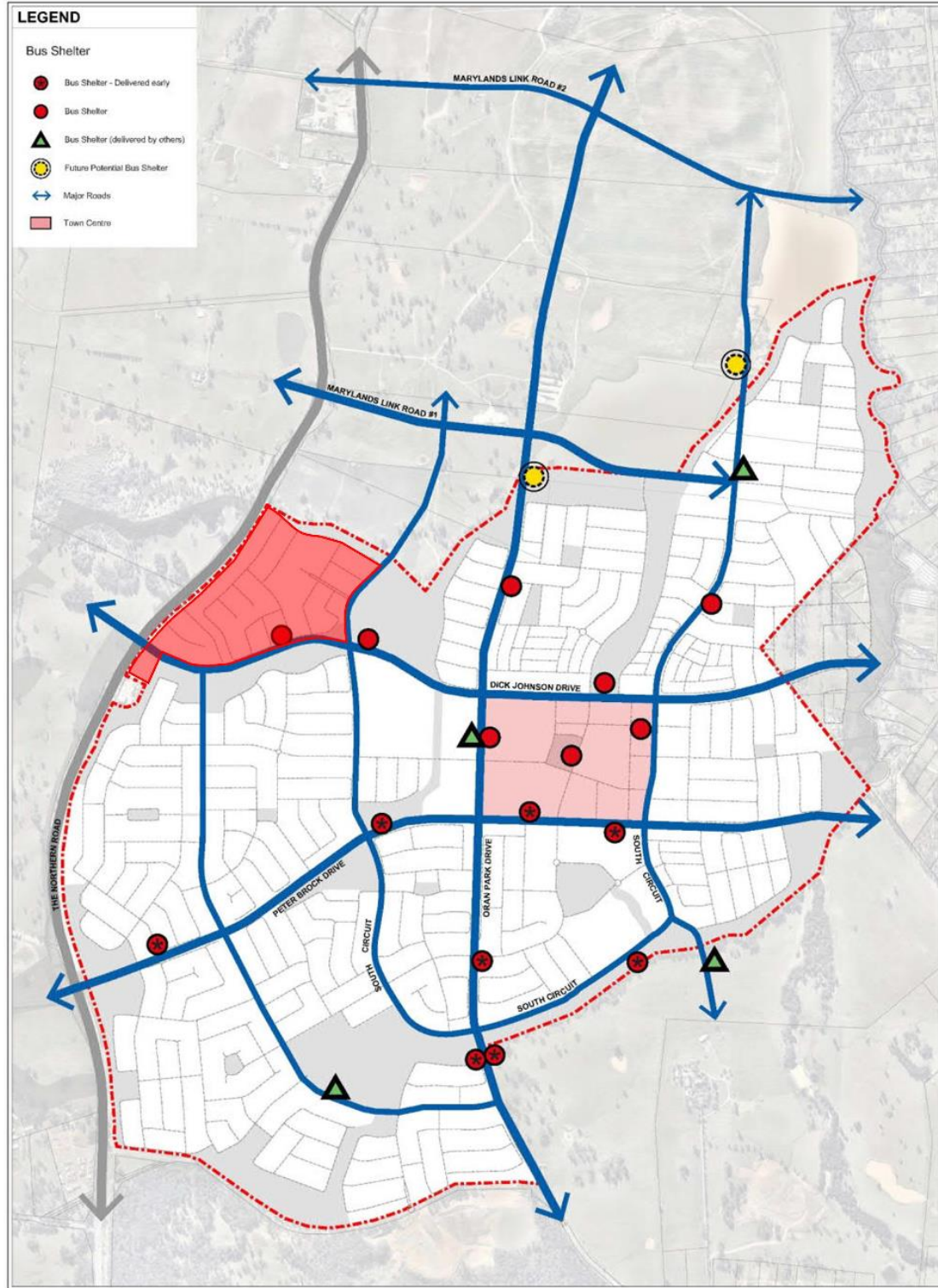
The provision of bus services to the Oran Park Employment Area with sheltered facilities would help encourage future workers and visitors to use of this mode of transport. Consideration should be given to providing a bus shelter on the southern side of Dick Johnson Drive in proximity to a pedestrian crossing facility.

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Figure 7 Oran Park bus services strategy plan



Source: Design + Planning, 2018

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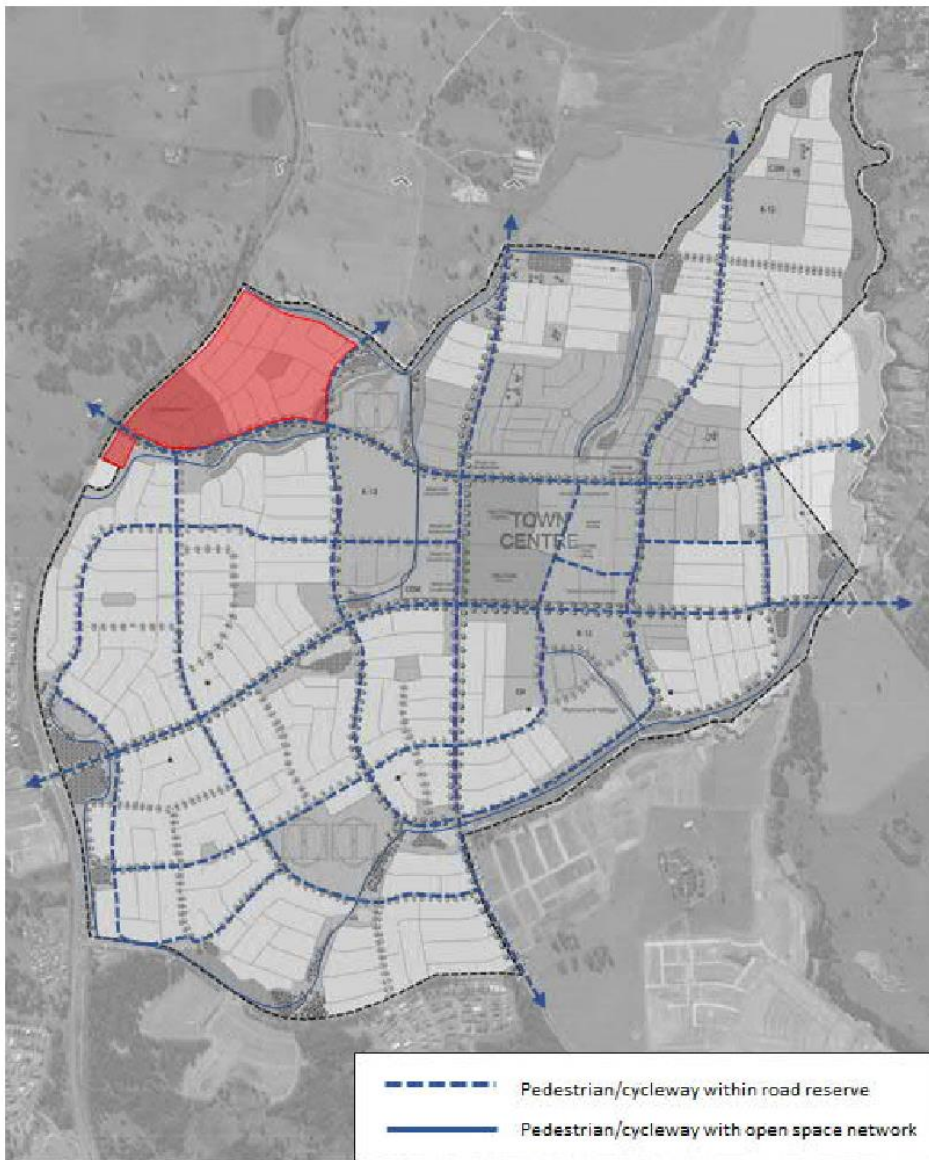
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2.6 Walking and cycling

The Oran Park Precinct incorporates integrated pedestrian and cycle routes throughout the precinct providing linkages to the broader network, promoting a high level of pedestrian permeability. Key pedestrian and cycleway routes have been identified in the Oran Park DCP.

The shared path network, presented in Figure 8, illustrates how the key routes connect the Oran Park Employment Area to the wider precinct. The shared path network will promote pedestrian and cycling activity to the area.

Figure 8 Oran Park pedestrian and bicycle network



Source: AECOM, 2018; modified by AECOM, 2019

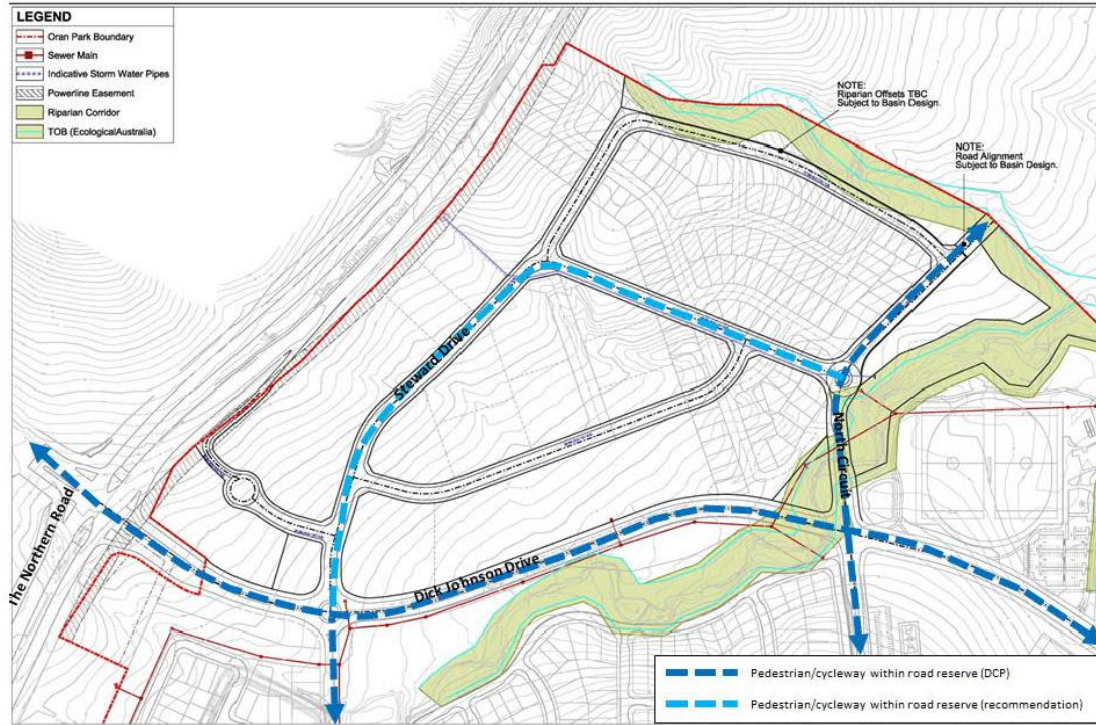
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It is recommended the off-road shared path along Steward Drive is extended within the Oran Park Employment Area, as shown in Figure 9. This would provide direct connections and encourage walking and cycling to the area, as well as reduce the conflict of heavy vehicles and cyclists on internal roads.

Pedestrian footpaths are to be provided on at least one side of all roads with appropriate provision for safe crossings for pedestrians and cyclists within the Oran Park Employment Area, if required and warrants are met.

Figure 9 Recommended extension of off-road shared path along Steward Drive



Source: Design + Planning, 2019; modified by AECOM, 2019

DRAFT**3.0 Traffic assessment****3.1 Background**

The strategic road network and intersections in the Oran Park Precinct are being designed with long term infrastructure needs in mind, following assessment of traffic requirements upon full development of the Oran Park Precinct (and adjacent precincts). Infrastructure requirements are being determined through use of strategic (CUBE) traffic modelling software and detailed intersection modelling (SIDRA).

AECOM has developed a strategic CUBE model for the Oran Park Precinct. The model has been used to inform the design and planning of the precinct. It was prepared to represent a long term scenario, based on future forecasts where the development of Oran Park would be completed and the development of surrounding regional areas would have taken place. The modelling incorporates the most up-to-date information on the characteristics of the road network, the proposed nature, mix and location of land uses and the likely timing of their implementation.

This modelling has been progressively developed over many years to reflect changes proposed to the precinct. It has been presented and discussed at various stages with Camden Council, the NSW Roads and Maritime Services and Department of Planning and Environment to agree the appropriateness of inputs, assumptions and consequent infrastructure requirements.

3.2 Updates to the CUBE Model

The Oran Park CUBE model has been refined to better reflect future demand for travel. These refinements include:

- Network inputs – the network structure has been updated to reflect the latest road network layout and intersection control for the Oran Park Precinct, including the proposed increased development yield within the Employment Area. The zoning system and centroid connectors were also updated to reflect the latest structure plan.
- Demand inputs – land use inputs have been updated to reflect the latest residential and non-residential land use projections for the Oran Park Precinct, including the Oran Park Employment Area, and to assist in the demand generation process.
- Modelling procedure – the coding of roads to better distribute traffic to and from zones and the assignment procedure to produce more reasonable volume-delay results across the facility types.

Outputs from the CUBE model were used as traffic volume inputs to the SIDRA modelling to determine the performance of the road network adjacent to the Employment Area during the 2036 AM and PM peak hour.

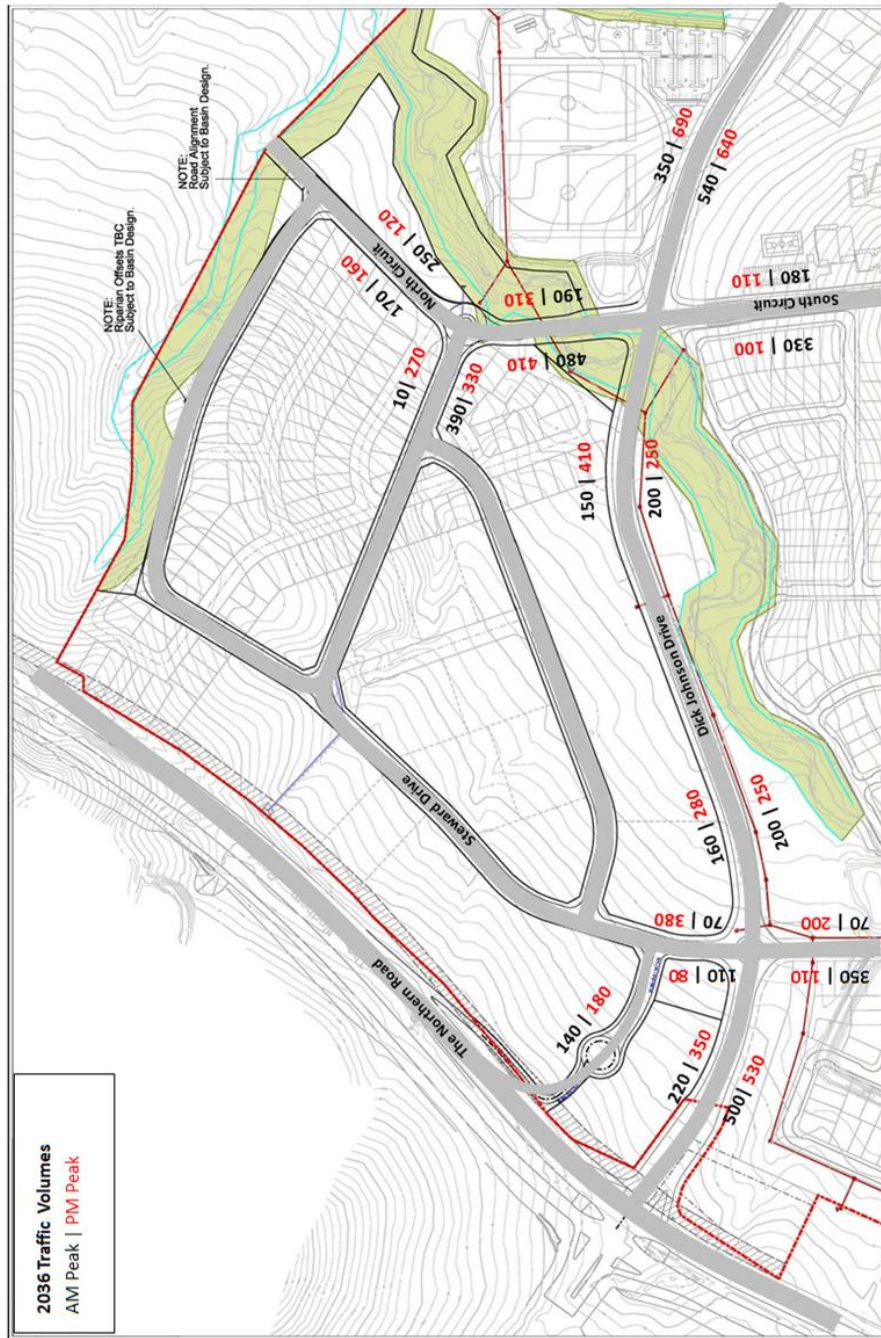
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3.3 Traffic volumes

The forecast 2036 AM and PM peak hour midblock traffic volumes surrounding the Oran Park Employment Area are presented in **Figure 10**. Assuming a lane capacity of 900 vehicles per hour on sub-arterial and collector roads at Level of Service D (*Guide to Traffic Generating Developments, Roads and Maritime 2002*), no capacity issues are forecast on any of the roads in this area of the precinct in 2036.

Figure 10 2036 forecast traffic volumes at Oran Park Employment Area



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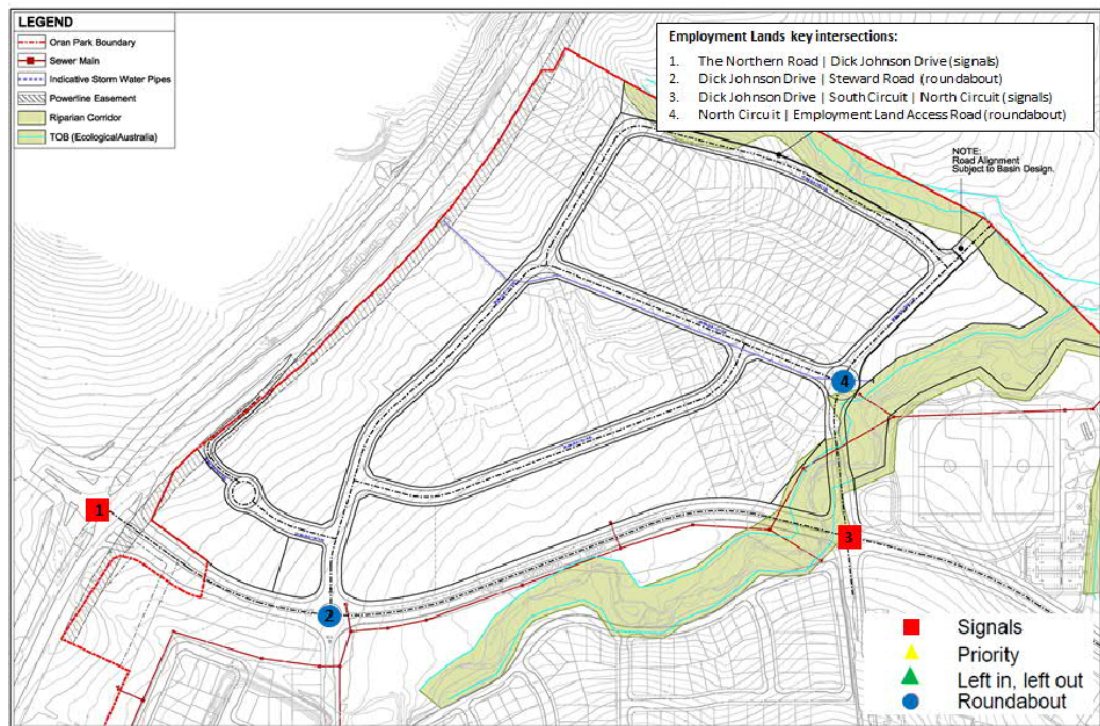
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3.4 Key intersections

Key intersections surrounding the Oran Park Employment Area have been assessed with the aid of SIDRA. Intersections modelled are shown in **Figure 11** and include:

1. The Northern Road | Dick Johnson Drive (signals)
2. Dick Johnson Drive | Steward Drive (roundabout)
3. Dick Johnson Drive | South Circuit | North Circuit (signals)
4. North Circuit | Steward Drive (roundabout).

Figure 11 Key intersections modelled in SIDRA



Source: Design + Planning, 2019; modified by AECOM, 2019

3.5 Intersection performance

Intersection analysis, including the determination of proposed layouts and anticipated performance, was undertaken for the key intersections providing access to the Oran Park Employment Area. Intersection analysis was completed using SIDRA Intersection 8.0 modelling software. The performance indicators for SIDRA 8.0 are as follows:

- Degree of Saturation (DoS) – measure of the ratio between traffic volumes and capacity of the intersection. DoS is used to measure the performance of isolated intersections. As DoS approaches 1.0, both queue length and delays increase rapidly. Satisfactory operations usually occur with a DoS of less than 0.9
- Average Delay – duration, in seconds, of the average vehicle waiting at an intersection, which corresponds to the Level of Service (LoS) – a measure of the overall performance of the intersection

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Forecast turning movements for each intersection were extracted from the CUBE model and individual intersections were assessed to understand the impacts that the anticipated traffic volumes may have on the intersection operation. The geometric layout for each intersection was based on the latest intersection design provided by GDC2.

As part of the Western Sydney Infrastructure plan, RMS is upgrading The Northern Road to support future growth in the South West region. The road corridor is being progressively upgraded between The Old Northern Road, Narellan and Jamison Road, South Penrith. Construction is being undertaken in sections, upgrading the road corridor to provide three lanes in each direction (two traffic lanes and a kerbside bus lane) with a central median to allow for future widening for an additional lane in each direction. *The Northern Road Upgrade REF (2012)* identified future widening would be required by 2036.

The intersection layout for The Northern Road | Dick Johnson Drive has been based on the 2036 intersection layout identified in *The Northern Road Upgrade REF*. The configuration of the eastern approach of the intersection has been updated to reflect the Dick Johnson Drive DA04, which proposes a 130m right turn bay on this approach.

A summary of the performance results for key intersections is provided in **Table 2**. The left-in only and left-out only intersections on Dick Johnson Drive were also modelled in SIDRA, however minimum delays are forecast to be experienced at these intersections and as a result the modelling results have not been reported. During the detailed design and planning of the B5 – Business Development component of the area, consideration should be given to providing a deceleration lane for the left-in only access point along Dick Johnson Drive. This is to be assessed during the Development Application stage when land uses for that parcel of land are confirmed.

Table 2 Intersection performance results (2036 AM and PM peak hour)

Ref	Intersection	Peak hour	Degree of Saturation (DoS)	Level of Service (LoS)	Average Delay (sec)
1	Dick Johnson Drive The Northern Road [^]	AM	0.828	D	54.0
		PM	0.714	D	49.0
2*	Dick Johnson Drive Steward Drive	AM	0.349	A	10.0
		PM	0.394	A	11.1
3	Dick Johnson Drive North Circuit South Circuit	AM	0.434	C	32.2
		PM	0.529	C	30.1
4*	North Circuit Steward Drive	AM	0.370	A	9.6
		PM	0.299	A	10.1

Note:

* sites 2 and 4 are roundabouts, as such, the LoS reported is based on the movement with the worst delay.

[^] traffic volumes along The Northern Road were based on 2036 traffic volumes used in the traffic modelling reported in *The Northern Road Upgrade REF (2012)*.

The modelling results indicate that the Oran Park Employment Area is not anticipated to have adverse impacts on the key intersections on the surrounding road network. The modelling results show that all intersections operate satisfactorily with the LoS ranging from LoS A to LoS D and DoS remaining under 0.9.

Analysis of modelling results indicates minor upgrades are required at Dick Johnson Drive | South Circuit | North Circuit to accommodate the expected queue lengths. This includes:

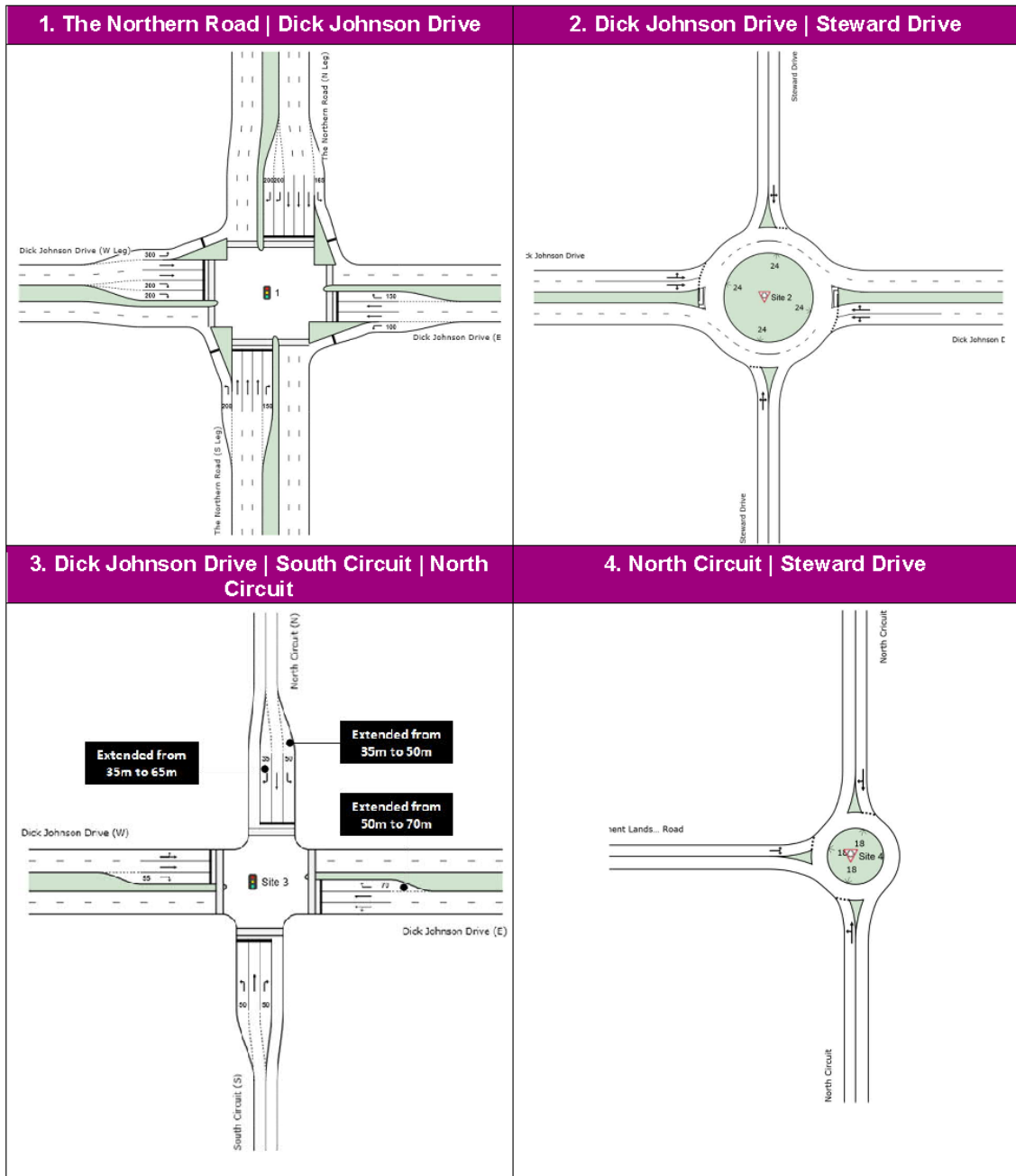
- Extension of the westbound right turn bay from 50m to 70m
- Extension of the southbound left turn bay from 35m to 50m

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It is also recommended the southbound right turn lane at Dick Johnson Drive | South Circuit | North Circuit be extended to be able to accommodate additional heavy vehicles within the turn bay. The current 35m right turn bay could accommodate one semi-trailer. It is proposed to be extended to 65m which could accommodate approximately three semi-trailers.

With these proposed upgrades, both signalised intersections perform similarly to the results provided in Table 2. The intersection layouts required to accommodate the forecast level of traffic in 2036 are shown in Figure 12. Allowance should be made within the road reserve to ensure that sufficient space is provided if these intersections are required to be developed to this extent.

Figure 12 Proposed Employment Area intersection layouts



Source: AECOM, 2018

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DRAFT**ORD03****4.0 Summary**

AECOM was engaged by GDC2 to undertake a traffic study to support the proposed expansion of the Oran Park Employment Area. The report will be used to supplement the Planning Proposal submission to Camden Council, which is seeking to convert the residential area of Tranche 23 to employment lands, resulting in a total area of 22ha for the Oran Park Employment Area.

The CUBE traffic model used to inform the design and planning of Oran Park Precinct was updated to reflect the amendments for Oran Park, to reflect the latest known land uses, including the Oran Park Employment Area, and refined to better reflect future demand for travel. SIDRA intersection modelling was used to inform the key road network and intersection requirements surrounding the Oran Park Employment Area.

The following four intersections were assessed as part of the traffic study:

1. The Northern Road | Dick Johnson Drive (signals)
2. Dick Johnson Drive | Steward Drive (roundabout)
3. Dick Johnson Drive | South Circuit | North Circuit (signals)
4. North Circuit | Steward Drive (roundabout).

The modelling indicates that the proposed expansion of the Oran Park Employment Area can be accommodated by the proposed road network in 2036 for the ultimate development of the Oran Park Precinct. Key roads surrounding the Oran Park Employment Area have sufficient capacity to meet forecast traffic demands. In addition, the key intersections assessed are shown to operate at an acceptable level of service (LoS D or better) during the AM and PM peak hours, with minor upgrades required at both signalised intersections.

The modelling has identified the following upgrades are required at Dick Johnson Drive | South Circuit | North Circuit to store expected queue lengths:

- Extension of the westbound right turn bay from 50m to 70m
- Extension of the southbound left turn bay from 35m to 50m

It is also recommended the southbound right turn lane be extended to be able to accommodate additional heavy vehicles within the turn bay. The current 35m right turn bay can accommodate one semi-trailer. It is proposed to be extended to 65m which can accommodate three semi-trailers.

A summary of the geometric layout required for each intersection has been provided. Allowance should be made within the road reserve to ensure that sufficient space is provided if these intersections are required to be developed to this extent.

During the detailed planning of the Oran Park Employment Area, the following recommendations are also proposed:

- Swept path analysis should be undertaken to ensure that the internal road network is able to accommodate the manoeuvring of heavy vehicles.
- Consideration should be given to providing a deceleration lane for the left-in only access point along Dick Johnson Drive at the DA stage when land uses for the B5 – Business Development parcel of land are confirmed.
- Consideration should be given to providing a bus shelter on the southern side of Dick Johnson Drive in proximity to a pedestrian crossing facility.
- Extension of the off-road shared path along Steward Drive to provide pedestrian and cycle links within the Oran Park Employment Area.

Attachment 2

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Report

Attachment 3

Tranche 22 – Stormwater Management Report

Prepared for Greenfields Development
Company

11 March 2020

Calibre Professional Services Pty Ltd
55 070 683 037

QUALITY ASSURANCE STATEMENT

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Approved for Issue by	Enrique Franco	

DOCUMENT CONTROL

ISSUE	DATE	ISSUE DETAILS	AUTHOR	CHECKED	APPROVED
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03	11/03/20	Adjusted to suit RFI details	MC	TE	EF

L06002.70 - Tranche 22 Stormwater Report-DA-Rev3.Docx

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Appendices

Appendix A MUSIC-Link Report

1. Site Description

The Tranche 22 development site is ~15 hectares in size, located in the North West development area in Oran Park as shown in Figure 1.1.

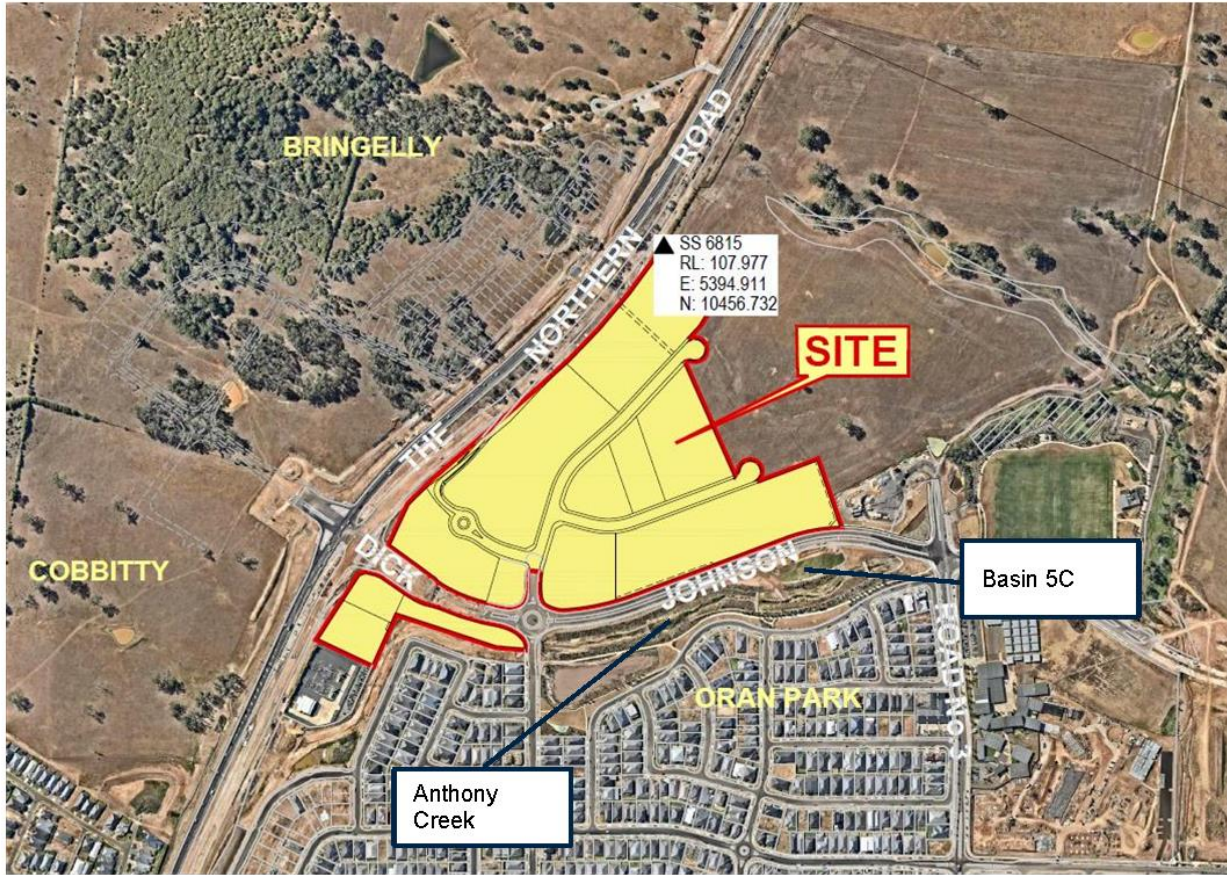


Figure 1.1 T22 catchments and attributing Basins.

The proposed area is bounded by Dick Johnson Drive and Anthony Creek in the south, The Northern Road in the north-west and Tranche 23 in the east as shown in Figure 1.1.

2. Stormwater Management Objectives

This report presents a stormwater and trunk drainage strategy based on WSUD principles set out in the Integrated Water Cycle Management Study (Ecological Engineering, 2007) and *Stormwater Quantity Management & Flooding Report* (Brown Consulting, 2007) which underwent a major revision in 2013. The strategies were developed as part of the master-planning process to support future development applications in Oran Park. The key objectives of this study include:

- Link water infrastructure effectively to minimise impact of the development upon the water cycle.
- Attenuate peak storm flows from 2 year events to existing flows.
- Provide water quality management.
- Meet relevant stormwater policies and guidelines outlined in this report.

2.1 Camden Council Requirements

The site is located within the Camden Council local government area (LGA).

- *Engineering Design Specification* (Camden Council, 2009)

This specification contains technical design data for the calculation of flows, flood elevations and velocities along with technical standards for the design of drainage infrastructure. The hydrologic parameters include rainfall intensity charts and runoff parameters for flow estimation. The document also outlines hydraulic parameters and design requirements for pits, culverts and pipes.

- *Camden Local Environmental Plan 2010* (Camden Council, 2014)

Local Environmental Plans (LEPs) guide planning decisions for local government areas (NSW Department of Planning & Environment, 2014). LEPs were standardised in 2006 to create a common format and content across councils and other consent authorities.

The *Camden Local Environmental Plan 2010* was gazetted in 2010. The LEP applies to all land within the Camden LGA, with the exception of land at Oran Park, Turner Road (Gregory Hills) and Catherine Field which falls under *State Environmental Planning Policy (Sydney Region Growth Centres) 2006*.

- *Camden Development Control Plan 2011* (Camden Council, 2011)

A Development Control Plan (DCP) is a non-legal document that supports the LEP with more detailed planning and design guidelines.

The Camden DCP applies to all land within the Camden LGA. The DCP also applies to Growth Centre precincts gazetted under *State Environmental Planning Policy (Sydney Region Growth Centres) 2006* which are subject to the Growth Centre specific DCPs which contain additional provisions.

- *Flood Risk Management Policy* (Camden Council, 2006)

The *Flood Risk Management Policy* establishes flood risk management planning and development for all flood prone land within the Camden LGA. Flood prone land is susceptible to flooding by the Probably Maximum Flood (PMF) event. The policy has regard to the requirements of the *New South Wales Government Floodplain Development Manual – April 2005*.

2.2 Oran Park Indicative Layout Plan (ILP) (2013)

In 2007, a master planning process coordinated by the Growth Centres Commission was used to develop an Indicative Layout Plan (ILP) for the Oran Park Precinct, Brown Consulting and Ecological Engineering jointly undertook the water cycle management assessment as part of the ILP development. Ecological (now AECOM) undertook the WSUD aspects and Brown Consulting developed the flooding and trunk drainage component of the water cycle management. The stormwater management strategies proposed in the masterplan included:

- Public detention and bio-retention systems proposed at various locations to manage the quantity and quality of stormwater flows.

- On-site detention devices proposed at non-residential lands such as light industrial, employment, educational and commercial areas which are required by the Oran Park DCP to be treated prior to discharge into public systems.

The masterplan has been revised multiple times and the most recent revision was produced in 2013. This report is based on the Oran Park Water Cycle Masterplan and the revised stormwater Master Plan (Brown Consulting, 2013) developed for the Indicative Layout Plan (Brown Consulting, 2013).

2.3 Integrated Water Cycle Management Study – Wsud Component (Ecological Engineering, 2007)

The *Integrated Water Cycle Management strategy* (Ecological Engineering, 2007) for the Oran Park Precinct outlines the overall strategy for water management with the design component describing features for WSUD. The key principles of WSUD for Oran Park are aimed at achieving integrated water cycle management of the three urban water streams potable water, wastewater and stormwater by:

- Reducing potable mains water consumption through demand management and substitution with treated reclaimed water and stormwater.
- Treating urban stormwater to meet water quality objectives for reuse or discharge to waterways.
- Using stormwater in the urban landscape to maximise visual and recreational amenity of developments, and where appropriate influence the micro-climate of the area.

2.4 Water Management Act 2000

The key NSW legislation governing the management of the state's water resources are the *Water Management Act 2000* and the *Water Act 1912*. The *Water Management Act 2000* is progressively replacing the *Water Act 1912* which represented outdated principles in water management.

The objective of the *Water Management Act 2000* is to provide sustainable and integrated management of water resources for the benefit of both present and future generations (NSW Office of Water, 2014). The NSW Office of Water administers the *Water Management Act 2000* and regulates controlled activities carried out around and on waterfront land.

Amendments have been made to the legislation since it was passed by NSW parliament in December 2000. In 2012, the *Guidelines for Riparian Corridors on Waterfront Land* (NSW Office of Water, 2012) allowed construction of online detention basins in riparian corridors. The revision also streamlined the categorisation of streams and permitted activities around the riparian corridors.

2.5 Growth Centres Development Code (Growth Centres Commission, 2006)

The *Growth Centres Development Code* was released by the Department of Environment and Conservation in 2006. The department no longer exists and the Growth Centres Commission formally took over planning for the Growth Centres.

The *Growth Centres Development Code* provides the basis for the planning and design of precincts and neighbourhoods in the Growth Centres. It is intended to be a reference work, to stimulate ideas and provide a guide to best practice. Sections of the *Growth Centres Development Code* that provide guidance relevant to the design are:

- B-2 Water Sensitive Urban Design and Stormwater Management

This section provides an introduction to WSUD which encompasses all aspects of urban water cycle management, including water supply, wastewater and stormwater management. It emphasises the importance of linking water infrastructure, landscape design and the urban built form, in a manner that is more attuned to natural hydrological and ecological processes than conventional design.

- B-3 Riparian Corridors

The development guide provides guidance for the management of riparian corridors. These guidelines are considered to be superseded by the *Guidelines for Riparian Corridors on Waterfront Land* (NSW Office of Water, 2012).

2.6 Oran Park Development Control Plan 2007 (Department of Planning and Environment, 2007)

The *Oran Park Precinct Development Control Plan 2007* (Department of Planning and Environment, 2007) applies specifically to the Oran Park development. The most recent revision was released in 2014. The purpose of this DCP is to communicate the planning, design and environmental objectives and controls against which Camden Council will assess future DAs. Sections of the DCP specifically relevant to the design are:

- Environmental management
- Riparian corridors
- Flooding and water cycle management
- Salinity and soil management.

3. Stormwater Quantity Management Strategy

In accordance to the Master Plan (2013), the stormwater quantity management strategy aims to match post-development peak runoff to the permissible site discharge (PSD) in storm events up to and including 2 year ARI to meet the requirements as outlined in Section 2. Any higher flows are managed in the existing farm dam (to be formalised as Basin B1 in future).

3.1 Catchment

The total catchment of the site is approximately 15 Ha and divided into three sub catchments (refer to Figure 3.1). The site is covered entirely with short grass in the existing condition. Under this DA application the entire site will be developed. It is to be developed as industrial land.

Two sub-catchments will be draining into Anthony Creek. One set is located at the intersection of Dick Johnson drive and The Northern Rd, and are as shown in Figure 3.1 as the orange catchments. The surrounding catchments in green (10.33 Ha), will drain to Basin 5C, while the catchments in blue will drain to via a swale to Anthony Creek. The swale shown in Figure 3.1 will provide treatment for the blue catchment; hence only the green catchment will require treatment and attenuation.



Figure 3.1 Sub-catchment plan

3.2 Water Quantity Management Design

Because of changes in the land use, there will be a significant increase in the imperviousness of the surface, which will produce an increased volume of surface flows and the peak flows. The design will use onsite detention storage basins to attenuate the peak flows from both sub catchments to the pre development condition. This is in line with the stormwater master plan for the Oran Park as shown in Figure 3.2.

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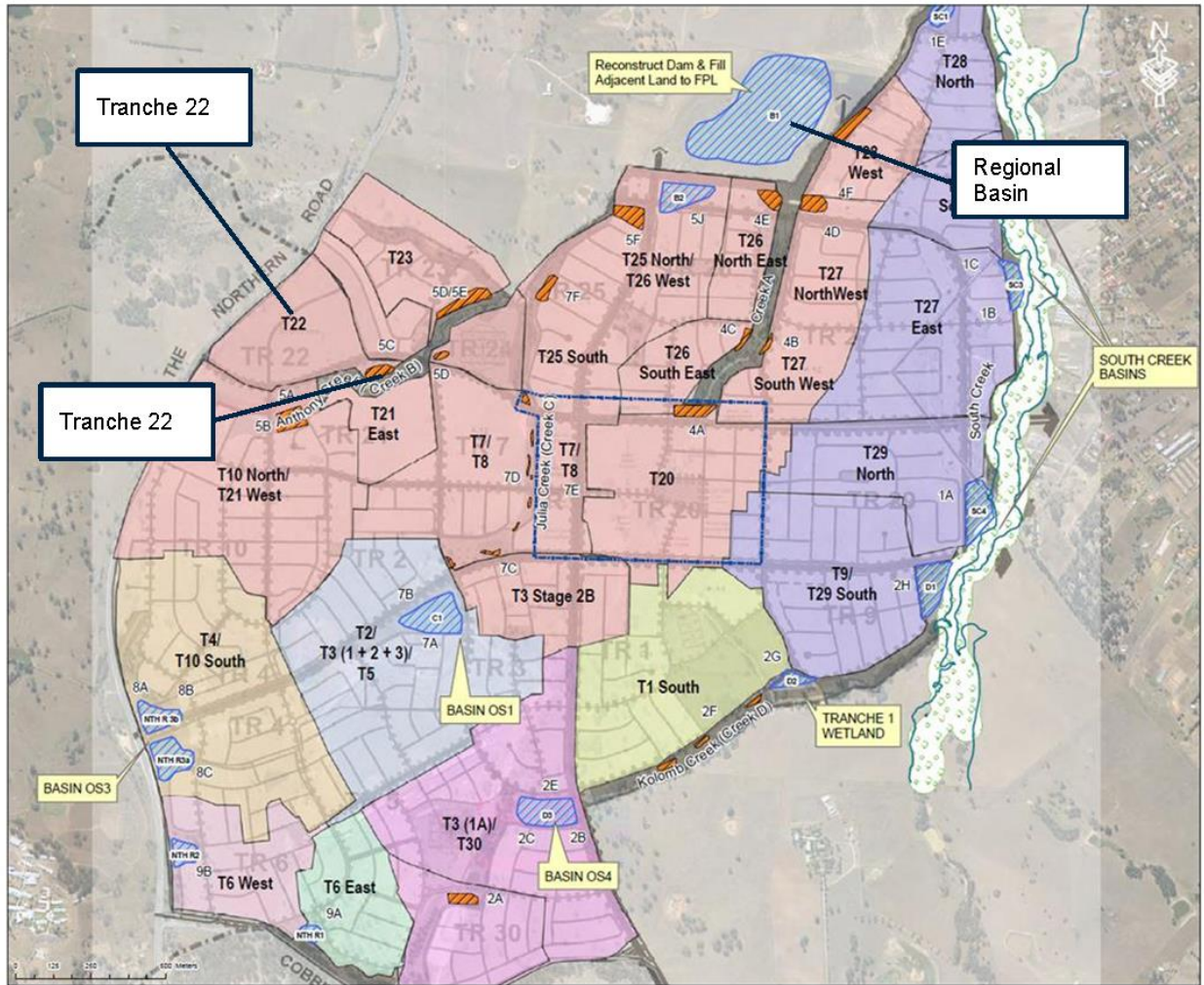


Figure 3.2 Stormwater Masterplan

The storage required for the surface runoff generated from T22-A (10.33 Ha) site up to 2-year ARI storm event has been provided by Basin 5C (2800 m³), which was constructed under Tranche 21 Stage 2 DA (DA757/2014). The basin provides OSD requirement for this portion of Tranche 22 (T22-A) and section of Dick Johnson Drive (DA02). (Ref. L06002.135W – Stormwater Management – Dick Johnson Drive DA02).

The current configuration of Basin 5C is shown in Table 3.1 below, which is detailed on plan set L06002.69 Rev 6.

Table 3.1 Basin 5C configuration

Attribute	Value
Filter Bed Level	SL 89.75
Extended Detention Depth Level	SL 90.05
Outlet Controls	1200 x 1200 grated pit at RL 90.05, DN600 pit at IL 88.45
High flow weir	10m wide @ RL 90.95
Basin Storage at Weir (excl. EDD)	1980m ³

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These basin details were determined as part of a precinct wide model for Oran Park. At the time, the development catchment which drained to this basin was treated as residential land, not industrial. Residential land has a lower impervious area compared to industrial, hence the runoff flows from the site for minor and major storms which formed the design of this basin were not truly indicative of what would be developed.

The basin configuration and performance has been reviewed as per Council's RFI dated September 2019. An *XP-RAFTS 2016* model was prepared for the industrial based catchment and Basin 5C. It has been found that if a 300mm orifice is installed over the DN600 pipe outlet in the pit, then the flows can be reduced to pre-existing levels for the 2yr storm event. The results from implementing a 300mm orifice is shown in Table 3.2 below.

Table 3.2 Basin 5C results for industrial catchment

Orifice Size	Pre developed flow (PSD) (m ³ /s)	Developed flow (un-attenuated) (m ³ /s)	Basin Outflow	Max water level	Live Storage (m ³)
DN300	0.905	2.461	0.358	90.914	1930

Table 3.2 indicates that the addition of a 300mm orifice to the DN600 outlet pipe will attenuate the post-development flow from Tranche 22 to existing flows. It should be noted that the basin configuration in report 'L06002.70 – Tranche 22 and 23 Stormwater Report' the outlet pipe size was specified to be DN300.

The detention storage listed on the masterplan for Basin 5C was 800m³. This has been increased to 1930m³ as the preliminary model was based off residential land use, not industrial. It also was not broken into sub-catchments. The current basin storage at the weir (2800 m³) is sufficient to attenuate and safely discharge the 2yr storm for this updated land use: there are no proposed amendments to the basin earthworks or weir, the only intended amendment is the placement of the 300mm orifice over the DN600 pipe.

Storm events greater than 2 year ARI bypass the basin and discharge directly into Anthony Creek. Peak flows exceeding 2 year ARI and up to 100 year are attenuated by existing in line farm dam in the Anthony Creek. This farm dam will be upgraded and formalised in the stormwater system as permanent basin - Basin B1 under the Pondicherry stormwater management scheme. The existing farm dam has sufficient storage capacity to attenuate flows from Oran Park and will be utilised prior to formalising as Basin B1. The details for Basin B1 are shown below.

Table 3.3 Basin B1 Performance

Storm Event (ARI)	Pre-development peak flow at Oran Park (m ³ /s)	Developed peak flow rate (un-attenuated) (m ³ /s)	Existing dam storage (m ³)	Developed peak outflow from existing dam (m ³)
2	15.68	32.63	82,500 at RL 81.49	11.52
5	24.89	44.13	107,300 at RL 81.56	16.26
20	39.99	65.05	140,300 at RL 81.65	23.21
100	58.82	88.36	176,200 at RL 81.75	31.54

The table indicates that Basin B1 will provide attenuation for the external catchments draining to it, which includes Tranche 22.

4. Stormwater Quality Management Strategy

4.1 Water Quality Targets

The stormwater quality management strategy aims to meet targets outlined in the *Engineering Design Specification* (Camden Council, 2009). Table 4.1 summarises the required pollution retention targets by Council.

Table 4.1 Water Quality Objectives

Pollutant	Reduction target
Total suspended solids	85 %
Total phosphorus	65 %
Total nitrogen	45 %
Gross pollutants	90 %

4.2 Water Quality Management Design

The design includes a treatment train consisting of two Gross Pollutant Traps (GPT) and the Bio-Retention Basin. These water quality treatment devices have been constructed under Tranche 21 Stage 2 DA (DA757/2014) for treating surface water from Tranche 22 (10.33 Ha). The bio-retention basin consisting of 1800 m² of filter area and it is constructed within Basin 5C. The GPTs have been installed at the basin inlets, with a splitter pit to divert the two year flow from the catchment through the GPTs. No amendments are proposed for this design.

The two GPTs installed are Rocla Cleansall 900 and Continuous Deflection Separation 1518. The former will cater for 4.54 Ha and the latter for the remaining 5.79 Ha. The MUSIC model layout is presented in Figure 4.1.

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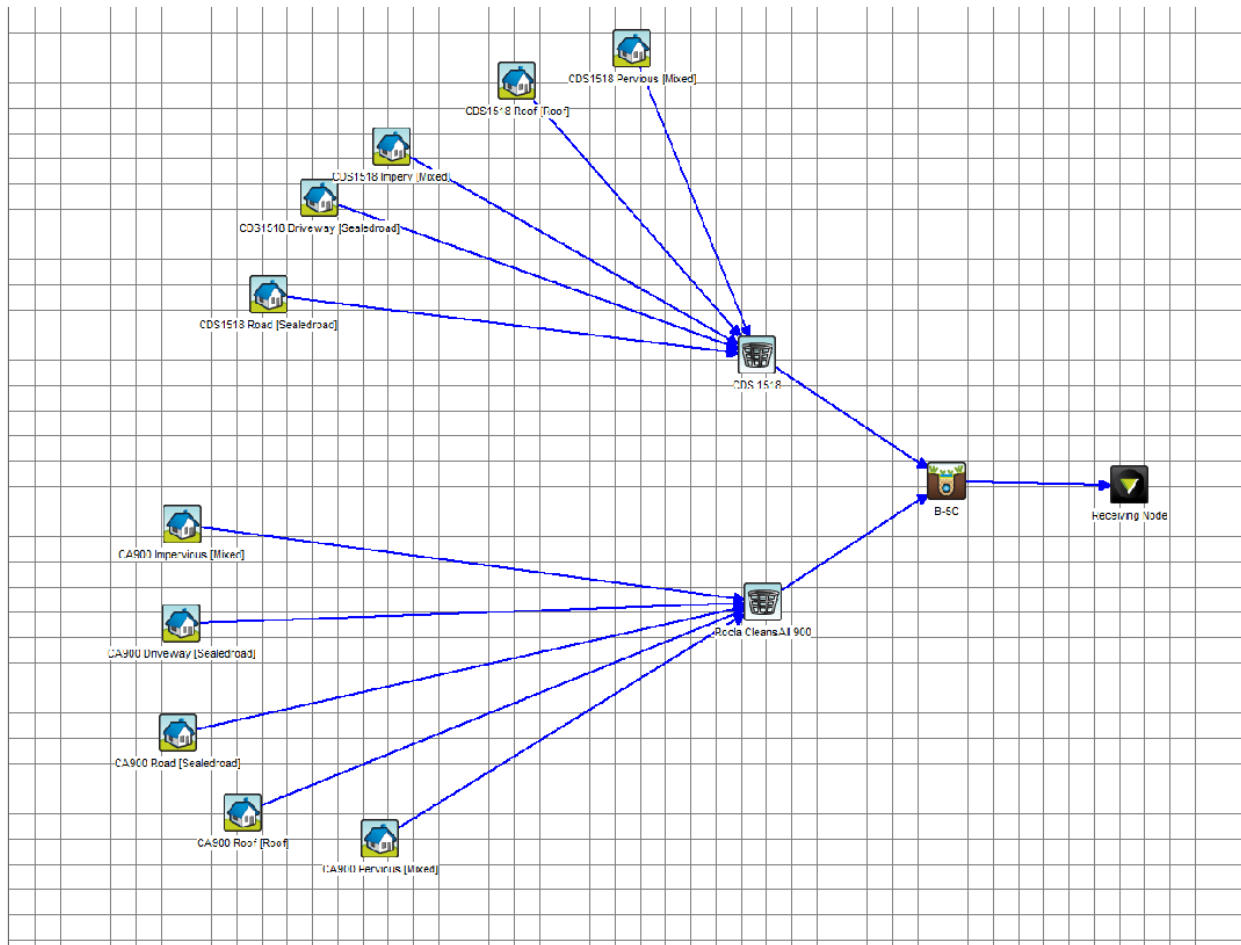


Figure 4.1 MUSIC Model Layout

The sources nodes are based from Camden Council’s MUSIC link data, and sized for 90% impervious area, in accordance with industrial land use. The results from this MUSIC model is shown in Table 4.2.

Table 4.2 Bio-retention Basin 5C Performance

Source	Source Level	Residual	% Removed
Total Suspended Solids (kg/yr.)	9790	687	93
Total Phosphorus (kg/yr.)	21.2	5.49	74.1
Total Nitrogen (kg/yr.)	161	64.9	59.7
Gross Pollutants (kg/yr.)	1780	10.9	99.4

The results from Table 4.2 show that the filter area of 1800m² and two Rocla GPTs will provide sufficient treatment for the Tranche 22 catchment. The node details and results are provided in Appendix A.

5. Flood Management

Anthony Creek has been designed to convey 100-year flows within the channel. The hydraulic assessment was carried out in HECRAS model and the results show that structures and the development lots have sufficient flood immunity. The flood level at the outlet Basin 5C is RL 89.83. The flood levels between the two culverts that bridge Anthony Creek vary from 93.45 – 89.62; the culverts have been sized by the hydraulic modelling in HEC-RAS to provide the minimum 500mm freeboard for Tranche 22 (refer to Figure 5.1 below). The details on the flood levels have been provided in the Report-L06002.135W- Stormwater Management – Dick Johnson Drive DA02.

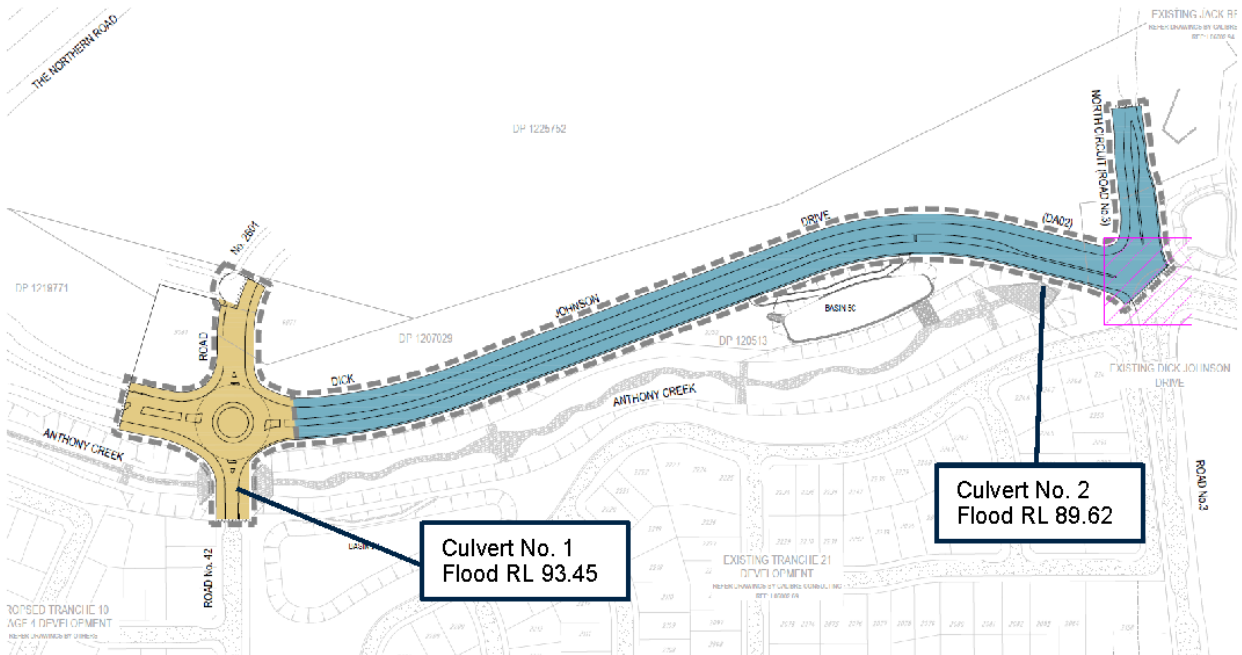


Figure 5.1 Anthony Creek Layout

6. Conclusions

The stormwater management strategies have been developed to protect the receiving waters from both water quantity and quality impacts from the industrial development in Tranche 22. The design includes an onsite detention storage basin, a bio-retention basin, and two GPTs which were built under Tranche 21 Stage 2 DA (DA757/2014). The detention basin and bio-retention basin is named Basin 5C.

Storm events up to and including the 2 year ARI minor storms will be attenuated and controlled via Basin 5C. Storm events exceeding this level will bypass and overflow from Basin 5C to the existing farm dam, which will be upgraded and formalised in the system as permanent basin - Basin B1. The existing farm dam has sufficient storage capacity and will be utilised prior to formalising as Basin B1.

Anthony Creek has been designed to convey the 100 year storm event within the channel; the proposed Tranche 22 development has sufficient flood immunity.

7. References

- Camden Council. (2006). *Flood Risk Management Policy*. Sydney, Australia: Camden Council.
- Camden Council. (2009). *Engineering Design Specification*. Sydney, Australia: Camden Council.
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Appendix A MUSIC-Link Report

Attachment 3



MUSIC-link Report

Project Details		Company Details	
Project:		Company:	
Report Export Date:	6/03/2020	Contact:	
Catchment Name:	Basin 5C Industrial	Address:	
Catchment Area:	10.329ha	Phone:	
Impervious Area*:	90.25%	Email:	
Rainfall Station:	67035 LIVERPOOL(WHITLAM)		
Modelling Time-step:	6 Minutes		
Modelling Period:	1/01/1985 - 31/12/1994 11:54:00 PM		
Mean Annual Rainfall:	783mm		
Evapotranspiration:	1261mm		
MUSIC Version:	6.3.0		
MUSIC-link data Version:	6.33		
Study Area:	Camden City Council		
Scenario:	Camden City Council		

* takes into account area from all source nodes that link to the chosen reporting node, excluding Import Data Nodes

Node: Receiving Node	Treatment Train Effectiveness		Treatment Nodes		Source Nodes	
	Reduction	Node Type	Number	Node Type	Number	
Flow	6.2%	Bio Retention Node	1	Urban Source Node	10	
TSS	92.9%	GPT Node	2			
TP	74.1%					
TN	59.8%					
GP	99.4%					

Comments

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Passing Parameters

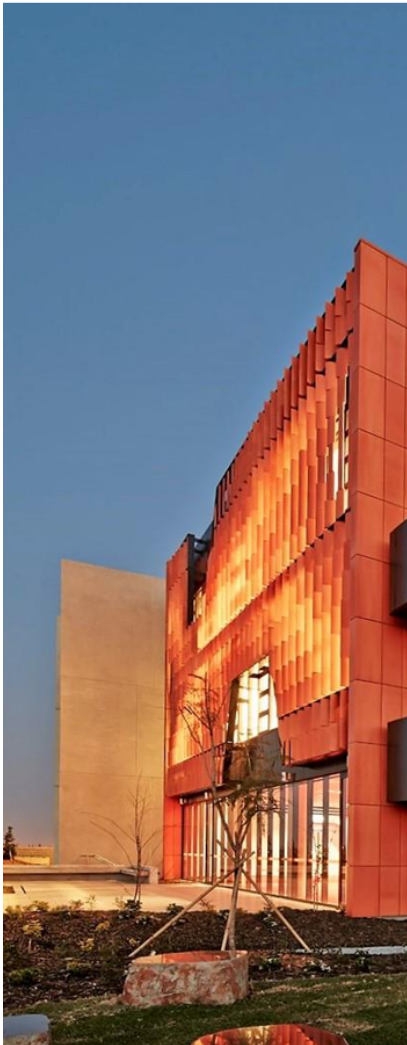
Node Type	Node Name	Parameter	Min	Max	Actual
Bio	B-5C	Hi-flow bypass rate (cum/sec)	None	None	0.8
Bio	B-5C	PET Scaling Factor	2.1	2.1	2.1
GPT	CDS 1518	Hi-flow bypass rate (cum/sec)	None	99	0.35
GPT	Roda CleansAll 900	Hi-flow bypass rate (cum/sec)	None	99	0.928
Receiving	Receiving Node	% Load Reduction	None	None	6.2
Receiving	Receiving Node	GP % Load Reduction	90	None	99.4
Receiving	Receiving Node	TN % Load Reduction	45	None	59.8
Receiving	Receiving Node	TP % Load Reduction	65	None	74.1
Receiving	Receiving Node	TSS % Load Reduction	85	None	92.9
Urban	CA900 Driveway	Area Impervious (ha)	None	None	0.374
Urban	CA900 Driveway	Area Pervious (ha)	None	None	0.018
Urban	CA900 Driveway	Total Area (ha)	None	None	0.393
Urban	CA900 Impervious	Area Impervious (ha)	None	None	0.983
Urban	CA900 Impervious	Area Pervious (ha)	None	None	0
Urban	CA900 Impervious	Total Area (ha)	None	None	0.983
Urban	CA900 Pervious	Area Impervious (ha)	None	None	0
Urban	CA900 Pervious	Area Pervious (ha)	None	None	0.393
Urban	CA900 Pervious	Total Area (ha)	None	None	0.393
Urban	CA900 Road	Area Impervious (ha)	None	None	0.574
Urban	CA900 Road	Area Pervious (ha)	None	None	0.031
Urban	CA900 Road	Total Area (ha)	None	None	0.606
Urban	CA900 Roof	Area Impervious (ha)	None	None	2.164
Urban	CA900 Roof	Area Pervious (ha)	None	None	0
Urban	CA900 Roof	Total Area (ha)	None	None	2.164
Urban	CDS1518 Driveway	Area Impervious (ha)	None	None	0.469
Urban	CDS1518 Driveway	Area Pervious (ha)	None	None	0.025
Urban	CDS1518 Driveway	Total Area (ha)	None	None	0.495
Urban	CDS1518 Imperv	Area Impervious (ha)	None	None	1.237
Urban	CDS1518 Imperv	Area Pervious (ha)	None	None	0
Urban	CDS1518 Imperv	Total Area (ha)	None	None	1.237
Urban	CDS1518 Pervious	Area Impervious (ha)	None	None	0
Urban	CDS1518 Pervious	Area Pervious (ha)	None	None	0.495
Urban	CDS1518 Pervious	Total Area (ha)	None	None	0.495
Urban	CDS1518 Road	Area Impervious (ha)	None	None	0.797
Urban	CDS1518 Road	Area Pervious (ha)	None	None	0.043
Urban	CDS1518 Road	Total Area (ha)	None	None	0.841
Urban	CDS1518 Roof	Area Impervious (ha)	None	None	2.722
Urban	CDS1518 Roof	Area Pervious (ha)	None	None	0
Urban	CDS1518 Roof	Total Area (ha)	None	None	2.722

Only certain parameters are reported when they pass validation

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Part B5 Controls for the Oran Park Employment Area

1.0 Introduction

1.1 Land to which this Part Applies

This part applies to the land zoned IN1 General Industrial [and B5 Business Development](#) located in the north-west portion of the precinct, as shown in **Figure 1**.

In addition to the detailed controls outlined in this Part, the general controls outlined in Part A of the Development Control Plan also apply.

1.2 Purpose of this Part

The purpose of this part is to provide a planning framework that establishes the outcomes and requirements for permissible development in the Employment Area in the Oran Park Precinct, to support the provisions within *Appendix 1 Oran Park and Turner Road Precinct Plan of State Environmental Planning Policy (Sydney Region Growth Centres) 2006*.

1.3 Structure of this Part

The Part is structured as follows:

- Section 1:** Sets out the administrative provisions of the Part
- Section 2:** Outlines the vision and development objectives
- Section 3:** Outlines the key controls and principles for the Oran Park Employment Area

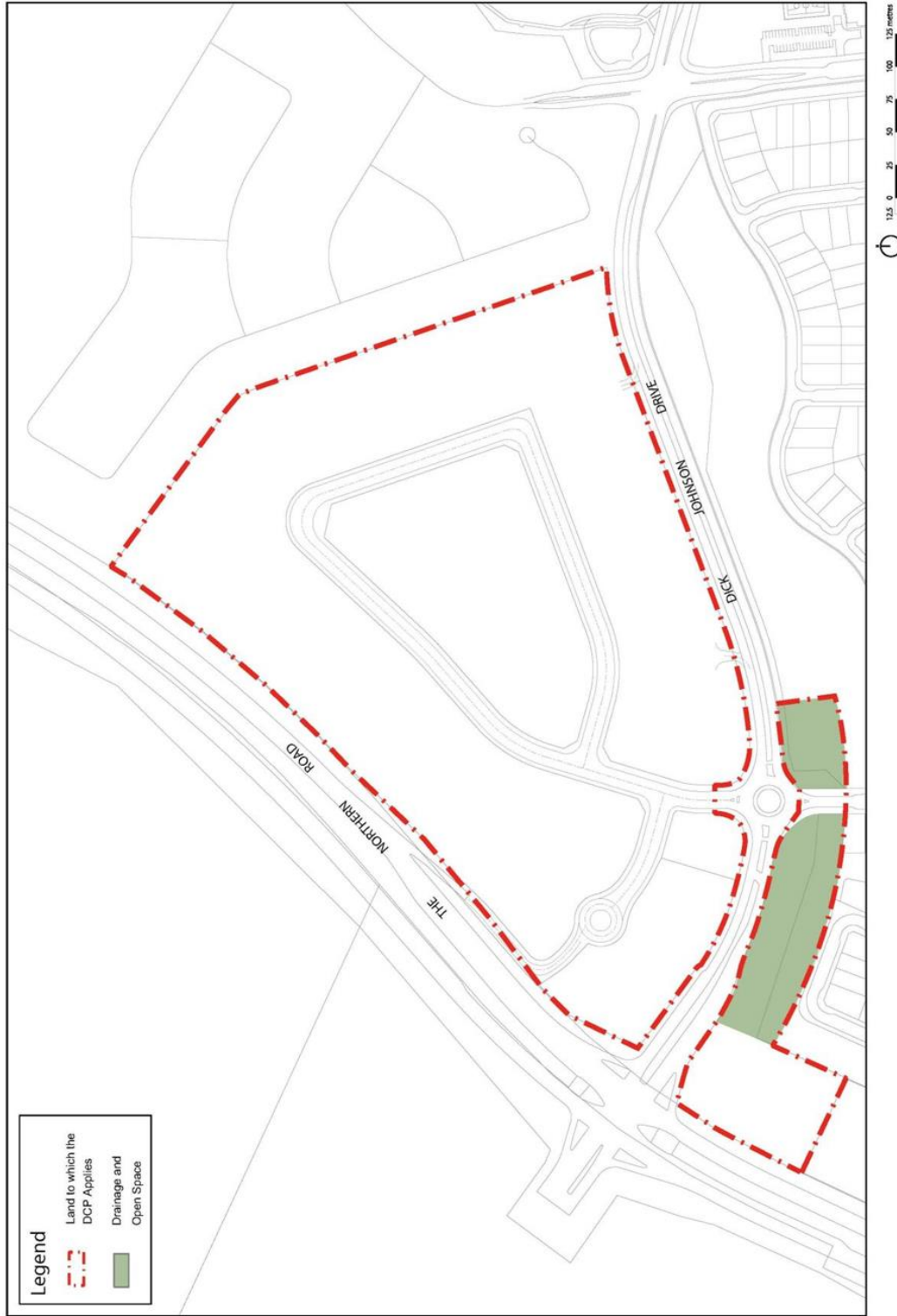


Figure 1: The Oran Park Employment Area

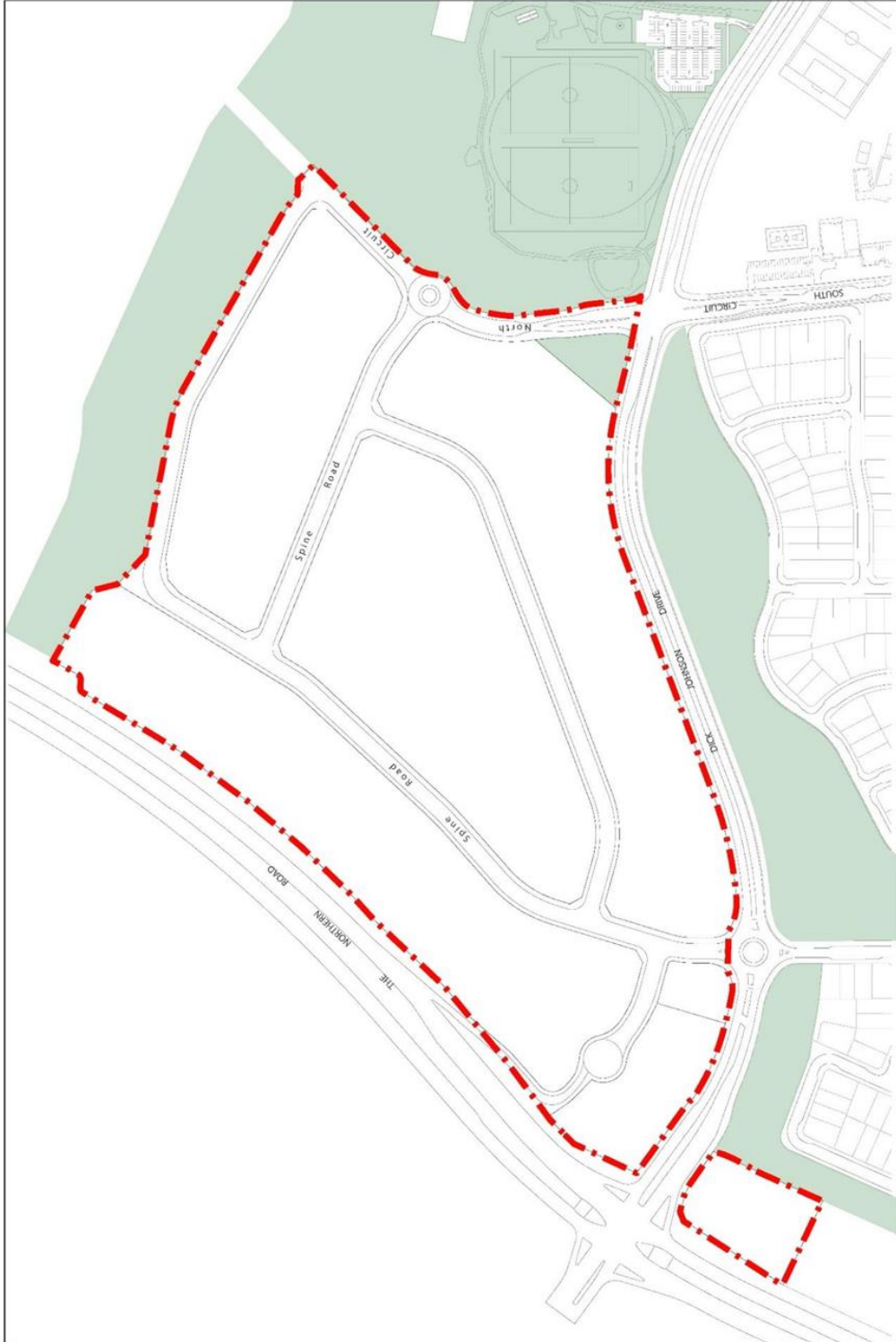


Figure 1: The Oran Park Employment Area

2.0 Visions and Development Objectives

2.1 Employment Area Character

Vision for the Employment Area

The Oran Park Employment Area, located in the north west portion of the Oran Park Precinct, is a dynamic employment area of quality design. It provides the opportunity for a variety of employment activities to service the Oran Park Precinct and the wider district. The Employment Area has access points from Dick Johnson Drive ~~and a dedicated left slip lane off The Northern Road~~ and the future South Circuit road extension as well as a dedicated left slip lane off The Northern Road. The left slip lane into the Employment Area will help to separate employment related and local residential related traffic movements. The Employment Area provides a simple internal road network, ensuring that traffic movements to and from the site are appropriately managed.

The Employment Area will provide a mix of employment generating activity, including business and commercial uses, general and light industrial, warehouse, specialised retail and food and drink premises and neighbourhood shops in accordance with State Environmental Planning Policy (Sydney Region Growth Centres) 2006. Development is sited and designed to provide visual interest and encourage street activation and passive surveillance particularly in land zoned B5 Business Development zone. Industrial development in land zoned IN1 General Industrial will be designed to minimise adverse impacts on nearby residential land, open space areas and other sensitive land uses. All street frontages within the Employment Area will contain quality landscaping that establishes a high standard of character and design.

Separation from nearby residential land (i.e. existing and planned residential areas south of Dick Johnson Drive and Pondicherry-Tranche 41), open space/riparian areas and other sensitive land uses in a visual and operational sense is a key design element of the Employment Area. This is managed through landscaping, limits on building heights on the perimeter of the Employment Area and locating more intensive industrial uses in the centre of the precinct.

Industrial Lands

~~General Industrial, Light Industrial, warehouse and convenience retail land uses of various size and type.~~ As shown in the Land Use Plan in **Figure 2**, ~~specific industrial land uses~~ will be generally located in either the 'Core' or 'Periphery' area where the land is zoned IN1 General Industrial. More intensive industrial land uses (where they require more specific and extensive measures to mitigate amenity impacts such as noise, odour, processing of waste) will be located in the Core area. Less intensive industrial land uses (that require standard measures to manage interface with adjoining land) will be located in the Periphery area. ~~Industrial development will operate to best practice industry standards, located and designed to avoid impacts on nearby residential lands~~ and open space and riparian areas. Through careful design, industrial development will reduce the visual impact of carparks and loading docks, as well facilitate safety by providing passive surveillance to the street.

Business Development Lands

As shown in the Land Use Plan in **Figure 2**, business Buildings development such as specialised retail premises will be located the 'Business Development' area, where the land is zoned B5 Business Development. Buildings fronting Dick Johnson Drive will deliver a high-quality and well-articulated built form. The combination of high quality built form, landscaping and consistent street tree plantings will deliver a visually pleasing, high-amenity gateway experience for residents, workers and visitors of Oran Park. ~~are~~ Overall, development within the Employment Area will be appropriately designed to address the street and other public domain areas, ensuring that car

parking and excessive signage does not dominate and detract from the streetscape. and all street frontages contain quality landscaping that establishes a high standard of character and design.

~~Separation from surrounding residential areas in a visual and operational sense is a key design element of the Employment Area. This is managed through landscaping, limits on building heights on the perimeter of the Employment Area and locating more intensive industrial uses in the centre of the precinct. Buildings are appropriately designed to address the street and other public domain areas and all street frontages contain quality landscaping that establishes a high standard of character and design.~~

2.2 Key Development Objectives

The key objectives of this Part are:

- a) To maximise opportunities for local employment within the Oran Park Precinct.
- b) To provide for an active and vibrant employment area by requiring development to address the Northern Road, Dick Johnson Drive and prominent streets.
- c) To ensure that the detailed design of the Oran Park Employment Area is undertaken in a co-ordinated manner to achieve an urban design outcome of high quality.
- d) To ensure Northern Road and Dick Johnson provide attractive, landscaped entry points to the employment area.
- e) To ensure traffic can enter and move throughout the employment area easily and safely from all entry points including The Northern Road and Dick Johnson Drive.
- f) To ensure the provision of suitable and safe pedestrian and vehicular accessibility, servicing and parking.
- g) To ensure the operation of employment activities has a minimal impact on surrounding land uses.
- h) To facilitate the flexible delivery of industrial activities- employment land uses in response to varying demands and requirements for land.
- i) To ensure that the impact of development upon existing site outcomes, drainage, stormwater management and water quality is adequately considered.
- j) To ensure that development promotes the principles of ecologically sustainable development.

3.0 Land Uses

Objectives

- a) To provide for a range of employment generating development with high employment levels preferred.
- b) To maximise opportunities for local employment within the Oran Park Precinct with a diverse range of employment generating development.
- c) To provide active and attractive frontages along Dick Johnson Drive.
- d) To ensure development provides an attractive frontage or is appropriately screened to The Northern Road.
- e) To minimise impacts of industry- development on surrounding land uses by locating more intensive industrial uses within the centre of the Employment Area.

- f) ~~To provide small-scale retail uses to serve the needs of the local workforce, maintain the economic strength of centres by limiting the retailing of food, clothing and convenience shopping.~~

Controls

1. Development is to be undertaken generally in accordance with the ~~preferred~~ Land Use Plan (**Figure 2**) subject to consistency with the objectives and development controls set out in this DCP ~~and the State Environmental Planning Policy (Sydney Region Growth Centres) 2006.~~
2. Development should be designed to provide visual interest and achieve an attractive presentation to The Northern Road. Where an active frontage is not proposed, the development must ~~still provide an articulated built form~~ be and be appropriately screened from The Northern Road ~~using high-quality landscaping.~~
3. ~~Active uses that provide visual interest such as specialised retail premises should be located in the Business Development Area. * Any development that fronts or presents to Dick Johnson Drive should architecturally activate be well articulated and designed to activate the streetscape, and provide visual interest. Uses may include but are not limited to neighbourhood shops, take away food and drink premises and ancillary retail uses that serve the employment area and local open space.~~
4. More intensive industrial land uses should be appropriately located within the centre of the Employment Area indicated as '~~Core Area~~General Industrial' in **Figure 2** to avoid adverse amenity impacts on residential, ~~or~~ open space and riparian areas.
5. ~~Development whose principal function is the storage and/or processing of goods and materials not enclosed within a building, should not be located on land which fronts a major road including The Northern Road, Dick Johnson Drive and future South Circuit road extension (North Circuit).~~
- 4.6. ~~Where a vehicle body repair workshop or vehicle repair station is proposed, appropriate arrangements should be made to store all vehicles awaiting or undergoing repair, awaiting collection or otherwise involved with the development on the site of the proposed development to reduce the visual impact on the public domain. Vehicles awaiting or undergoing repair must be stored either within a building, or within a suitably screened area.~~
- 5.7. ~~Any application for child centre facilities must consider the provisions of State Environmental Planning Policy (Educational Establishments and Child Care Facilities) 2017.~~

Note: For definition of specialised retail premises, please see Planning Circular PS18008.

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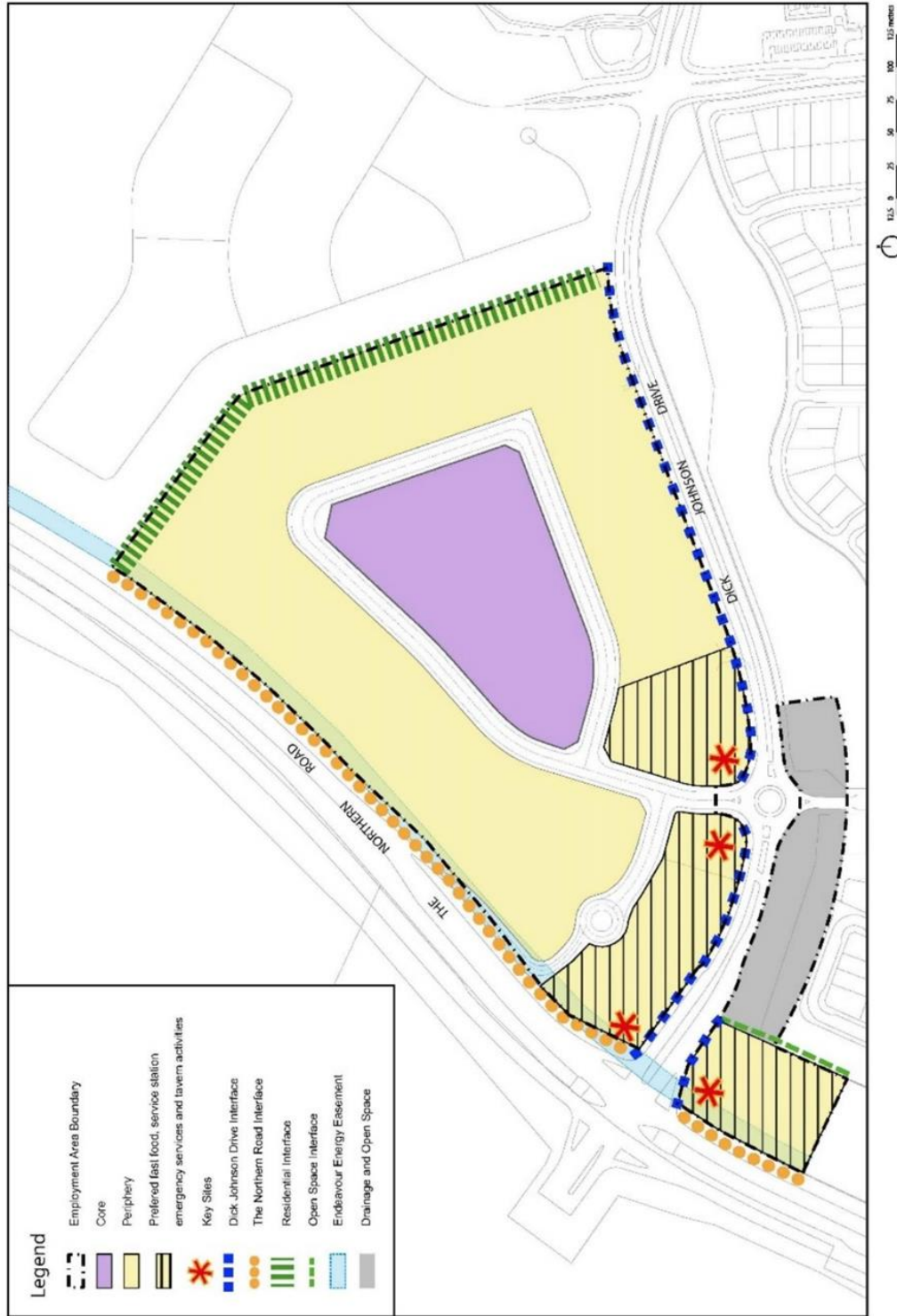


Figure 2: Land Use Plan

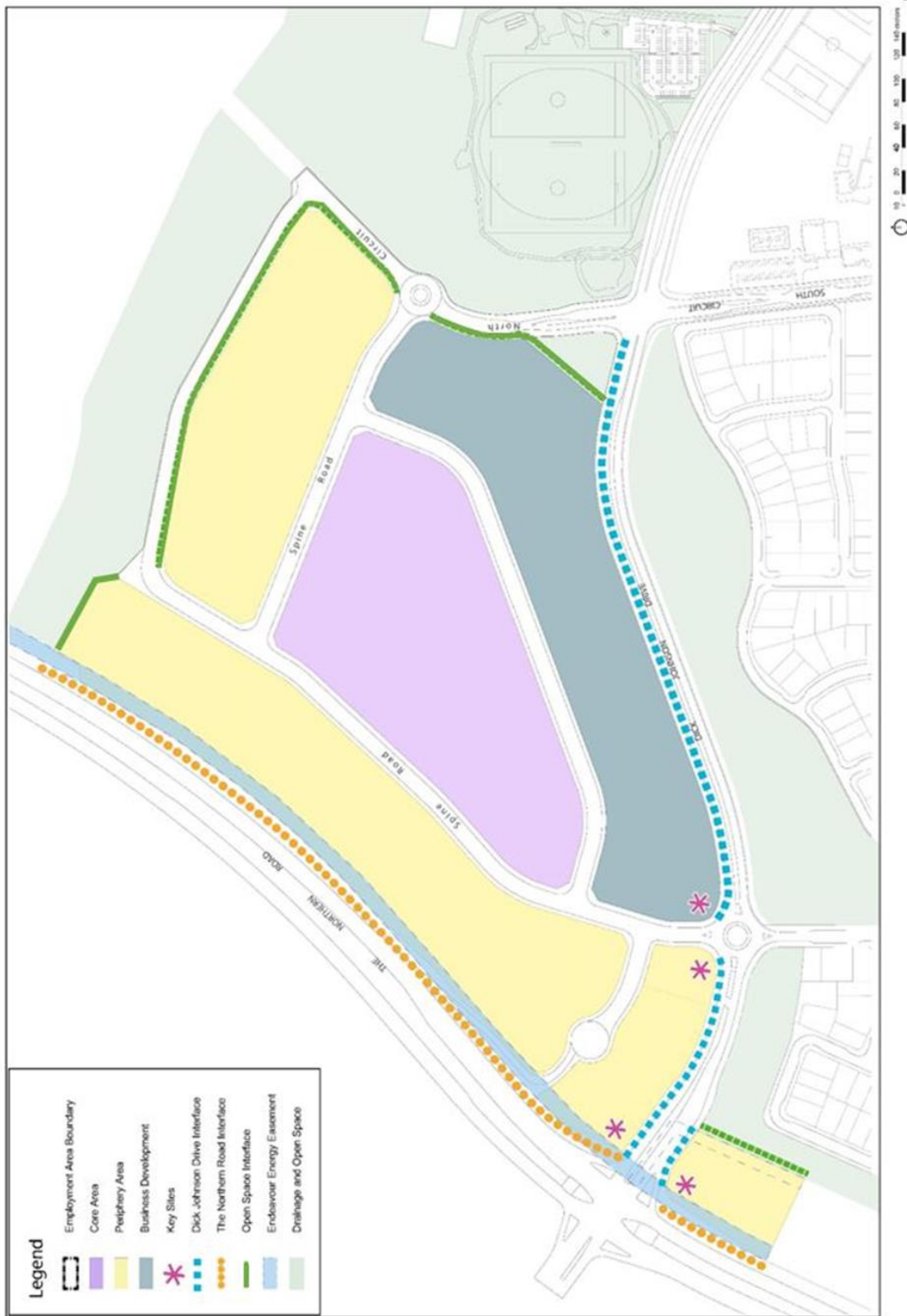


Figure 2: Land Use Plan

4.0 Subdivision

Objectives

- a) To provide a range of lot sizes to facilitate a variety of uses.
- b) To establish a subdivision layout that utilises the employment area efficiently, maximises the natural attributes of the land, appropriately addresses the street and public domain and responds to the ~~residential interface~~ key interfaces.

Controls

1. Subdivision design should be generally consistent with the road pattern shown in **Figure 3**. Where an alternative design outcome is proposed, the applicant must demonstrate consistency with the Vision and Key Development Objectives of this part of the DCP.
2. Lot sizes should be diverse to meet a range of different land uses. Irregular shaped allotments with narrow street frontages ~~must~~ should be avoided, particularly where several of these are proposed in an adjoining manner.
3. Battle-axe shaped allotments should be avoided. Where they are proposed, they must be designed in accordance with AS2890.2.
4. Subdivision applications for lots less than 2000m² (excluding any access thereto) must include supporting plans and information that demonstrate that the site can meet all other relevant development controls.
5. Lots should be orientated and aligned to encourage building design that:
 - a) faces the street to increase visual surveillance and minimise the visual impact of loading docks and long blank walls;
 - b) facilitates solar efficiency;
 - c) has frontage toward riparian corridors and open space areas.
6. Any future application for subdivision of land will require a comprehensive noise assessment of the land to be undertaken in accordance with Council's Environmental Noise Policy 2018 and section "2.4.2- Amenity Noise Levels in areas near an existing or proposed cluster of industry" of the NSW EPA's Noise Policy for Industry (NPfI). The submitted noise assessment must address the following:
 - a) apply appropriate noise limits to each lot to guide land use proposals and ensure that the Employment Area will meet relevant noise criteria as per above.
 - ~~b) consider future residential lots that are identified as 'Residential Interface' in Figure 2. For lots directly adjacent to the residential interface require a vegetation buffer and acoustic fencing made of durable materials along the common boundary as per Figure 8.~~
7. Development applications for subdivision of land directly adjacent to a riparian corridor or open space (inclusive of land fronting a road adjacent to a riparian corridor or open space area) must facilitate development that:
 - a) will have an articulated, aesthetic and landscaped appearance when viewed from the adjoining riparian corridor or open space land;
 - b) will have minimal adverse impacts on the environment or the amenity of surrounding land;
 - c) will provide opportunities for passive surveillance of the open space land, where possible;
8. Where a Strata or Community Title subdivision is proposed, parking, landscaping, access areas and directory board signs must be included as common property.

~~9. For industrial lots along the Residential Interface, a positive covenant is to be placed on title requiring the maintenance of the 5m vegetated buffer and acoustic fencing along the common boundary.~~

Notes:

~~The positive covenant will benefit adjoining residential land owners.~~

~~In sensitive locations such as where industrial land is in close proximity to residential land, development consents for subdivision may include advice to future land owners that consideration must be given to the impact of development on the environment and amenity of surrounding land.~~

5.0 Movement Network

Objectives

- a) To ensure pedestrian and traffic safety within, and to and from the Employment Area.
- b) To provide a permeable road network that facilitates movement in and through the employment area.
- c) To minimise impacts on roads including but not limited to The Northern Road and Dick Johnson Drive.
- d) To minimise impacts on surrounding residential uses and other sensitive land uses.

Controls

1. The road network should be generally consistent with the Movement Network Plan shown in **Figure 3**. Council may consider alternatives to the Plan where appropriate urban design outcomes can be demonstrated and the overall functional objectives of the network are maintained or improved.
2. Roads in the Employment Area are to be provided in accordance with **Figure 3** and designed in accordance with Council's Engineering Specifications. **Figure 4A** and **Figure 4B** provide the minimum dimensions for roads in the employment area. Roads may need to be wider where traffic management facilities (e.g. roundabouts, etc.) are determined to be required.
3. Where required by Council, a traffic report must be submitted with the development application. The report must:-
 - a) demonstrate that the minimum road cross section or an alternative road cross section is appropriate for each road;
 - b) recommend appropriate traffic management facilities at intersections in the employment area.
 - c) specify the type of heavy vehicles to service the site and adequately demonstrate safe manoeuvrability of these vehicles.
4. Direct vehicular access to and from The Northern Road is not permitted except for a single, common left-in slip lane, which links into the Employment Area as detailed in **Figure 3**.
5. All road infrastructure within and accessing the Employment Area are to be designed to safely accommodate heavy vehicles.
6. Heavy vehicles are not permitted direct access to lots from Dick Johnson Drive.
7. Off street parking must be provided in accordance with 'Part 2.18.2 Off Street Car parking rates/requirements' of Camden DCP 2019. At grade parking areas must be suitably located to minimise visual impacts to the street and public domain.
8. A shared pedestrian and cycleway, and pedestrian footpaths must be provided in accordance with **Figure 3** and **Figure 4A**.
9. All industrial roads within the Employment Area are to be designed to accommodate buses, however it is planned that future bus routes will be planned to use Dick Johnson Drive.
10. Detention and treatment of stormwater runoff from industrial roads within the Employment Area must be addressed with development applications for subdivision.

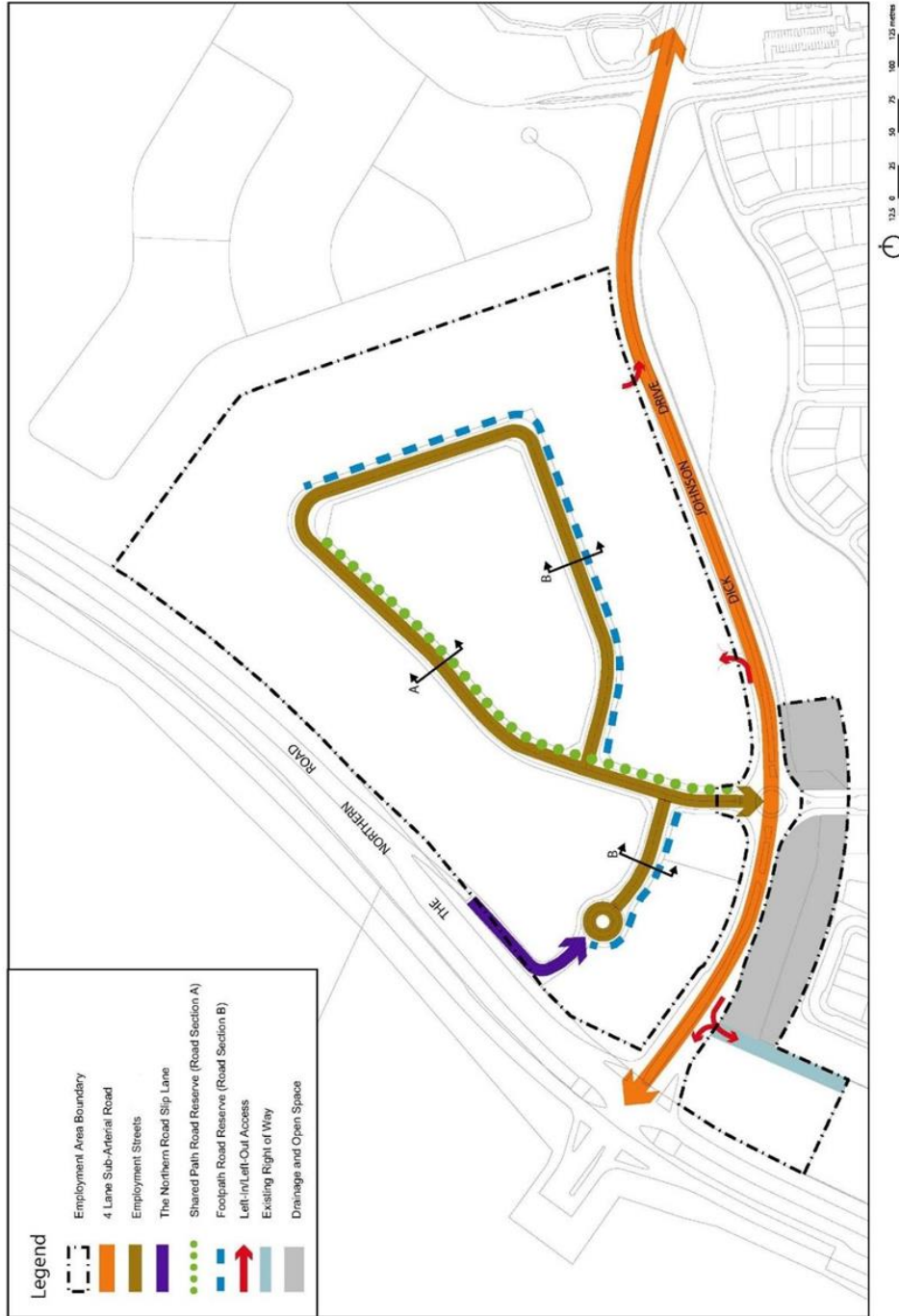


Figure 3: Movement Plan

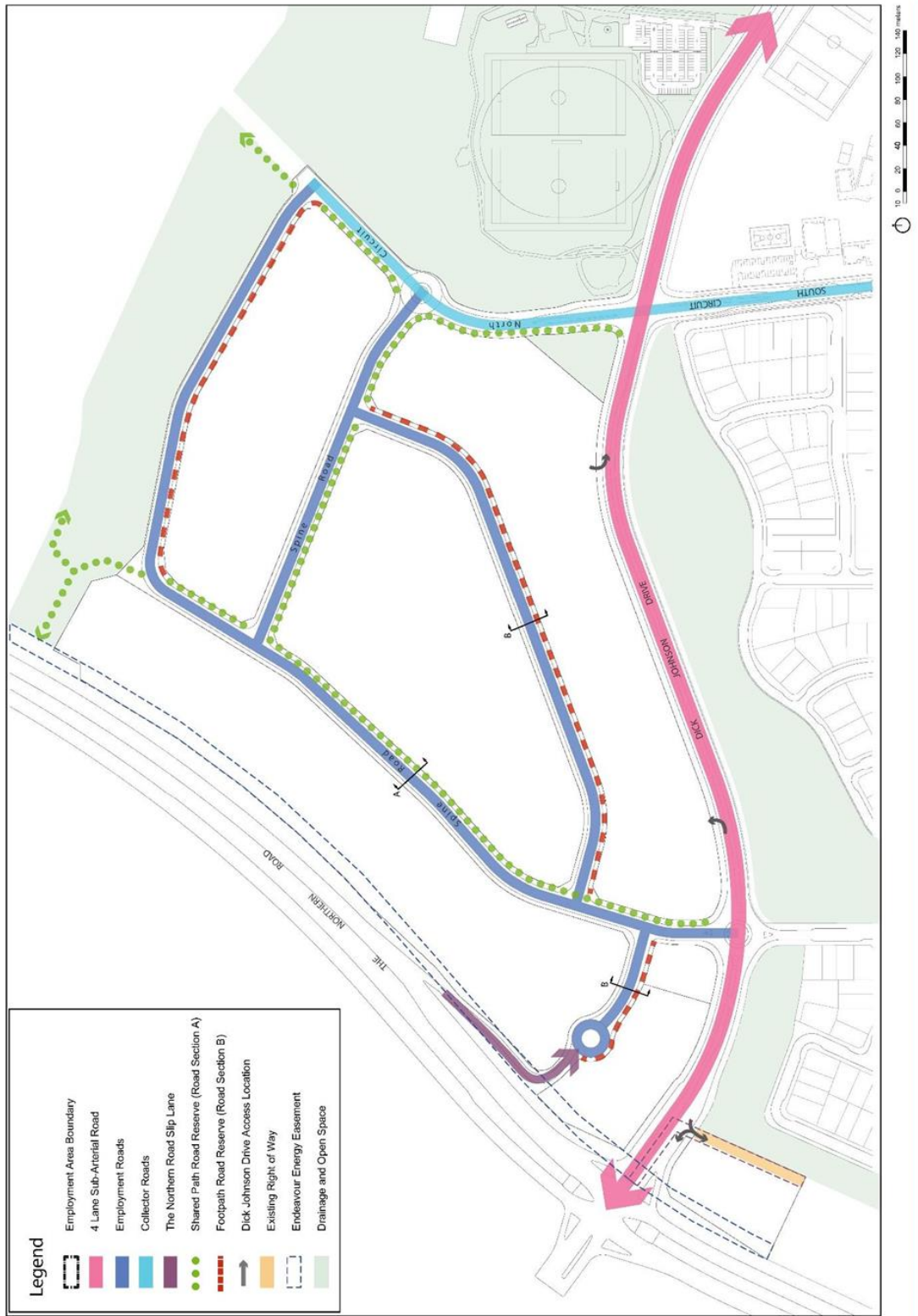


Figure 3: Movement Plan

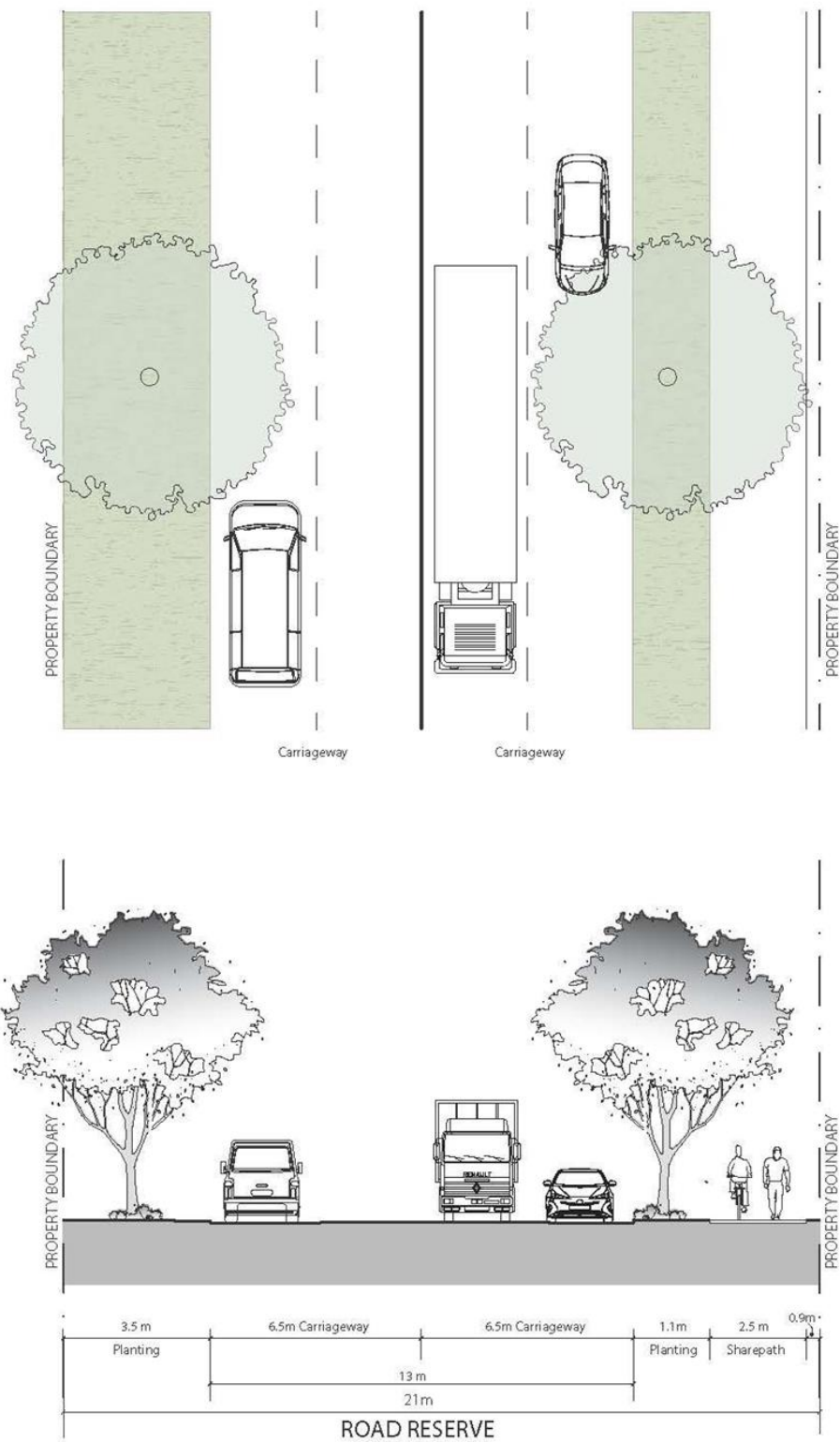


Figure 14A: Employment Land Street with Share Path (Road Section A as per Figure 3).

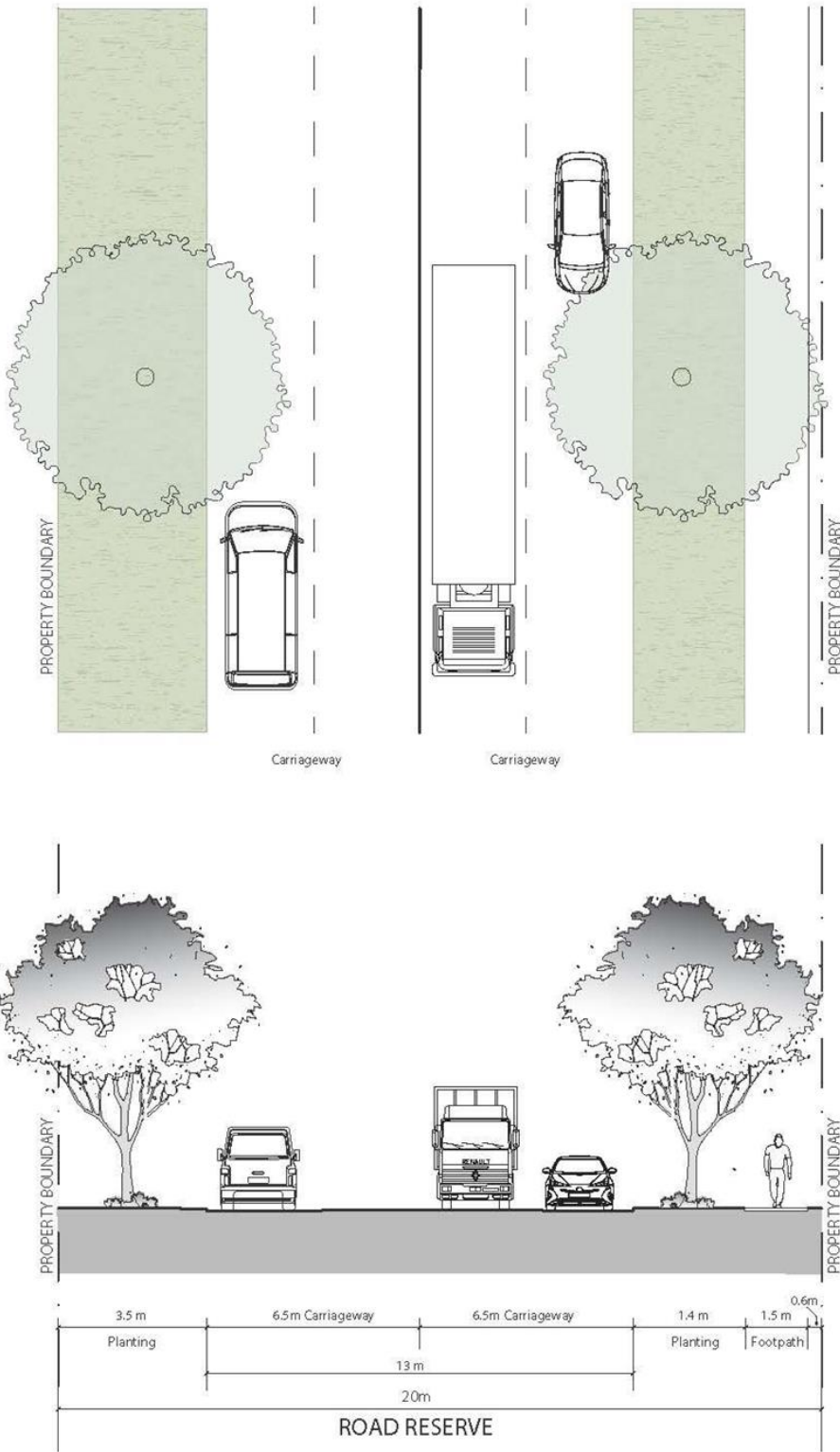


Figure 4B: Employment Land Street with Footpath (Road Section B as per Figure 3)

6.0 Site Planning

Objectives

- a) To ensure that the opportunities and constraints of the site and surrounding area are fully considered and incorporated into site design.
- b) To provide appropriate setbacks to the proposed use ~~of,~~ in consideration of site characteristics and ~~the~~ location of the land.
- c) To achieve attractive streetscapes and quality landscaped settings for development.

Controls

1. Development must be consistent with the front setbacks shown at **Figure 6**.
2. Front setback areas are to be landscaped and not dominated by parking areas or loading facilities. Where car parking is proposed forward of the building line, the carparking must:
 - a) not encroach on the minimum front landscaping setback.
 - b) be suitably located away from building entrance points so that the building entrance remains visible from the street.
 - c) be adequately screened and broken up with suitable landscaping (e.g. shrubs) and/or fencing while maintaining view lines between the street and the building; and
 - d) designed to ~~be~~ provide convenient, safe and comfortable pedestrian access to the building entrance.
3. Development sites must be designed to minimise the impacts of stormwater run-off on adjoining riparian corridors and demonstrate compliance with Section 8.2 Stormwater and Construction Management of Part A of this DCP.
3. —

Note: Refer to Section 6.1 Public Domain and Special Interface Areas for further site planning controls.

6.1 Public Domain and Special Interface Areas

Objectives

- a) To create quality streetscapes with high pedestrian amenity.
- b) To recognise key sites and apply specific controls to enhance their amenity and manage potential impacts, including the mitigation of opportunities for crime.
- c) To manage interface areas to reduce the impact of the employment area on surrounding nearby residential uses and on riparian land, riparian corridors and open space links areas, and other sensitive land uses.
- d) To provide high amenity break-out spaces for workers.

Controls

1. The streets in the Employment Area are to be designed and constructed to provide pedestrian safety, amenity and visual interest. Footpaths are to be provided generally in accordance with **Figure 3** and **Figure 4A** and **Figure 4B**.
- 1.2. Where development is proposed on land adjoining/adjacent to the riparian protection area identified under the State Environmental Planning Policy (Sydney Region Growth Centres) 2006, it must comply with the relevant provisions of Part B2 – Controls for Land containing a Riparian Protection Area of this DCP.

- 2.3. Landscaping should utilise predominately native, drought resistant species.
- 3.4. The principles of Crime Prevention Through Environmental Design (CPTED) and the Safer by Design (NSW Police) must be incorporated into the design of all development within the Employment Area.
- 4.5. Street tree plantings must be provided to enhance the streetscape and provide shade for pedestrians.
- 5.6. Development must **comply with** address the following general design considerations set out below:
- a) Building elevations must be sited to positively address the street frontage.
 - b) Long unbroken walls (i.e. walls in excess of 15 metres in length) generally must be avoided.
 - c) Provide visual interest and passive surveillance by incorporating design features such as:
 - articulated building façade;
 - recessing or projecting architectural elements;
 - mixture of building materials;
 - palette of colours and finishes to enhance variation;
 - glazing to ground and additionally, to first floor levels;
 - awnings;
 - roof feature; and
 - landscaping.
 - d) Car parking that is visually dominant from the street should be avoided. Where car parking is proposed forward of the building line, the carparking must:
 - not encroach on the minimum front setback required for landscaping.
 - **be** suitably located away from building entrance points so that the building entrance remains visible from the street.
 - **be** adequately screened and broken up with suitable landscaping (e.g. shrubs) and/or fencing while maintaining view lines between the street and the building.
 - **be** designed to provide convenient, safe and comfortable pedestrian access to the building entrance.
 - e) Provide a coordinated landscape theme that is consistent with the provisions of **Section 7 Setbacks** and **Section 11 Landscaping**.
 - f) Provide a clear, articulated public entry that is visible from the street and clearly indicate entry/exit access pathways.
 - g) Provide a delineated and safe pedestrian pathway to the building entrance, separate from vehicular access.
 - h) Ensure that site servicing, loading facilities and waste storage are suitably located and designed such that they do not dominate the streetscape. When visible from the street, the loading dock and its doors should be:
 - setback at least 1m from the building line; and
 - ~~designed to~~ be integrated with the front building façade, **and** comprise **of** ~~ing~~ neutral/recessive colours which minimise its visual impact on the street.

- i) Ensure that utilities are suitably located to the side or rear of the building where possible and designed to minimise visual impact on the public domain. Where proposed, utilities should:
 - have colour treatments compatible with the building façade; and
 - suitably screened from the street with landscaping
- j) Proposed signage should be:
 - minimised in terms of number, size and extent;
 - generally limited to business identification signage and/or building identification signage that is integrated into the building design and/or pylon signs at entry/exit points; and
 - encouraged on corner sites where business identification signage and/or building identification signs are integrated into the building façade and help to activate the primary and secondary frontage.
- k) Consistent, open-style fencing is preferred. Proposed fencing must be provided in accordance with **Section 12.2 Fencing**.

6.7. All development must provide indoor or outdoor break-out spaces for the amenity of workers. If a development is to provide an outdoor amenity area, that area should:

- a) have a minimum area of 24m² with a minimum dimension of 4m;
- b) provide seating, tables, shading and adequate paving; and
- c) be located away from intrusive noise sources (e.g. loading and servicing areas and heavy machinery), dust, vibration, heat, fumes, odour or other nuisances.

7.8. Additional design considerations set out below, will apply to Special Interface Areas identified in the character statements below.

Dick Johnson Drive Interface

The Dick Johnson Drive Interface serves a main entry point for the Employment Lands and overall precinct. As a significant entry point to Oran Park, development fronting Dick Johnson Drive will be encouraged to have active uses and consistent landscaping to create a high-quality streetscape that is pedestrian-friendly. Development will be carefully designed to avoid a streetscape with visually dominant car parking, loading docks and long blank walls.

The area also interfaces with the open space and drainage area to the south side of Dick Johnson Drive. To cater for walking and cycling between the Employment Area and the surrounding open space area, a shared path connection is being provided along Dick Johnson Drive and to and within the Employment Area.

- a) Avoid long expanses of blank walls (i.e. walls in excess of 15 metres in length). Where long walls are proposed, the facade should be structurally and visually articulated through the incorporation of design elements such as window glazing, mix of building materials and finishes, roof features, awnings, blade walls, colour variation.
- b) Where there is potential for side building façades to be visible from the public domain, they should be provided with variation in colour and replicate treatments from the front façade to enhance visual presentation.
- c) Provide building entries and office components close to and clearly visible from the street frontage to provide a clear visitor entry point and to activate the street frontage.
- d) Carparking must be suitably designed to reduce its visual impact on Dick Johnson Drive. Specifically,
 - carparking should be designed to provide convenient, safe and comfortable pedestrian access to the building entrance, where possible, it is preferred for

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carparking to be located to the side or rear of the building so that parking does not dominate the street frontage.

- where proposed forward of the building line, carparking must be adequately screened and broken up with suitable fencing and/or landscaping (e.g. shrubs of a mature height).
- e) Business signage should be carefully incorporated into the building design.

The concept layouts below illustrate how the above design objectives could be achieved.

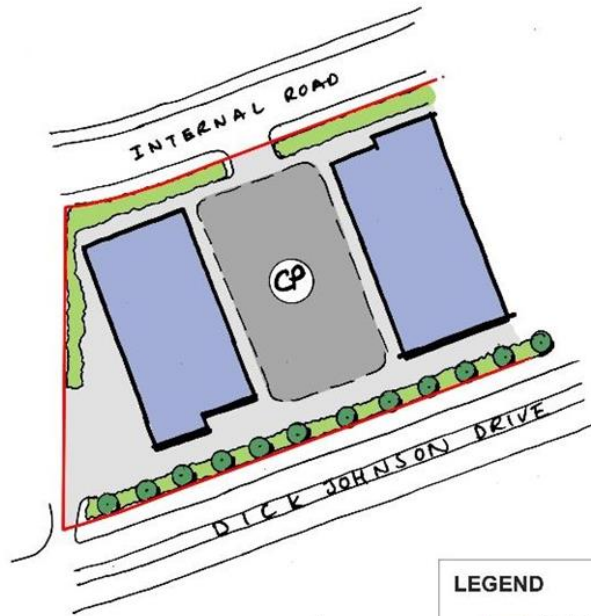
Attachment 4



Figure 5A: Dick Johnson Drive Concept Layout 1

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Attachment 4



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	Building Footprint
	Car Parking
	Landscaping

Figure 5B: Dick Johnson Drive Concept Layout 2

The Northern Road Interface

The Northern Road Interface

To the west of the Employment Lands is † The Northern Road Interface where opposite is future residential development and the Northern Neighbourhood Centre in the north-west portion of the precinct. Development along the Northern Road Interface must be suitably designed to address the visual impact of built form on the Northern Road. This will be achieved through a wider setback from the Northern Road with suitable landscape treatment and high-quality built form that provides visual interest so as to take advantage of passing traffic.

- a) Avoid long expanses of blank walls (i.e. walls in excess of 15 metres in length). Where long walls are proposed, the facade should be structurally and visually articulated through the incorporation of design elements such as articulated second storey element, roof features, awnings or blade walls as well as colour variation.
- b) Providing landscape breaks through canopy vegetation and integrating building identification signs into the building design, should also be considered.
- c) In locations where an Endeavour Energy powerline easement is identified, landscape and fencing treatments are to be in accordance with Endeavour Energy specifications.

Open Space and Riparian Land Interface

As outlined in green in Figure 2, The Employment Area interfaces with the following open space and riparian lands including:

- riparian land to the north also known as 'Catherine Creek' which borders Pondicherry (Tranche 41);
- riparian land to the east and south also known as 'Anthony Creek';
- passive open space areas south of Dick Johnson Drive, adjacent to the substation and extending further east and co-locating with Anthony Creek; and
- the playing fields of Jack Brabham reserve directly opposite the Employment Area and adjacent to the future South Circuit road extension (North Circuit).

The Employment Area has provided pedestrian footpaths and shared paths adjacent to open space/riparian land as identified in Figure 3 including shared path links to Pondicherry (Tranche 41).

Development that interfaces with open space and/or riparian land must be suitably designed to minimise the visual and amenity impacts on these sensitive land uses, and ensure pedestrian safety and amenity. This will be achieved through compliance with the following design considerations:

- a) Avoid long expanses of blank walls (i.e. walls in excess of 15 metres in length). The facade should be structurally and visually articulated through the incorporation of design elements such as roof features, awnings or blade walls as well as colour variation. Providing landscape breaks through canopy vegetation and integrating building and/or business identification signs into the building design, should also be considered.
- b) Consistent, open-style fencing is preferred to provide passive surveillance to open space areas. Alternative solutions may be considered by Council where it can be demonstrated that the fencing is well-designed (with surface finishes incorporating a combination of colour, texture and pattern) to maintain high visual amenity to the open space area.
- c) Notwithstanding design consideration (b) above, fencing must be of a solid construction where it adjoins riparian land, and/or where Council deems it appropriate and/or necessary to provide noise attenuation and visual screening based on the nature of the development. Fencing must also be of an appropriate design (with surface finishes incorporating a combination of colour, texture and pattern) to provide visual interest.

~~d) Development on land that interfaces with open space and riparian land as identified in **Figure 2**, must have minimal adverse impacts on the environment or the amenity of these surrounding land uses.~~

~~e) Fencing design must consider the provision of passive surveillance to encourage pedestrian safety.~~

~~a) Avoid long expanses of blank walls (i.e. walls in excess of 15 metres in length). Where long walls are proposed, the facade should be structurally and visually articulated through the incorporation of design elements such as roof features, awnings or blade walls as well as colour variation. Providing landscape breaks through canopy vegetation and integrating building identification signs into the building design, should also be considered.~~

~~b) Consistent, open-style fencing is preferred. Alternative solutions may be considered by Council where it can be demonstrated that the fencing is well-designed to maintain high visual amenity to the open space area.~~

~~c) Development on land adjacent to the open space interface identified in **Figure 2** must have minimal adverse impacts on the environment or the amenity of surrounding land.~~

~~d) Will provide opportunities for passive surveillance of the open space land, where possible.~~

Internal Ring-road Interface

The siting and design of development along the internal ring-road interface should ~~consider the provision of~~ provide passive surveillance to the street. ~~Where possible, Site~~ servicing and loading facilities, waste storage and other infrastructure are to be suitably located and designed to minimise visual impact on the public domain.

Key Sites

Key sites have been identified within the precinct. They will serve as main entry points and are located along the Northern Road and Dick Johnson Drive as identified in **Figure 2**.

a) Development on these key sites must be appropriately sited and suitably designed to ensure that presentation to both road frontages is achieved.

b) Building identification signs that are integrated into the building façade should be encouraged on corner sites to help activate both the primary and secondary frontage.

Residential Interface

~~a) Development along the interface with residential properties, identified in **Figure 2**, should be designed and operated to minimise impacts on adjacent residential areas in terms of overshadowing, noise, traffic and circulation, light spill emissions, bulk and scale.~~

~~b) A vegetated buffer and fencing made of durable materials and having acoustic attenuation qualities must be provided along the residential interface and employment area common boundary in accordance with **Figure 6** and **Figure 8**. These works are to be undertaken at subdivision stage with positive covenants placed on the titles of affected industrial lots requiring maintenance of the vegetated buffer and fencing.~~

6.2 Topography Cut and Fill

The topography of Oran Park provides local and distant vistas from public and private domains. The topography of the Oran Park Employment Area gently falls in a west to east direction from The Northern Road. Industrial development should consider the topography of the land so that building and site design ensure minimal impact on surrounding development and the public domain.

Objectives

- a) To protect and enhance the aesthetic quality of the area by controlling the form, bulk and scale of land forming operations.
- b) To ensure the dimensions of building footprints are appropriately sized and sited to minimise the extent of cut and fill.
- c) To ensure that the amenity of adjoining ~~residential~~, open space and drainage areas and other sensitive land uses is not adversely affected by any land forming operations.
- d) To promote attractive streetscapes where landscaped retaining walls are visible from the street.

Controls

1. Development applications must illustrate where it is necessary to cut and/or fill and provide justification for the proposed changes to the land levels.
2. Retaining walls visible from the street and public domain should be a maximum height of 1m before incorporating a landscape step and all earthwork batters are to be landscaped to mitigate adverse visual impacts.

7.0 Setbacks

Objectives

- a) To ensure buildings are of an appropriate bulk and scale when viewed from the street and public domain.
- b) To ensure setbacks are appropriate for the proposed use and location of the site.
- c) To enable the integration of built and landscape elements to create an attractive, visually consistent streetscape.
- d) To ensure that carparks, site servicing, loading facilities and waste storage do not dominate the streetscape.

Controls

1. Minimum building setbacks are to be in accordance with **Figure 6**.
 - a) Notwithstanding clause (1) above, no building is permitted within the Endeavour Energy powerline easement located adjacent to The Northern Road.
 - b) In the event that any identified easement is removed, the building setbacks identified in **Figure 6** apply.
 - c) Where a 2m setback is applied on the Building Setback Plan in **Figure 6**, an active street frontage must be provided.
- ~~1.2.~~ Outdoor amenity areas and small ancillary uses, such as cafe shade structures and seating areas for employees and visitors, must be located behind the landscaped setback to maintain visual and acoustic privacy.
- ~~2.3.~~ Where the site is a corner lot that also addresses Dick Johnson Drive, the primary and secondary frontage must be treated as that facing Dick Johnson Drive and apply the development controls accordingly.
- ~~4.~~ Front setbacks are to be landscaped in accordance with **Section 11 'Landscaping'**. Where parking is proposed forward of the building line, the parking area is not permitted within the landscaping setback. Carparking must be integrated with landscaping to provide convenient and safe access to the building entrance.
- ~~3.~~
- ~~5.~~ Rear and side setbacks are zero where the site is directly adjoined by other industrial uses.
 - ~~4.~~ Where a zero setback is proposed, the design and construction of buildings are to be in accordance with Building Code of Australia and relevant Australian Standards. Rear and side setbacks may be required by Council and considered on merit depending on the nature of adjoining development.
 - ~~5.~~ A 5m vegetated buffer must be provided along the residential and employment area interface within the rear portion of the industrial allotments in accordance with **Figure 6** and **8**.

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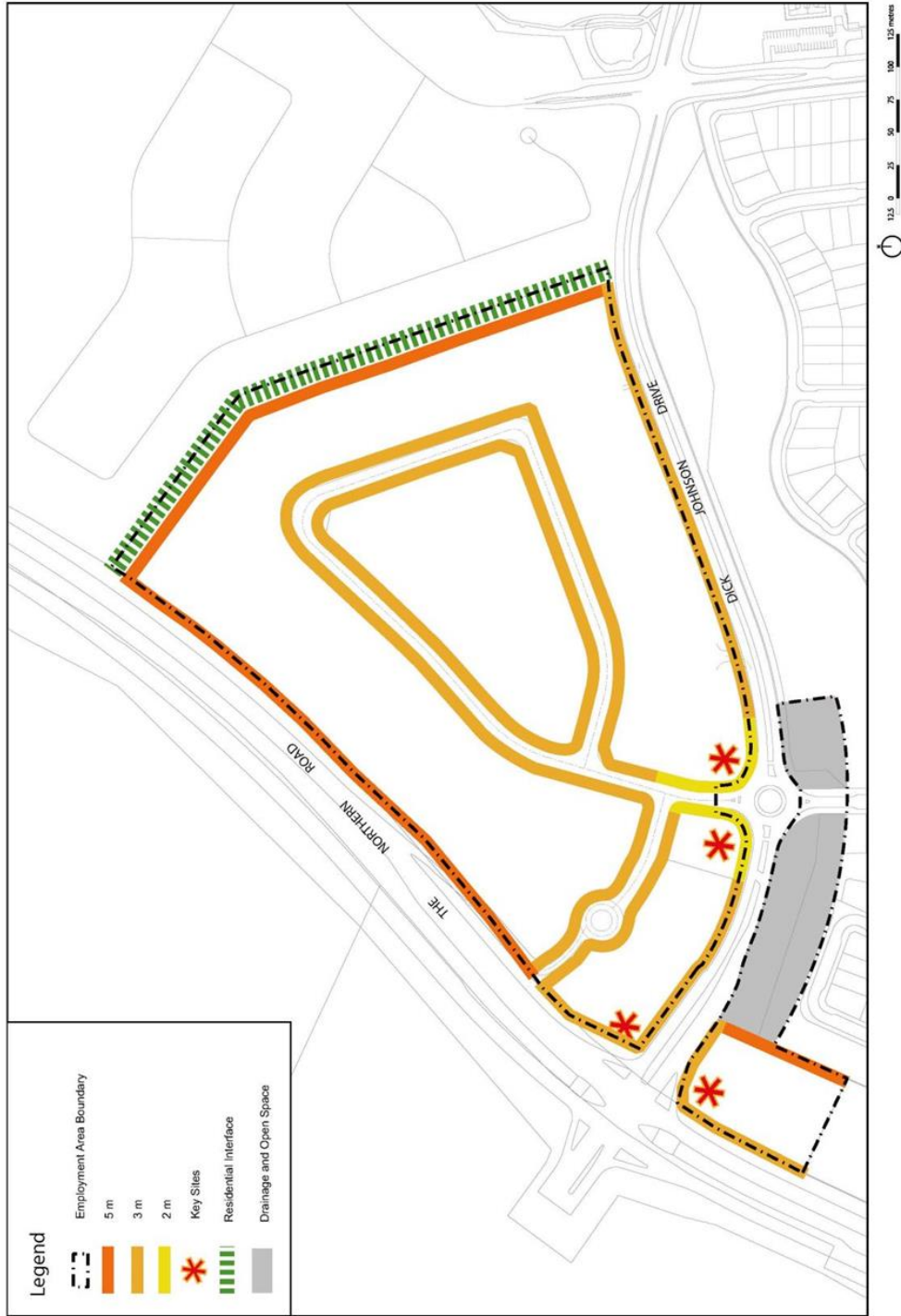


Figure-6: Building Setback

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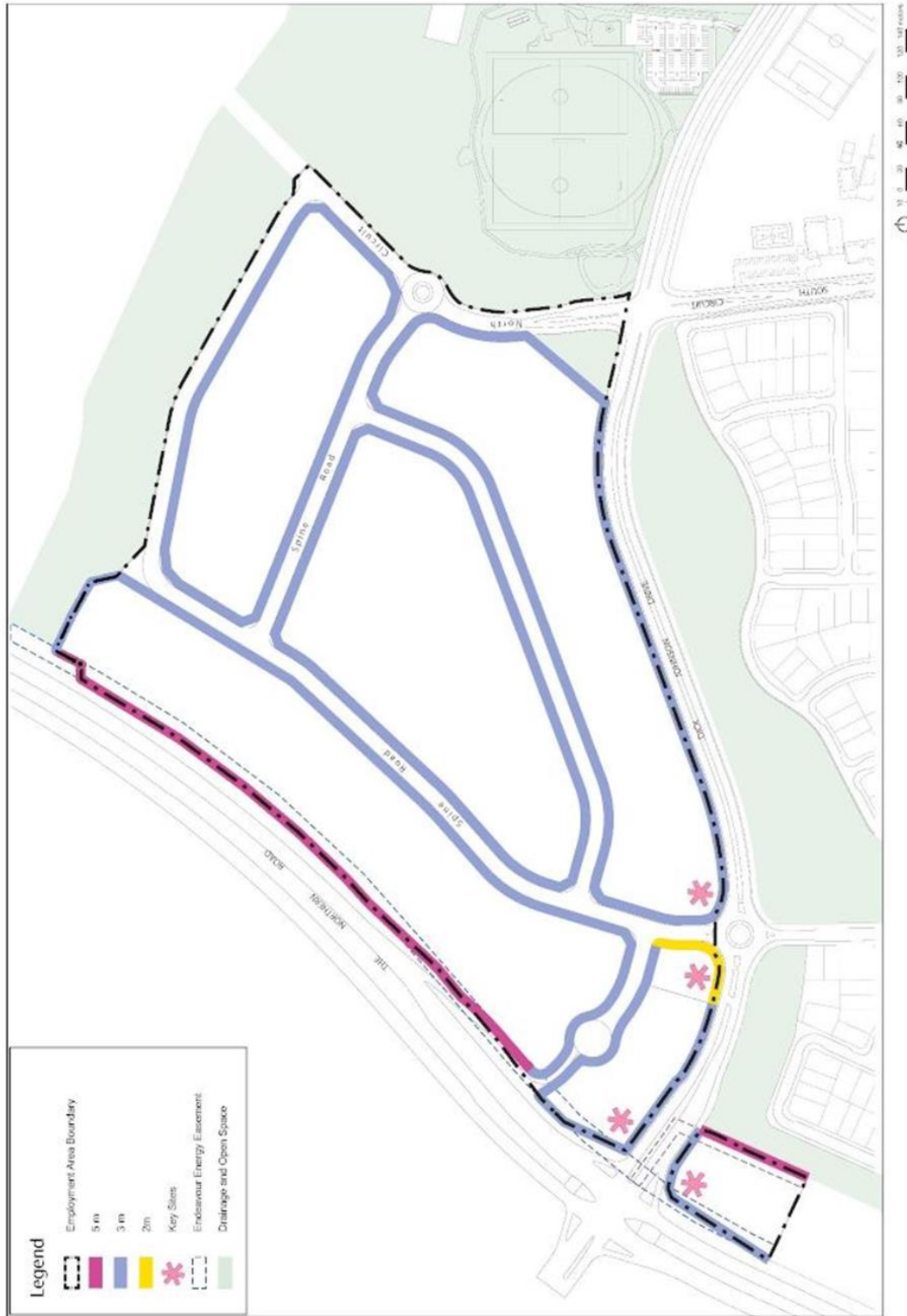


Figure 6: Minimum Building Setback

8.0 Height of Buildings

Objectives

- a) To ensure that building height does not adversely affect surrounding land uses or scenic amenity.
- b) To ~~consider~~ balance the intended use, visual bulk, human scale and appropriate scale of development, while ensuring that land is not underutilised.
- b)c) To reduce the visual impact of built form on roads including but not limited to Dick Johnson Drive and The Northern Road.

Controls

1. Building heights are to be in accordance with **Figures 2 and 7**.
 - a) ~~In the area marked 'periphery' area' and 'core area' in Figure 7, a maximum building height of 15m is permitted for development fronting The Northern Road and Dick Johnson Drive.[^]~~
 - b) ~~In the area marked 'residential interface', the height of industrial buildings adjacent to residential dwellings (identified as 'Residential Interface') must not exceed 9.5m for a distance of 10.5m from the rear boundary in accordance with Figure 8.~~
 - e)a) In the area marked "core area", the maximum building height of 15m applies for all development. Building heights greater than 15m may only be considered in the core area, where higher industrial structures are proposed.

Note:

[^]~~Heights are limited to a maximum 15m along The Northern Road and roads fronting Dick Johnson Road ('East-West road), in accordance with clause 4.3(5) of Appendix 1 Oran Park and Turner Road Precinct Plan of State Environmental Planning Policy (Sydney Region Growth Centres) 2006.~~

~~For the purpose of building height provisions only, the 'Periphery Area' highlighted in yellow in Figure 7 also incorporates the Business Development Land identified in Figure 2. A maximum building height of 15m generally applies to the overall Employment Area.~~

ORD03

Attachment 4

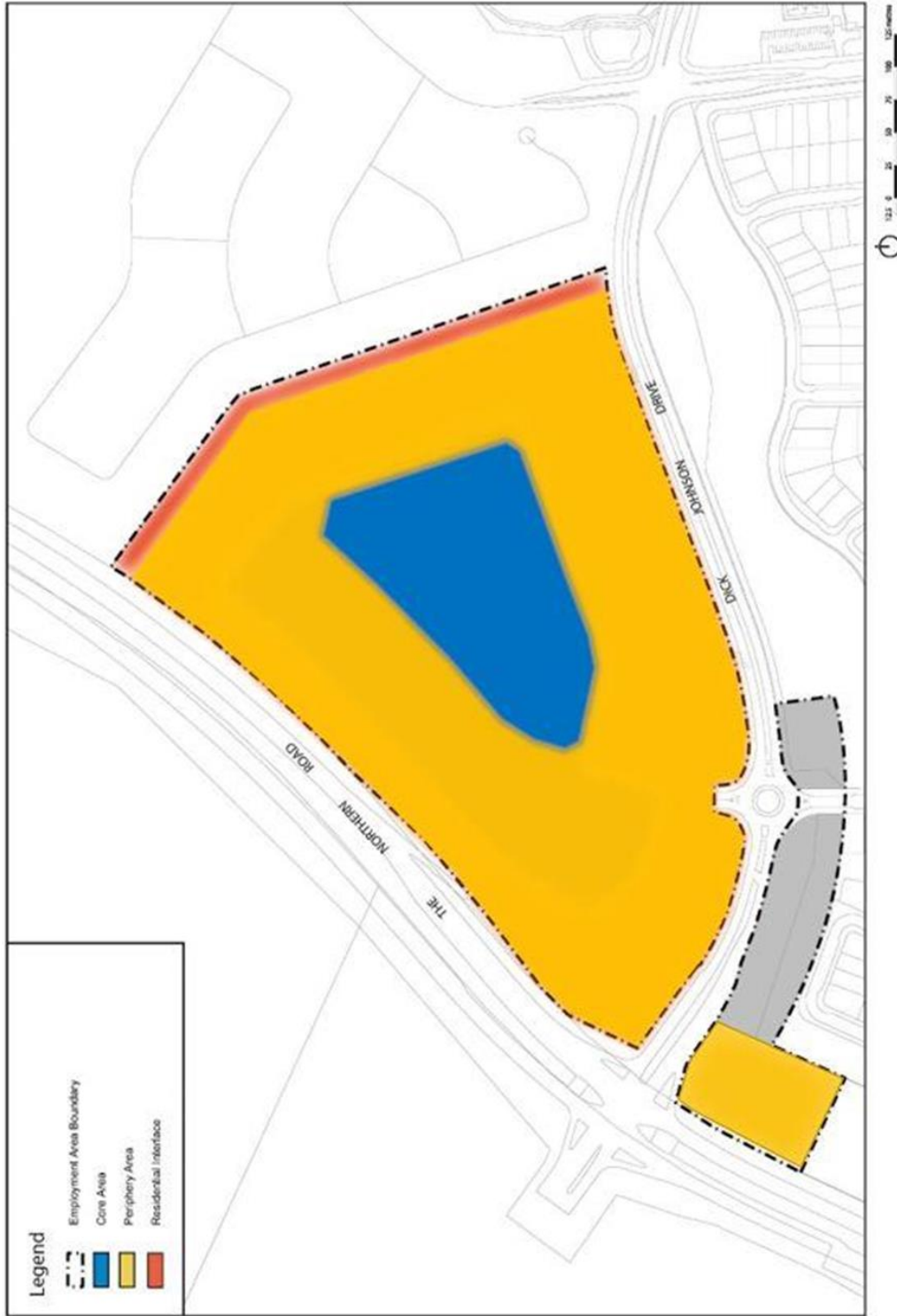


Figure 7: Height Transition



Figure 7: Height Transition

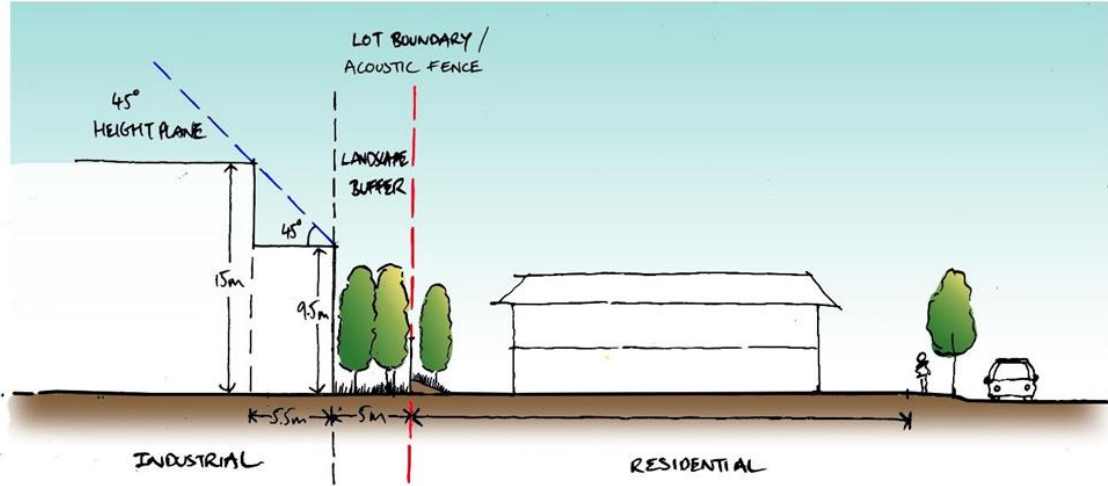


Figure 8: Employment Area and Residential Interface

Note: 5m Landscape buffer to be located within the rear portion of industrial lots.

9.0 Overshadowing

Objectives

- a) To minimise overshadowing of adjacent residential development open space areas.
- b) To ensure satisfactory solar access to public and private spaces within the Employment Lands.

Controls

1. Any Development Application for the construction or alteration of buildings adjoining residential development, open space and drainage areas is required to submit detailed Shadow Diagrams indicating shadows cast by buildings, roof overhangs and fences for 9am, 12pm and 3pm on Summer and Winter Solstice (21st December and 21st of June respectively) inclusive of consideration of the land gradient.
2. Development should provide adequate solar access to outdoor amenity areas.
3. Development should minimise impact of overshadowing on neighbouring solar panels.

10.0 Building Design

10.1 Building Form and Materials

Objectives

- a) To ensure that materials, architectural features and the built form enhance the desired character and aesthetic of the area, streetscape and building elevations.
- b) To encourage the use of durable, non-toxic, low embodied energy, quality materials and finishes to minimise environmental impacts and ensure thermal comfort and amenity of the building.
- c) To encourage use of materials appropriate to the solar, climatic and other local conditions.
- d) To ensure a mix of materials and finishes that act to reduce the bulk, scale and mass of large buildings.
- e) To avoid large blank walls, particularly those visible from the public domain and streetscape.

Controls

1. A mix of materials, colours and architectural features must be used. A schedule of materials and colour palettes must be submitted with the development application.
2. The scale and massing of buildings should reinforce the urban design character of the precinct. Building scale and massing should generally be consistent within a streetscape.
3. The office component of any development must be incorporated into the overall design of the building and generally located along the primary street frontage.
4. The built form and architecture of development on 'Key Sites' identified in **Figure 2** must enhance its location and positively respond to and emphasise the corner.
5. Appropriate screening to suit the architectural character of the building and surrounds is required to screen plant equipment, storage, rubbish disposal and related uses in all areas.
6. Visible rooftop structures (including plant rooms, air-conditioning and ventilation systems) where visible from the public domain, ~~mustare to be~~ incorporated into the design of the building to create an integrated appearance.
7. Blank building facades facing the primary street frontage are not permitted.
8. Design should consider and reflect passive design principles including thermal mass, solar screening, solar access/ shading to outdoor amenities, insulation, ventilation, where possible.
9. Use of metal cladding:
 - a) Use of metal cladding is discouraged on front elevations unless it can be satisfactorily demonstrated that it forms part of an architectural design solution in association with masonry, glass and other high quality materials.
 - b) Where a side or rear elevation is visible from the public domain, the use of metal cladding must comprise no more than 50% of that wall's building material.
10. Materials that are likely to contribute to poor internal air quality such as those generating formaldehyde or those that may create a breathing hazard in the case of fire (e.g. polyurethane) should be avoided.
11. Glazing should not exceed 20% reflectivity.

10.2 Bulk and Scale - Large Floor Plate Development

Objectives

- a) To encourage large floor plate development that is consistent with the surrounding context.

Controls

1. Where development with a floor plate greater than 4,000m² is proposed, the following controls must be taken into consideration:
 - a) Long building façade walls should be adequately articulated and are to be less than 15m length and 5m height.
 - b) Large format signage and branding across entire elevations or window displays is not allowed.
 - c) Activation of at least 50% of the building frontage with a generous, articulated and identifiable building entrance, display windows and human scale, built form elements including shade structures, awnings, outdoor amenity spaces, landscaping, canteens and cafes is preferred.
 - d) Incorporate architectural detail and interest at visually prominent building locations such as entrances, lower level front facades, roof tops, visible corners and at the terminations of street vistas.
 - e) Development must minimise the impacts of overlooking, overshadowing, noise and lighting on adjoining land uses, and provide appropriate landscape buffers and visual screening treatments to mitigate impacts. This may include vegetation on raised mounds and/or feature acoustic walls.
 - f) Where practical, external loading docks are to be located at the rear of buildings. Detrimental amenity impacts on ~~residential dwellings~~ open space areas and other surrounding land uses must be avoided.

11.0 Landscaping

Objectives

- a) To provide consistent, quality landscaping to the streetscape and locality.
- b) To integrate a high standard of visual amenity and character into the development.
- c) To improve workplace and outdoor amenity for employees and visitors.
- d) To reduce heat island effects from hard surfaces and to improve the energy performance of buildings and the microclimate.
- e) To encourage water sensitive urban design that reduces stormwater runoff by allowing natural infiltration into landscaping.

Controls

1. A concept landscape plan must be submitted with development applications. Proposed removal of trees or vegetation must be identified on the plan.
2. Proposed landscaping must demonstrate the provision of plantings that assist in creating a human scale, reducing visual bulk to the streetscape and/or within the site and offering amenity.
3. For lots with a single or dual frontage:
 - a) setback areas facing the street must be provided with a landscape buffer with a minimum depth of 3m when boundary fencing is proposed to the street;
 - b) the minimum depth of the buffer can be reduced to 2m when no boundary fencing is proposed to the street; and
 - c) adequate and quality landscape treatment for the landscape buffer must be demonstrated through the concept landscape plan and must be maintained for the life of the development.
4. For corner lots:
 - a) setback areas facing the primary street are to be provide with a landscape buffer with a minimum depth of 3m when boundary fencing is proposed to the street or minimum depth of 2m when no boundary fencing is proposed;
 - b) adequate and quality landscape treatment for the landscape buffer must be demonstrated through the concept landscape plan and must be maintained for the life of the development; and
 - c) reduction of the minimum landscape buffer for setback areas may only be considered in exceptional circumstances (i.e. where site characteristics such as easements affect setbacks) and in these cases, it must~~where it can~~ be adequately demonstrated that:
 - the buffer depth at any point will be no less than 1m;
 - adequate and high-quality landscape treatment (a coherent landscape theme incorporating a mix of trees, hedges or hedgerows should be provided);
 - plantings will be a mature height of at least 1m at the time of planting;
 - the secondary building façade is sited and articulated to positively address the street; and

- overall visual bulk and scale is reduced to positively respond to human scale.

5. Notwithstanding controls (3) and (4), lots fronting roads must generally provide dense landscaping (a coherent landscape theme incorporating a mix of trees, hedges and hedgerows) to adequately soften the built form.

5.6. Proposed landscaping forward of the building line should maintain open view lines between the street and the building use.

6. Carparks within the Employment Area must provide for the planting of trees and shrubs in accordance with Section 2.18.3 of Car parking design criteria. In particular, car parking areas within the Business Development Area (identified in Figure 2) must: Where practical, tree planting within car park areas is encouraged to provide shade.

7.

- provide a 2.5m wide landscape bay between every 6-8 car parking spaces;
- provide a minimum 1m landscaping strip at the end of parking aisles;
- be landscaped in accordance with Figure 2-12 'Design features of carpark' of Section 2.18.3 of this DCP such that mature tree clusters are located at highly visible corners; and
- ensure that landscaping does not impede sightlines of drivers.

7.8. Native and low water usage plant species are preferred.

8.9. Landscaping along The Northern Road interface and within the Endeavour Energy easement must be in accordance with Endeavour Energy specifications.



Figure 89: Effective Site Landscaping



Figure 940: Inappropriate landscaping

12.0 Retail Uses

Objectives

- a) To provide services and small-scale retail that provides for the day to day needs of the local industrial workforce and community.
- b) To permit the display or sale of goods manufactured on site.
- c) To maintain and support the viability of existing retail centres.
- d) To ensure industrial land is primarily used for industrial purposes.

Controls

1. Permitted retail uses under the Growth Centres SEPP will be considered by Council if it can be demonstrated that the retail use:
 - a) services the day to day needs of people who live and work in the local area;
 - b) is ancillary to industrial- permitted uses on the same allotment; and
 - c) does not compromise the retail primacy of local, strategic and district centres.

~~1.~~ 2. The maximum floor area of the proposed retail use (e.g. neighbourhood shops and industrial retail outlets where permitted with consent) must comply with clause 5.4 of the Sydney Region Growth Centres SEPP.

13.0 Fencing

Objectives

- a) To encourage an attractive and consistent theme of fencing within the Employment Area.
- b) To ensure fences of high quality that minimise visual impact on the streetscape, integrate with landscaping and enable passive surveillance to the street.
- c) To ensure fencing that provides acoustic and visual privacy where the Employment Lands adjoin ~~with residential areas and~~ public open space and other sensitive land uses.

Controls

1. Where fencing is proposed forward of the building line to a street it should be:
 - a) black open-style steel palisade fencing with a maximum height of 2.4m, measured from ground level (finished);
 - b) sited so it does not impede sight lines for drivers.

Details of fencing are to be provided at the development application/complying development certificate stage.

2. Fencing along The Northern Road interface adjacent to the Endeavour Energy easement, must be consistent in height along the length of The Northern Road and in accordance with Endeavour Energy specifications.
3. Notwithstanding controls (1) & (2) above, alternative fencing may be permitted where noise attenuation is required for neighbouring residential development and open space areas. Alternative fencing must be appropriately designed and treated and/or softened with suitable landscaping to provide visual and acoustic amenity to surrounding land uses.
4. For all other roads (other than The Northern Road), where fencing is proposed forward of the building line, it must be located either:
 - a) Along the site boundary to the street, with a suitably landscaped buffer of at least 3m behind the fence line; or
 - b) Setback 3m from the site boundary with suitable landscaping within the 3m setback (i.e. between the lot boundary and the fence line);

5. Gates are to be consistent with the adjacent style of fencing and must be designed to open inwards.

6. Fencing adjacent to open space and riparian corridors must be:

- a) open-style fencing to provide passive surveillance of open space/riparian areas; or
- b) of a solid construction where Council deems it appropriate and/or necessary to provide noise attenuation and visual screening of development notwithstanding control 6(a) above; and
- 5.c) appropriately designed ensuring that surface finishes consider a combination of colour, texture and pattern to provide visual amenity and interest to the open space/riparian corridor.

~~6. Fencing adjacent to residential lots, should comprise of durable materials and provide acoustic and visual privacy.~~

14.0 Employment Operations

Objectives

- a) To provide appropriate levels and design of access, parking and loading facilities.
- b) To ensure that the operation of employment activities does not have a detrimental impact on the amenity of the surrounding residential land and open space areas.

Controls

1. Access, parking and loading to be in accordance with 'Part 2.18.2 Off Street Car parking rates/requirements' of Camden DCP 2019.
 2. Development applications must provide the following details:
 - a) proposed hours of operation;
 - b) number and timing of deliveries expected per day;
 - c) nature, frequency and routes of heavy vehicles expected to access the premises;
 - d) nature of machinery proposed to be operated at the premises, including noise levels generated and noise attenuation measures proposed to be implemented; and
 - e) proposed locations and hours of operation of external light sources and the extent of light spillage outside of the new subject property.
 3. Operations including heavy vehicle routes and loading/unloading times must consider and minimise impacts on the amenity of nearby residential land.
 4. Appropriate measures must be taken to ensure that lighting does not create a nuisance to nearby residential land. Where deemed necessary by Council, Council may require a lighting mitigation strategy to be submitted with a development application.
 5. Appropriate measures must be taken to ensure that development minimises odour/ air-pollution impacts on surrounding land uses.
- e)
- ~~3. For industrial lots within the residential interface, the maximum permitted hours of operation (including deliveries) for development opposite or adjacent to residential development are between the hours of 7:30am to 5:30pm Monday to Saturday with no operation permitted on Sundays. Alternative hours may be considered subject to the proposal demonstrating no adverse amenity impacts.~~

15.0 Outdoor Storage

Objectives

- a) To ensure that goods, materials and equipment which are stored outside buildings do not impose any adverse environmental impacts.
- b) To ensure that storage areas are consistent with the overall building design and do not detract from the amenity and appearance of the streetscape, public domain or the broader community.
- c) To ensure that storage areas are adequately screened from the street and public domain.

Controls

1. External storage of goods, materials and equipment such as garbage bins, is not permitted when visible from the public domain.
- ~~1.2.~~ The storage of plant, equipment, goods and other materials must be suitably screened.
- ~~2.3.~~ Waste collection and outdoor storage areas must be located behind the building line, be screened with landscaping and fencing and have a sealed ground surface.
- ~~3.4.~~ The Development Applications must indicate:
 - a) the types of goods, materials and equipment to be stored externally;
 - b) the dimensions of the outdoor storage area; and
 - c) details of screening.

16.0 Acoustics

Objectives

- a) To encourage a precinct approach to assessing noise impacts in the Employment Area and facilitate equitable sharing of noise levels amongst all operators in the precinct.
- b) To enable the noise impacts of the Employment Area precinct to be managed over time.
- c) To ensure that there are no unreasonable noise impacts for ~~residential and~~ open space areas and other sensitive land uses adjoining or nearby the Employment Area.

Controls

1. Any future application for subdivision of land will require a comprehensive noise assessment of the land to be undertaken in accordance with Council's Environmental Noise Policy 2018 and section "2.4.2- Amenity Noise Levels in areas near an existing or proposed cluster of industry" of the NSW EPA's Noise Policy for Industry (NPI). The assessment must determine the operational noise limits applicable to each new lot measured at nearby sensitive receivers. The comprehensive noise assessment report prepared at subdivision must be included on the s88B instrument attached to the lots.
2. Development applications proposed on lot/s where operational noise limits and individual project noise levels have already been determined (and accepted by the Consent Authority), must submit with their application written certification from a qualified acoustic consultant. The written certification must confirm or demonstrate that the operation of the proposed development will comply with relevant noise levels.
3. Development must demonstrate to the satisfaction of Council, that sufficient and appropriate measures have been taken to minimise adverse noise impacts on surrounding land uses and/or nearby sensitive noise receivers.
- 2.4. Noise emitting activities, such as loading docks should be suitably located and designed to minimise adverse impacts on nearby residential areas (i.e. residential areas south of Dick Johnson Drive and Pondicherry – Tranche 41).



Camden Local Planning Panel

Closed Meeting Minutes
21 July 2020

12.00pm
Meeting held by teleconference



ORD03

CLOSED CAMDEN LOCAL PLANNING PANEL MEETING

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PRESENT 3

ALSO IN ATTENDANCE 3

DECLARATIONS OF INTEREST 3

CCLPP01 PLANNING PROPOSAL - EXPANSION OF ORAN PARK
EMPLOYMENT AREA 3

Attachment 5

MEETING COMMENCED AT 12.00PM**PRESENT**

Stuart McDonald (Chairperson), Michael File (Expert Panel Member), Rachel Harrison (Expert Panel Member), Debby Dewbery (Community Representative – South Ward).

ALSO IN ATTENDANCE

Manager Strategic Planning, Team Leader Growth Areas, Strategic Planner, Governance Officer, Governance Administration Officer.

DECLARATIONS OF INTEREST

There were no declarations to be noted.

CCLPP01 PLANNING PROPOSAL - EXPANSION OF ORAN PARK EMPLOYMENT AREA**PANEL RECOMMENDATION**

That the Camden Local Planning Panel considered the draft Planning Proposal and supports the Council officer's report for the following reasons:

1. The Panel is of the opinion that the Planning Proposal has strategic and site specific merit.
2. The Planning Proposal will provide additional employment land and job opportunities in the Oran Park area and is unlikely to have any unacceptable economic impact on existing employment areas or future centres.
3. The Panel accepts the Council officer advice that the loss of residential zoned land will be compensated by additional dwellings, over and above the previously anticipated densities, proposed in the Oran Park Precinct.
4. The Panel recommends to the Council that the Planning Proposal be supported to proceed to a Gateway determination.

VOTING NUMBERS

The Panel voted 4-0 in favour of the recommendation.

MEETING CLOSED AT 12.35PM

Attachment – Assessment against Key Strategic Documents

Assessment against Greater Sydney Region Plan

Great Sydney Region Plan		
Direction	Objective	Officer Comment
Direction 5 Productivity-A Well-Connected City	Objective 23: Industrial and urban services land is planned, retained and managed	The proposal is consistent with this objective as it seeks not only to retain but to expand the Oran Park Employment Area. The Employment Area will provide industrial and urban services to the local area and will support investment and business opportunities created by the future Western Sydney Airport.
	Objective 15: The Eastern, GOP and Western Economic Corridors are better connected and more competitive	The proposal is consistent with this objective as the Employment Area will contribute to the competitiveness of the planned Western Economic Corridor. The strategic position of the Employment Area close to The Northern Road and the planned rail station at Oran Park will optimise the creation of new jobs in the Western Parkland City.
Direction 4 Liveability- A City for People	Objective 6: Services and infrastructure meet communities' changing needs Objective 7: Communities are healthy, resilient and socially connected	The proposal is consistent with these objectives as it will create local jobs and provide various services and infrastructure to support the growing community. These services will help cater for the significant growth that is envisaged in Oran Park which is set to accommodate an additional 20,226 new residents.

Attachment – Assessment against Key Strategic Documents

ORD03

Assessment against Western City District Plan

Western City District Plan	
Planning Priority	Officer Comment
<u>Planning Priority W3</u> Providing services and social infrastructure to meet people's changing needs	The proposal will facilitate additional industrial and urban services to better support residents within the area.
<u>Planning Priority W8</u> Leveraging industry opportunities from the Western Sydney Airport and Badgerys Creek Aerotropolis	The proposal is consistent with this priority as it leverages on industry opportunities from the Western Sydney Airport and Badgerys Creek Aerotropolis. The proposal recognises the increased viability of employment land in Oran Park given its strategic location along The Northern Road.
<u>Planning Priority W10</u> Planning and managing industrial and urban services land	The proposal is consistent with this priority as it plans for employment uses which will be integrated with and will optimise future use of the potential North South rail link servicing Oran Park.
<u>Planning Priority W6</u> Creating and renewing great places and local centres, and respecting the District's heritage	The proposal is consistent with this priority as it supports Oran Park's role as a local centre by providing local employment opportunities and access to a range of services for the local community.

Attachment 6

Attachment – Assessment against Key Strategic Documents

Assessment against Community Strategic Plan

Community Strategic Plan Strategy	Officer Comment
Key Direction 1 Actively Managing Camden LGA's Growth	The proposal is consistent with this direction as it will facilitate additional local jobs and services for the growing resident population of Oran Park.
Key Direction 3 A Prosperous Economy	The proposal is consistent with this Direction as it will strengthen and support business growth and attract new industries which is especially needed in the northern part of the Camden LGA.
Key Direction 6 Strong Local Leadership	The proposal is consistent with this direction as it will facilitate industrial and urban services that are high quality, accessible and responsive to the local community's needs.

Attachment – Assessment against Key Strategic Documents

Assessment against Camden Local Strategic Planning Statement

Camden Local Strategic Planning Statement	
Local Priorities	Officer Comment
<u>Productivity Priority P1</u> Increasing the quantity and diversity of local jobs and improving access to jobs across the Western City District	The proposal is consistent with this local priority as the proposed Employment Area expansion will generate 3,584 total jobs, with the net increase being an additional 1,733 jobs in Oran Park.
<u>Productivity Priority P2</u> Creating a network of successful centres	The proposal is consistent with this local priority as it will not have adverse impacts on existing and planned centres in the Camden LGA.
<u>Productivity Priority P4</u> Ensuring a suitable supply of industrial and urban services land	The proposal is consistent with this local priority as it seeks to increase the supply of industrial and urban services land within the Camden LGA in response to growing demand.
<u>Productivity Priority P5</u> Leveraging industry opportunities created by Camden's proximity to the Western Sydney Airport and Aerotropolis	The proposal is consistent with this direction as it facilitate industrial and urban services in Oran Park which will leverage and have direct synergies with the future industrial and commercial hub of the Aerotropolis.

Annual Conference 2020

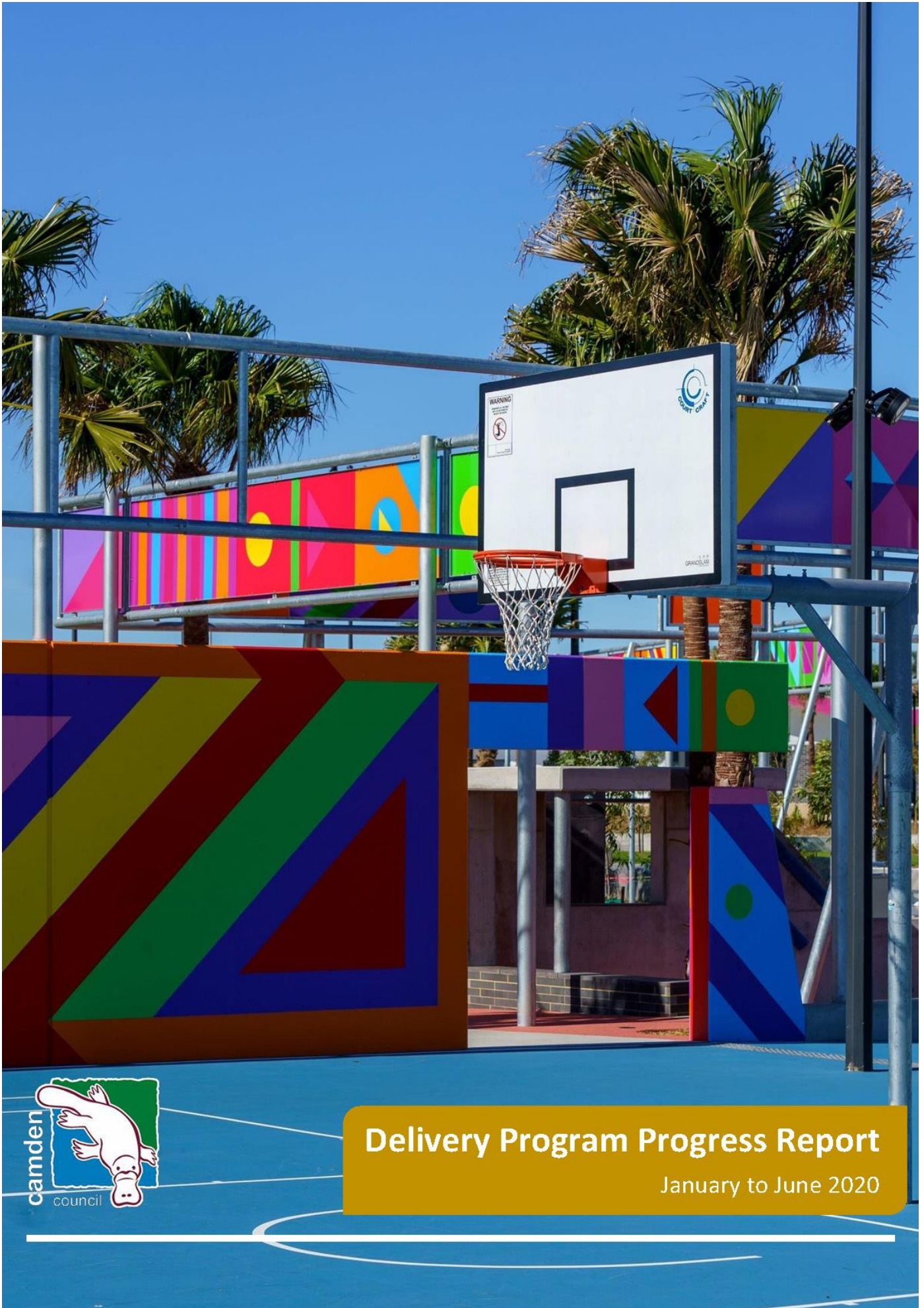
Monday 23rd November 2020

DRAFT PROGRAM (as of 25 August 2020)

MONDAY 23 NOVEMBER 2020 – Business Session	
8.45am	Demonstration of voting procedure and getting online.
9.00am – 9.05am	Conference introduction by Scott Phillips , Chief Executive, LGNSW
9.05am – 9.45am (15 min speech, 15 mins motions, 10 mins treasurer)	<p>President's Welcome: Address by Cr Linda Scott, President, LGNSW Acknowledgement of Country and Opening of conference</p> <p>Opening of the Federal Conference: adoption of standing orders, presentation of the auditor's report, general financial report and operating report to members, business session and consideration of motions.</p> <p>Opening of the State Conference including adoption of standing orders, presentation of the auditor's report, general financial report and operating report to members, business sessions, and consideration of motions. Chaired by Cr Linda Scott Treasurer's report, Cr Jerome Laxale, Treasurer, LGNSW Adoption of the Treasurer's report</p>
9.45am – 10.35am	<p>Meet the Politicians Forum with Masters of Ceremony: Cr Linda Scott, President and Scott Phillips, CE, LGNSW</p> <p>Presentation from Premier of NSW, The Hon Gladys Berejiklian (15 mins) (invited)</p> <p>Followed by the Politicians' panel & Q&A: What is the best way for State Government to partner with councils to assist in a locally led recovery?</p> <ul style="list-style-type: none"> • The Hon Shelley Hancock MP, Minister for Local Government (invited) • Ms Jodi McKay, Leader of the Opposition (invited) • Mr David Shoebridge, MLC (invited)

10.35am – 11.15am	<p>Presentation: Facilitated by Linda Scott Keynote address: Building resilience through partnership. Presented by Commissioner of Resilience NSW, Shane Fitzsimmons (sponsor) (10 mins)</p> <p>Panel: Recovery and Resilience & Q&A: local strategies and actions to prepare for, recover from and build resilience to disasters and crisis.</p> <ul style="list-style-type: none"> • Leanne Barnes OAM, GM, Bega Shire Council (invited) • Mick Willing, NSW Assistant Police Commissioner, Bushfire Recovery (invited) • Shane Fitzsimmons, Commissioner of Resilience NSW (invited)
11.15am – 11.30am	<ul style="list-style-type: none"> • Sponsor address • Presentation of the AR Bluett Awards by the Trustees
11.30am – 11.45am	LGNSW President and Elite Sponsor presents Outstanding Service Awards to elected members
12.00pm – 12.30pm	<p>General Manager's Virtual Lunch (sponsor) (exclusive to GMs)</p> <p>Delegates break for lunch</p>
12.30pm-4.30pm	Conference business if required

ORD05
Attachment 1



Delivery Program Progress Report

January to June 2020

Cover Page and Back Page:

Julia Reserve Youth Precinct, Oran Park

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Every reasonable effort has been made to ensure that this document is correct at the time of publishing.

Contents

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3. Key Directions and Performance Indicator Status	Page 8
4. Overall Progress Highlights	Page 23
5. Conclusion	Page 35

Please note the information contained within this Report relates to activities undertaken during the period January to June 2020

Acknowledgement to Country

Council acknowledges the Dharawal people as the traditional custodians of this land and pays our respect to their Elders both past and present and the Aboriginal Community.

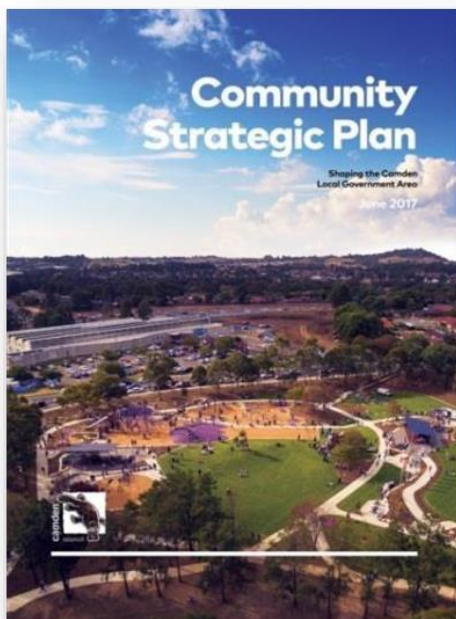
1. Council's Obligations

All councils across NSW commenced implementing the Integrated Planning and Reporting (IPR) framework from 2013. This framework allows councils to draw various plans together and plan holistically for the future.

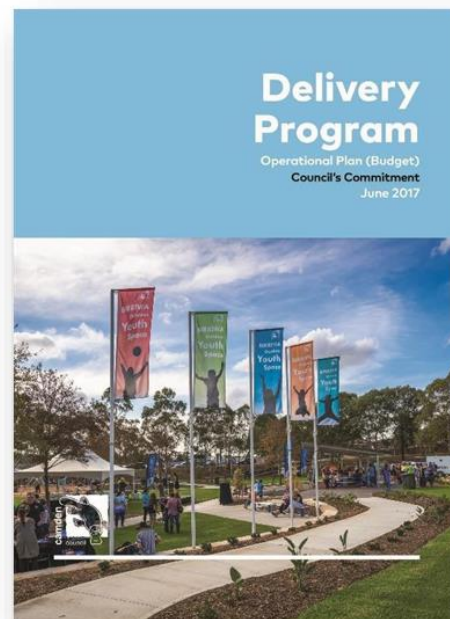
In accordance with the IPR framework, all councils are required to develop a Community Strategic Plan. The Community Strategic Plan provides a clear direction for the long-term community vision and is underpinned by the Delivery Program, Operational Plan (Budget) and Resourcing Strategy. Council reviews and develops the Community Strategic Plan, followed by preparation of Council's four-year Delivery Program, and determines appropriate methods to measure its progress.

The Delivery Program turns the strategies and objectives of the Community Strategic Plan into principal activities and identifies actions that Council commits to undertake over the next four years.

To help maintain focus for Council and provide feedback to the community, Council is required to prepare a six-monthly progress status on the adopted four-year Delivery Program. In accordance with the [IPR framework](#), Camden Council has prepared, and adopted in June 2017, the following documents:



[Community Strategic Plan](#)



[Delivery Program and Operational Plan \(Budget\)](#)

A suite of documents relating to the [IPR framework](#), are available on Council's website

www.camden.nsw.gov.au

Camden Council actively monitors its progress in achieving the objectives stated in the Community Strategic Plan through the implementation of the Delivery Program under six Key Directions.

These six Key Directions are aligned with the four elements of the quadruple bottom line - Social, Environmental, Economic and Civic Leadership. These six Key Directions are:

1. Actively Managing Camden LGA's Growth
2. Healthy Urban and Natural Environment
3. A Prosperous Economy
4. Effective and Sustainable Transport
5. An Enriched and Connected Community
6. Strong Local Leadership

Council has 30 Local Services to assist in addressing the Key Directions with specific principal activities against the Community Strategic Plan's strategies.

The COVID-19 pandemic has had a dramatic impact on activities and services Council would ordinarily provide to the community under normal circumstances.

Impacts can be seen in the progress status under Key Direction 2, 4 and 5, and the overall performance status for this reporting period - January to June 2020.





2. Executive Summary

This Delivery Program Progress Report January to June 2020, complies with the adopted four-year Delivery Program 2017/18 – 2020/21 for this Council term.

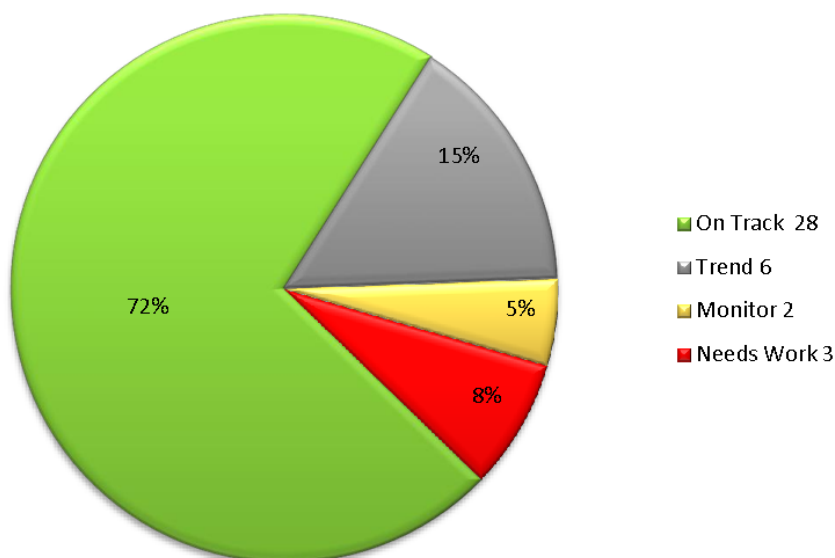
The report reflects Council’s six-month progress status against 39 performance indicators and provides information on how Council is progressing with its Delivery Program.

Each Key Direction has a set of individual performance indicators. Council utilises a rating scale to ensure consistency, accountability and transparency, when assessing the status of each performance indicator under the six Key Directions and associated symbol descriptors. The rating scale is:





Table 1

Rating Scale	Symbol	Description
• “On Track”		When the ‘actual’ is either equal, less or greater than the set target.
• “Monitoring”		Corporate variance of ±10% applies to the set target and is considered achievable, feasible and realistic for performance improvement, with the exception of Legislative requirements.
• “Needs Work”		When the ‘actual’ is either below or above the corporate variance
• “Trend”		Shows a pattern of change data over time where setting a target is not possible

Below is the six-monthly progress summary of Council’s overall performance for the months January to June 2020 reporting period against 39 Performance Indicators.



The table below provides a status update on the performance indicators under each Key Direction.

Key Direction	No. of Performance Indicators	Status			
		On Track 	Monitoring 	Needs Work 	Trend 
Actively Managing Camden LGA's Growth	4	4	0	0	0
Healthy Urban and Natural Environment	12	8	0	1	3
A Prosperous Economy	3	1	0	0	2
Effective and Sustainable Transport	5	3	1	1	0
An Enriched and Connected Community	8	6	1	1	0
Strong Local Leadership	7	6	0	0	1
TOTALS	39	28	2	3	6

In brief of the 39 Performance Indicators, 28 Indicators (72%) were assessed as 'On Track'; 3 Indicator (8%) as 'Needs Work'; 6 Indicators (15%) as 'Trend' and there were 2 Indicators (5%) as 'Monitoring'. In other words, 28+6=34 of the 39 performance indicators (87%) were assessed as 'On Track' or 'Trend' and are meeting the objectives set.

Section 3, 'Key Directions and Performance Indicator Status', provides progress comments and the status of each performance indicator along with an explanation of each Key Direction.

Section 4, 'Overall Progress Highlights' elaborates on a few of the projects Council has undertaken over the six-months (January to June 2020) that supports Council's commitment towards the Community Strategic Plan.

3. Key Directions and Performance Indicator Status

This section provides a narrative on outcomes that supports the Community Strategic Plan under each Key Direction and associated Objectives. It provides progress comments and the status of each performance indicator along with an explanation of each Key Direction.

The diagram below shows the six Key Directions.





Key Direction 1 – Actively Managing Camden LGA’s Growth

Effectively managing growth, determined under the State Government’s Metropolitan Strategy and Western City District Plan (former South West District Plan), will be an important focus area for Council and its various partners.

The community of the Camden LGA does not want to lose the character that they so highly value - its rural setting, country town feel, and the lifestyle associated with these attributes; at the same time, it must cater for well-managed development. Achieving a balance between large population increases and keeping the valued heritage/rural characteristics of the Camden LGA will be an ongoing challenge with significant new opportunities in terms of infrastructure, services, employment, housing choices and economic benefit.




The community would like to see public transport, roads, infrastructure, parks and recreational facilities, and the effective management of development as major priorities for the Camden LGA.

1.1 Urban development is managed effectively

Performance Indicator	Status	Progress Comment
Development assessments are completed in a timely fashion	✓	The median processing time (29 days) was within the target service level of 40 days. Council determined Development Applications to the value of \$478,714,168 during this six-month period.
Construction certificates are provided in a timely fashion	✓	Building Construction Certificate processing timeframes continue to exceed target service levels. This result reflects the strong performance.
Developers Contribution Plans are developed and monitored in a timely manner	✓	The first six-monthly review on the performance of Council's Contribution Plans has been completed and shows a satisfactory performance both financially and from a delivery perspective. A new policy to inform the administration of Council's Contributions Plans is currently being developed and will be in force first half of the 20/21 Financial Year.

1.2 Rural land is adequately administered

Performance Indicator	Status	Progress Comment
Rural Lands Strategy and associated Action Plan are delivered		<p>Initiatives undertaken to progress actions of the RLS include:</p> <ul style="list-style-type: none"> • adoption of the Camden Local Strategic Planning Statement in March 2020 that includes a priority to protect Camden's rural land (Local Priority S3); • the placement of Stage 1 Local Environment Plan (LEP) Review Planning Proposal on public exhibition that enables non-agricultural land uses (including tourism-related uses) only where they are compatible with the agricultural, environmental and conservation values of the land; • the commencement of the Camden Visual and Scenic Landscapes Study that may inform future amendments to the Camden LEP 2010 and Camden Development Control Plan 2019.

 On Track	4	 Needs Work	0	 Monitoring	0	 Trend	0
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Key Direction 2 – Healthy Urban and Natural Environments








The Camden LGA's natural and built environment are the "setting" for all aspects of life and are essential for sustaining the health, well-being and prosperity of people who live here.

The natural environment encompasses all living and non-living things, occurring both naturally, and as a result of human activities. The built or urban environment is the human-made surroundings that provide the physical setting for human activity and enables private, economic and community life to function effectively and healthy.



2.1 Caring for urban and natural environment including heritage sites

Performance Indicator	Status	Progress Comment
Waste diverted from landfill		With limited local end markets for the receipt of processed recyclables and the impending ban on exporting waste and recycling, it is becoming more difficult for processors to increase diversion rates. This is further impacted by limited options for the processing of red bin waste, resulting in the overall diversion rate remaining low now and into the foreseeable future.
Incidents of illegal dumping (observed by Council Officer)		A total of 172 incidents (29 per month) of illegal dumping were identified and investigated as a result of proactive patrol services by Council Officers.
Incidents of illegal dumping (advice from residents)		Council investigated a total of 316 incidents of illegal dumping (53 per month) as a result of resident reports.
Companion animals are appropriately identified		Data unavailable at the time of reporting. Councils are advised that the Companion Animals Register is continuing to undergo urgent maintenance and upgrading work and this website remains unavailable to councils. The OLG is planning a staged return of Register functionality and will continue to work with councils to minimise the impacts of the temporary shutdown of the Register.
Monitor water quality in rivers and waterways		During the reporting period, lakes and waterways monitoring was undertaken across all sites on a monthly basis. While seasonal changes influenced results, high nutrients, in particular nitrogen, were consistently high. Blue-green algae testing during

Performance Indicator	Status	Progress Comment
		the summer months were also indicating a high growth of algae in the lakes, in particular Harrington Park Lake.
Number of initiatives promoted to reduce air pollution		Council continues to promote better practices for wood heater operations to help reduce air pollution through local media, Council's website and educational programs. In January, air quality was significantly impacted by bushfire smoke. Information regarding the bushfires was shared on Council's social media.
Number of complaints received regarding noise concerns		There were a total 127 of customer requests received in relation to noise during the reporting period, which is a slight increase to the 124 received for the previous period. These complaints include noise from barking dogs, trail bikes, music and other sources. All complaints were investigated with appropriate compliance action taken where required.
Increase number of public amenities, recreation facilities, open space and park		Across the Camden Local Government Area there are 301 open spaces and reserves, 22 sports fields, 94 sites with play equipment, 18 sites with exercise equipment, 18 public amenities, 39 sports amenities and 2 swimming leisure centres.
Bushland under active management – number of volunteer bush care hours		Volunteers contributed 114 hours in the reporting period, with a total of 16 days. Due to COVID-19, Bushcare activities have not been held since March.
Maintain biodiversity across Camden LGA		During the reporting period, Council actively maintained 54ha of natural areas. This includes an additional area within the Camden Town Farm to restore native vegetation along the Nepean River.
Number of Sustainability community education programs conducted		During the reporting period, Council's scheduled sustainability education programs were moved to an online delivery mode due to COVID-19. This included Solar Webinars and Biodiversity Education materials and the Creature Features competition.
Number of community education		Council's Heritage Advisory Committee and Council officers continue to explore initiatives to promote heritage across the LGA.

ORD05

Attachment 1

Performance Indicator	Status	Progress Comment
activities conducted to promote heritage and historical sites across the Camden LGA		In addition, on-going advice was provided to applicants relating to works proposed to heritage items through Development Applications and Development Application exemption requests for minor works to a heritage item; responded to 30 Development Application Referrals, 6 Development Application exemption requests for minor works, and 16 customer enquiries

 On Track	8	 Needs Work	1	 Monitoring	0	 Trend	3
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Key Direction 3 – A Prosperous Economy



Prosperity means that people have enough – that they are satisfied with their standard of living and have a balance between their financial and social well-being. Financial well-being relies on access to education, employment, housing, and a strong and diverse local economy.

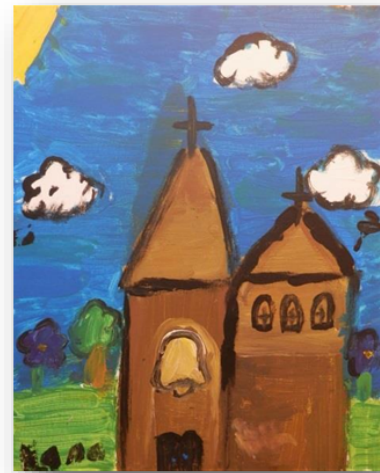
A strong local economy for the Camden LGA is characterised by vibrant towns and commercial centres, thriving local businesses, stable and diverse employment opportunities, skilled local residents, infrastructure that supports economic growth, and a thriving tourist/visitor market.

The development of a strong local economy is essentially about developing an environment that supports a diversity of business and industry to invest, establish, grow and be sustainable over time.

The economic development and prosperity of the Camden LGA is linked with the broader South West Sydney region and much of the focus for the Camden LGA into the future will continue to be working with relevant partners, as well as through the Camden Regional Economic Taskforce (CRET) and the Macarthur Regional Organisation of Councils (MACROC), on the development of a strong regional economy.


3.1 Tourism and economic development is supported

Performance Indicator	Status	Progress Comment
Utilisation of the regional tourism website is increasing		<p>The Visit Camden website has received 17,160 visits during this period.</p> <p>The Macarthur tourism website received 48,397 visits during this period.</p>
Monitor the visitation to the Tourism Information Centre		<p>The Visitor Information Centre received 22 phone calls (down 83%), 35 emails (down 40%) and 298 walk ins (down 69%). Numbers have decreased significantly due to the closure of the Centre in response to the COVID-19 pandemic from 20 March 2020 and is ongoing.</p> <p>There has been a significant decrease in visitation due to NSW Health Order restrictions and social distancing measures in place. Many popular events, including the Camden Show, that encourage visitation to the area have been cancelled due to the COVID-19 pandemic.</p>



ORD05

Attachment 1

Performance Indicator	Status	Progress Comment
Increase in number of registered businesses operating within the Camden LGA		There is a total of 9,210 active and registered for GST businesses in the Camden LGA, an increase of 5.2% from the previous figure of 8,752. (Source - ABR)

 On Track	1	 Needs Work	0	 Monitoring	0	 Trend	2
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Key Direction 4 – Effective and Sustainable Transport

Effective and sustainable transport underpins all aspects of an accessible and functioning place.

Transport impacts on the health of the natural environment as well as the health and well-being of people able to connect with their community and services. It impacts on the effectiveness and amenity of the urban environment, and on the viability and growth of the local and regional economy.

An accessible Camden LGA means that people are able to travel easily within their own local area and are well connected to the wider Macarthur and metropolitan regions.




Effective and sustainable transport for the Camden LGA would include:



- affordable, convenient and integrated public transport that is a viable choice over private vehicles
- infrastructure that enables and encourages healthy forms of transport such as walking and cycling
- safe and uncongested roads
- support structures that enable public and private transport systems to operate effectively, including interchanges, traffic management and parking.





4.1 Integrated and safe transport system

Performance Indicator	Status	Progress Comment
Successful completion of Black Spot funded projects		Works are completed at Barsden Street / Broughton Street. Work has been delayed at Holdsworth Drive due to a large adjacent development which impacted on Council's construction activities and would have required reworks if the infrastructure as planned were installed. An important "slow down" flashing warning sign was installed nonetheless which was a significant component of this project.
Number of transport options delivered through Pedestrian Access Mobility Plan (PAMP) and Bike Plan		During the six-month reporting period, under the PAMP and Bike Plan programs, footpaths were completed in Queen Street, Somerset Avenue, Camden Valley Way, Alisma Road, Munday Place, Adriana Street, Doncaster Avenue, Clinton Drive, Gardiner Street and Camden View Drive. Refuge islands have been completed on Richardson Road.

Performance Indicator	Status	Progress Comment
Number of Road Education Programs conducted		Over the past six-months Council has coordinated four road education programs working in partnership with local Police, RMS and community groups on the following road education programs: School Safety Program, Slow Down, Community Safety Plan and Traffic Offenders Program. Due to COVID-19 it has not been possible to run other programs.

4.2 Road infrastructure and transport connections are effectively established

Performance Indicator	Status	Progress Comment
Traffic Committee recommendations are actioned within the timeframe		During the reporting period 42 Traffic Committee recommendations were approved. These were all actioned within the set timeframes.
Road and traffic facility construction projects completed on-time and within budget.		<p>The Project Management Framework continues to improve outcomes with 90% of roads and traffic projects due for delivery within the reporting period delivered on time and budget.</p> <p>When considering these reporting areas individually, 91% of these projects were completed on time and 95% of projects completed on budget.</p>

 On Track	3	 Needs Work	1	 Monitoring	1	 Trend	0
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Key Direction 5 – An Enriched and Connected Community

An enriched and connected community involves arts and culture, community safety, healthy lifestyles and community health. In addition, the community is further enriched through learning, access to information, recreation and leisure to build social capital and cohesion.

These are all elements that lead to a community with high levels of well-being. This is usually characterised by connection, networks and support within the community; participation and ownership; equity and access; and democratic governance. Equity and access means that all people are able to access a variety of opportunities within a community, both social and economic, regardless of background, ability or circumstance.

Community well-being describes the state of satisfaction, contentment and fulfilment of needs experienced within a particular group of people.





5.1 Celebrating social diversity and cultural expression





Performance Indicator	Status	Progress Comment
Number of programs delivered to various community groups including identified target groups	✓	<p>A wide range of activities and events have been held. Many of these were moved from face to face provision to online due to COVID-19. These included Camden Interagency meetings, Cohesive Communities Advisory Group meetings, Youth Council Meetings, Youth Week program, Youth Survey, National Families Week program, Skateboarding Titles, Call Connect Program, MATEY Project and Julia Reserve opening.</p> <p>Cancelled or postponed activities included Seniors Program Committee meetings, Seniors Bus Trip, Seniors Autumn lunch and Access Community Advisory Group meetings.</p>
Number of arts/cultural events hosted across the Camden LGA	✓	<p>Cultural development for the period included 27 About Face Art Group workshops, Holiday workshops x 3, National Production x 1, Writers Programs x 2, Artist Networks x 1, Yesterday Stories Program and Business Week Program.</p> <p>Within the Alan Baker Art Gallery an additional 40 programs were delivered including children's workshops, history walks, life drawing classes and adult programs.</p>





ORD05

Attachment 1

Performance Indicator	Status	Progress Comment
Increase number of participants in active recreational activities using Camden Memorial Pool (seasonal)		A number of factors including bushfires, air quality and COVID-19, contributed to a lower total of 25,384 participants attending Camden Memorial compared to the same time last year. However, this total still exceeded the target of 20,000 participants attending for seasonal fitness and/or swimming activities.
Increase number of participants in active recreational activities using Mount Annan Leisure Centre (seasonal)		<p>During the reporting period, 164,696 participants participated in gym, fitness and/or swimming activities within the Mount Annan Leisure Centre.</p> <p>This is significantly less than the target the same time last year (approx. 107,225) due to a number of factors including bushfires, air quality, significant rainfall and COVID-19. It is noted that the Centre was closed from mid-March until the end of the reporting period due to COVID-19 restrictions.</p>
Ratio of returning clients to new clients for hiring Camden Civic Centre		1:10 ratio new to returning clients. 93% of clients returning to the venue.
Number of non-Council events hosted at the Camden Civic Centre		During the reporting period 203 bookings were received, this brings the yearly total to 935.

5.2 Opportunities for life-long learning

Performance Indicator	Status	Progress Comment
Number of programs conducted at local libraries		A total of 1,164 programs were conducted at Council libraries during this period including children's, youth, adult, community learning, local studies and exhibitions as well as HSC programs
Camden families have access to a quality Family Day Care service – hours of care provided		Utilisation rate has been slightly lower due to COVID-19. This impacted family's utilisation of care and the hours of care available in February to June 2020.

 On Track	6	 Needs Work	1	 Monitoring	1	 Trend	0
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Key Direction 6 – Strong Local Leadership

Strong local leadership means that the Camden LGA has strong organisations and individuals representing its interests, who are responsive to the community, and who are working together to achieve the community's vision for the future.





Strong local leadership will be needed from all levels of government, as well as the private sector, non-government organisations, business, industry groups, and community organisations. Developing leaders within the community will place the Camden LGA in good stead for the years to come.






Camden Council, as the level of government in closest contact with the local community, has a particular role in the planning, advocacy and delivery of good outcomes on behalf of the Camden community. This role is important as the Camden LGA faces massive urban and population growth, particularly in advocating for the delivery of major infrastructure provision, and in balancing the needs and desires of the current population with the pressures of growth.





Importantly, strong local leadership can influence the way that government engages with, and responds to, the local community needs and aspirations in decision making and planning process as well as delivering services.

6.1 Maintain strong partnerships and shared responsibilities with stakeholders

Performance Indicator	Status	Progress Comment
Number of Community Small Grant Agreements		This Grant round is annual and held in the first quarter each financial year. Grant round did not fall within the current time period.
Number of donations for charitable programs		A total of eight donations for Charitable Purposes were provided, five for local not-for-profit groups and three special achievers.
Number of annual subsidies extended to community organisations		This Grant round is annual, and all subsidies were distributed. Grant round did not fall within this time period.
Number of community sponsorship programs supported		This round of Community Sponsorship saw 13 organisations/events approved for funding (part or full funding). Six approved events were cancelled due to COVID-19. A total of 27 applications were received.

6.2 Community and stakeholders are kept informed

Performance Indicator	Status	Progress Comment
Maintain publication of regular Council information		Due to COVID-19 a higher volume of publications were produced during this period to ensure residents stayed informed to changes to Council services or delays. Additional brochures and documents were also distributed to ensure all necessary information was provided to the community. Regular publications including Let's Connect and Rates Notice were still delivered during this period, with the team disseminating to our residents through a number of channels and platforms.
Maintain Council's social media platform		Council continues to maintain a seven day a week social media coverage to report on weekend events, improve community engagement and ensure that customer enquiries are answered promptly. Over the past six-months, 499 Facebook posts were published with a total reach of more than 4.5 million, and with followers increasing to 26,421. Instagram has grown to 3,103 followers, 237 posts published during this reporting period.
Maintain Council's community engagement and communication practices		Council's community engagement increased drastically during this period due to the impact that COVID-19 has had on the organisations service delivery. While many services weren't able to operate or had to change how they were delivered it required a higher level of communication with the community. Social media posting and engagement increased, and the branch had to produce and distribute a high volume of signage across the LGA to support residents with the challenges of COVID-19 and isolation. Additionally, the Public Affairs team also continued to promote other Council services, projects and initiatives during this time through social media, website, local media, radio and metropolitan media.

 On Track	6	 Needs Work	0	 Monitoring	0	 Trend	1
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4. Overall Progress Highlights

This section elaborates on a few of the projects Council has undertaken over the six-months (January to June 2020), that supports Council's commitment towards the Community Strategic Plan.

Bushfire Support

Earlier this year many communities were ravaged by bushfires, during one of our country's most horrific natural disasters.

During the fire crisis, Council offered support to affected neighbouring Council areas by:

- providing Local Emergency Management support through the Green Wattle Creek Bushfire emergency
- setting up the Bicentennial Equestrian Park as an animal and people evacuation centre
- setting up Narellan Family, Children and Community Centre as an interim evacuation centre for affected people
- Council staff and equipment on standby to assist if required

As a result, Council was awarded the 2020 Supportive Employer Special Commendation Award from NSWRFES.

To further support those affected by the bushfires, Council donated:

- \$2,000 to each of the six local NSW Rural Fire Service brigades being Camden West, Catherine Field, Cobbitty, Menangle, Leppington and Narellan
- \$5,000 to the Sydney University Bushfire Emergency Veterinary Appeal to assist with injured animals from the fire
- \$5,000 to the Balmoral Recovery Centre through the Picton District Country Women's Association

Council also offered ongoing support and assistance through the recovery process to Wollondilly Shire Council and Wingecarribee Shire Council.



Julia Reserve Youth Precinct, Oran Park

Oran Park’s Julia Reserve Youth Precinct has been awarded for its architectural excellence at the Australian Institute of Landscape Architects Awards.

The youth facility is home to Camden’s second skate park and the 5.2-hectare park is a much-needed sport and recreation hub for young people in the area.

The new state-of-the-art youth facility and Community Centre, Julia Reserve Youth Precinct, includes:

- a multi-dimensional skate park
- parkour zone
- multi-purpose courts
- multi-purpose activity rooms
- community office spaces

In addition to the unique central artwork and parkour zone, the precinct also contains a community centre, basketball court, ping pong tables and a kick-about space.



BMX Facility

The \$1.6M first stage of the BMX Facility is now complete and will provide a venue and training facility for all levels of BMX racing.

Stage 1 consisted of:

- a five-metre start hill
- access ramps
- main racetrack
- timing and scoring system
- landscaping



Council has now secured an additional \$2.79M from the NSW Government's 2019/20 Greater Sydney Sports Facility Fund to cover Stage 2 construction.

Stage 2 will include:

- an eight-metre start hill,
- off-road spring area
- recreation jump park and pump park, shared car-parking
- additional landscaping



Floating Wetlands – Harrington Park Lake

Water quality is set to improve at Harrington Park Lake Wetlands after Council successfully secured funding of \$20,000 from the Australian Government's Communities Environment Program to install a floating wetland in an upstream water body.

The program supports small scale, community led environmental projects that address local priorities.

Harrington Park Lake unfortunately experiences blue-green algal blooms as a result of nutrients in the water from local run off.



Installing a floating wetland in a waterbody upstream of the Lake will help improve water quality by removing nutrients and sediments from stormwater entering Harrington Park Lake and ensure its long-term viability.

Harrington Forest – Cumberland Plain Woodland to be Restored

Harrington Forest's Cumberland Plain Woodland is set to be restored after Council successfully secured funding of \$20,000 from the Australian Government's Communities Environment Program 2019/2020.

The aim of the project is to restore, enhance and protect the critically endangered ecological community, Cumberland Plain Woodland within Harrington Forest.

This project will deliver both positive environmental and social outcomes with plans in place to host citizen science activities at Harrington Forest.

The works include:

- removal of woody weeds throughout the five-hectare project site
- citizen science activities with the Bushcare group to install ten nest boxes for native birds and mammals within the restored site

Restoration of the site will be completed through primary and secondary weed treatment throughout the site.



Spring Farm Community Centre

The construction of the new Spring Farm Community Centre is now complete and open for use.

This modern, functional community space is ideal for use by residents and a wide range of organisations and can be used to host meetings, playgroups, community activities, dance, fitness, art classes, birthdays, engagements, weddings and christenings.

The facility offers a large hall with a mirrored wall, seated capacity for 130 people, a PA system and large kitchen. A second smaller hall offers a generous capacity for 80 people seated, a kitchenette, access to a furniture storage area and projector.



MATEY Project Increasing Community Interaction

Council introduced the Matching Aged To Engaging Youngsters (MATEY) project as a pilot program over an eight-week period.

The MATEY pilot project connected aged care facilities and seniors group residents with local children from pre-schools and childcare centres through craft, stories, pictures, mail and online technology.

The program aimed to:

- reduce social isolation
- create connections across generations
- establish ongoing relationships between aged care and seniors' groups and childcare centres into the future

Eleven childcare centres and eleven seniors' groups from four aged care facilities signed on to take part in the initiative, which included introducing themselves through drawing a picture through to organising a face to face conversation via Zoom.

Council continues to promote inclusion and wellbeing that supports children and older people to remain engaged and active and build sustainable partnerships and initiatives throughout and beyond the MATEY pilot project.

Australia Day Celebrations

Australia Day provided an opportunity for the local community to get together.

A wide range of community and civic activities were held throughout the day, including a Citizenship Ceremony where 50 people became Australian citizens.

The event was also celebrated with thousands of people enjoying the Macarthur Lions street parade.

Taking pride of place at the front of the parade were Rural Fire Service volunteers and Fire and Rescue NSW personnel who were greeted with loud cheers and a round of applause.



Council also unveiled a new waste truck adorned with images of local firefighters, staff and volunteers to thank them for their service.



Australia Day Civic Awards

The Camden LGA's top volunteers, organisations and athletes were celebrated during this year's Australia Day Civic Awards and Citizenship Ceremony.

The Australia Day Civic Awards Ceremony recognised individuals and organisations that had made outstanding contributions to our community.

This year's Citizen of the Year was renowned local photographer Brett Atkins. Mr Atkins was honoured for his work within the community and for his volunteer work with Camden West and Menangle Park RFS brigades.

The full list of winners are:

- **Citizen of the Year**
Brett Atkins
- **Young Citizen of the Year**
Rebecca Halcomb
- **Arts and Cultural Award**
Gaylene Feld
- **Sports Achievement Award**
Lily Hreszczuk
- **Community Group of the Year**
Macarthur Lions Club
Turning Point

Community Infrastructure Linked

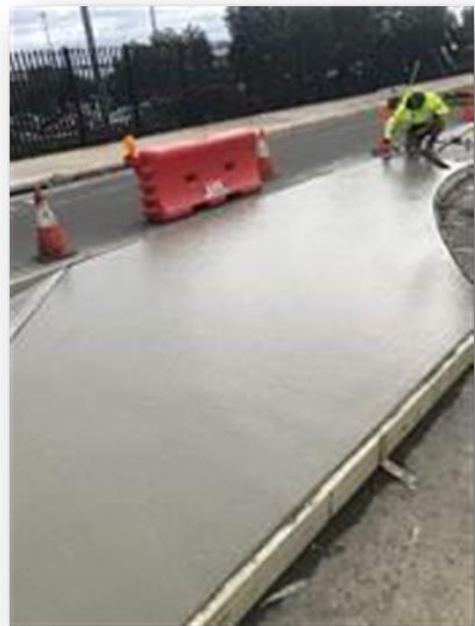
Work on completing missing infrastructure links across the Camden area is underway, with construction at one location and designs completed at another five.

The projects involve the construction of footpaths in missing sections as well as crossings and shared paths to further enhance community facilities.

They include:

- **Bates Reserve, Elderslie**
construction of a shared path including tree planting and turfing
- **Springs Road, Spring Farm**
construction of footpaths in missing sections, crossings, construction of bus shelters, street planting, turfing and roundabout landscaping

- **Lodges Road, Elderslie**
construction of a shared path, crossings in median islands, construction on bus shelters, street planting, turfing and footpaths in missing sections
- **Liz Kernohan Drive, Elderslie**
construction of footpath, shared path, street planting and turfing
- **Downes Reserve, Currans Hill**
construction of a shared path, tree planting, turfing and bollard placement
- **Throsby Reserve, Currans Hill**
construction of a footpath



Accessibility for All

Curry Reserve Water Play Space is the first fully accessible and accredited public toilet and adult change facility in the Macarthur region.

Camden is the fifth council in the State to receive a Changing Places Australia accreditation in a public space.

Its accreditation means the facility is certified to cater for users with high support needs and their carers, where additional space, assistance and specialised equipment are required to allow them to use amenities safely and comfortably.

The facility is wheelchair-accessible and includes a tracking adult hoist system, full-sized adjustable change table, new toilet and shower and change room amenities.

Camden is the only council in the Sydney region to offer free Master Lock Access Keys (MLAK) for this public facility to eligible residents. The MLAK system is an innovative one that enables people with disability to have 24/7 access to accessible public facilities. Council is also the only council in Australia to offer an innovative pin pad code system for its facility.



Narellan Urban Forest

Residents are now able to enjoy Narellan Urban Forest at all hours with Council completing upgrade works to the area.

The playground, located next to Narellan Library, had become a popular location for local youth leading to Council and local police working together to improve the environment.



Improvements works recently completed include:

- increased lighting
- channel works
- vegetation improvements
- installation of a footpath from Narellan Library carpark to the Library forecourt
- associated lighting and vegetation improvements around footpaths

The \$235,000 project was funded through the Australian Government's Safer Communities Fund.

Planning for Future Sport and Recreation

Council is committed to providing residents with the highest quality sport and recreation facilities that will cater for the growing needs of the community.

Residents will benefit from joint funding of \$15M from the Australian and NSW Government to go towards three sport and recreation facilities in the area.

The funding, coupled with more than an \$11M contribution from Council, will provide the Camden LGA with three state of the art sporting facilities.

The funding will be utilised towards the development for Stage 2 of the Narellan Sports Hub, Stage 1 of the Fergusons Land Premier Cricket Facility and Camden's first synthetic football field at Nott Oval, Narellan.

The three projects will include:

Stage 2 - Narellan Sports Hub

- construction of 14 additional netball courts
- a dedicated athletics facility (with an eight lane 400m synthetic track, two ten lane 100m sprint tracks, shot put circle, three high jumps, javelin, a hammer/discus cage and four long jump/triple jump pits)
- extended rugby league field
- 1.5km walking and cycling track floodlighting
- internal roadways and additional parking

Stage 1 - Fergusons Land Premier Cricket Facility

- a 6-turf wicket cricket oval
- five cricket training nets
- irrigation system
- amenities with changerooms
- storage facility
- car parking for 50 vehicles

Nott Oval Synthetic Football Field

- new synthetic football pitch
- upgrade to the existing parking facilities
- field marking to accommodate winter and summer competitions
- reserve bench booths
- landscaping
- fencing and footpath works

The funding is part of the Western Parkland City Liveability program and is a key commitment of the Western Sydney City Deal.

Resilience and Adaptability Demonstrated in Response to COVID-19 Pandemic

\$16.8 Million COVID-19 Community Support Package

In March 2020, all Australians were asked to quickly adapt the way they live and work on a scale not previously imagined.



Like other towns and cities around the world, our community has felt the effects of the coronavirus pandemic. The wellbeing of the community and staff were the highest priority.

To support and assist residents and local businesses in these unprecedented times, Council developed a support package, totaling \$16.8M. Council implemented this package to help as many people as possible.

Community Support Package (COVID-19)

The package has three stages to be rolled out over a six-month period. Stage One, commenced in April and included:

- The reimbursement of payments to Council and relaxation of cancellation policies for community groups and individuals using Council's facilities, spaces and services.
- A digital portal for support information and services for community and businesses adversely effected by COVID-19;
- Digital media campaigns to support local businesses and to boost positivity in the community;
- Council staff members volunteering at Lifeline;
- Digital and contactless home delivery of library programs and services for Camden residents who used to attend regular programming and vulnerable groups needing social engagement.

Stage Two commenced from 30 April 2020 and included:

- Rate relief for all rateable properties, with \$4M committed.
 - Provide a one-off \$100 rate rebate for the 2020/21 rating year for all rateable properties within the Camden area;
 - Waive the interest due on overdue rate notices for residents experiencing hardship for a period of up to 12 months;
 - Remove red tape and requirement for a hardship application.
- A \$350,000 commitment to freeze increases to domestic waste charges;
- Business grants, with \$350,000 committed thus far. These grants include:
 - Quick Response Grants of up to \$2,000 for businesses struggling to meet their short-term operational commitments;
 - Digital Adaptation and Innovation Grants of up to \$15,000 for small businesses who are trying to pivot their operations in response to COVID-19;
 - Community Response Grants of up to \$15,000 for organisations and not for profit organisations providing on-the-ground services to Camden residents;

- A \$320,000 commitment to a six-month waiver of some non-statutory fees for business and residents using Council services;
- Businesses, currently leasing Council facilities, with an annual income of up to \$50M, will receive a 50 per cent reduction in rent, with \$180,000 committed thus far;
- A commitment of an additional \$11.4M to accelerate the delivery of a number of infrastructure projects from the 2020/21 Capital Works Program, to be completed by 31 December 2020;
- Altering Council's procurement process to introduce a Local Preference Policy and a Local Vendor Panel;
- The digital delivery of Alan Baker Art Gallery programs and exhibition.

Stage Three, or the recovery phase of the package, will be tailored, as the social and economic impacts of COVID-19 on the Camden community becomes clearer. It will include a mix of major projects, events, grants and financial support for business and community groups.

(This information relates to activities undertaken during the period January to June 2020 - correct at time of writing)

Local Business Support Expanded

Local businesses and suppliers will now receive preference under Council's revised purchasing and procurement policy.

Business Support

The introduction of both the Local Supplier Marketplace in Vendor Panel and a local supplier initiative in Council's Purchasing and Procurement Policy will serve to support local business during and after the current economic climate created by COVID-19.

The policy includes:

- Vendor Panel (Local Supplier Marketplace) and Request for Quotes – A system capable of geo-locating local suppliers and their service/product categories;
- Tenders and Local Preference initiatives - providing preference to local suppliers by including a weighting benefit towards suppliers within the Camden LGA. The weighting would be included as part of the assessment criteria for all tenders and request for quotes over \$100,000; and
- Small Business Friendly Program (On Time Payment Policy) - applies to businesses with a turnover of less than \$2M. The business must be registered as a small business with Council, with the payment of invoices for small business within 20 days.

Council's COVID-19 Management and Recovery Plan

Work, health and safety will always be of the highest priority and Council incorporated new ways of working safely, to help prevent the spread of COVID-19 and remain COVIDsafe.

With change comes opportunity and for many Council services and functions a rethink was necessary in response to COVID-19.

The availability of council's services to the community was daily updated via its website and social media platforms. Also included was a range of information from Federal and State Government authorities and associated websites such as NSW Health.

Council established a Crisis Management Team and Incident Response Group to ensure that the wellbeing of all customers, community and staff was maintained, from both operational and administrative services.

**Crisis Management Team
COVID-19 and Incident
Response Group**

Despite changes to Council's service delivery, the successful implementation of the business continuity plans meant that essential services such as waste, customer relations, construction and maintenance services continued to run.

Council closely monitored information from NSW Health and the State Emergency Operations Centre and implemented measures to ensure that the essential services provided by Council continued to be provided while minimising risks associated with COVID-19.

Recovery Working Group

Council established a Recovery Working Group, with a strong focus on how Council will Re-think, Re-Cover, Re-Set as an organisation.

Council plans to build on what has been learnt to enhance the way Council operates and delivers services into the future by incorporating new ways of working safely to prevent the spread of COVID-19 and remain COVIDsafe.

Given Council's strong financial position going into COVID-19 the organisation remains committed to delivering its services as part of the broader range of community support and will continue to advocate and provide direct support where it is most needed.



5 Conclusion

The Camden Local Government Area (LGA) is the fastest growing area in Australia, and Council continues to adapt and evolve in response to the changing expectations that come with growing communities.

The four-year Delivery Program 2017/18 to 2020/21 is Council's commitment to the community. Council, via 30 local services, will continue to implement, innovate, collaborate and work hard to achieve in delivering the best outcomes and services for our community.

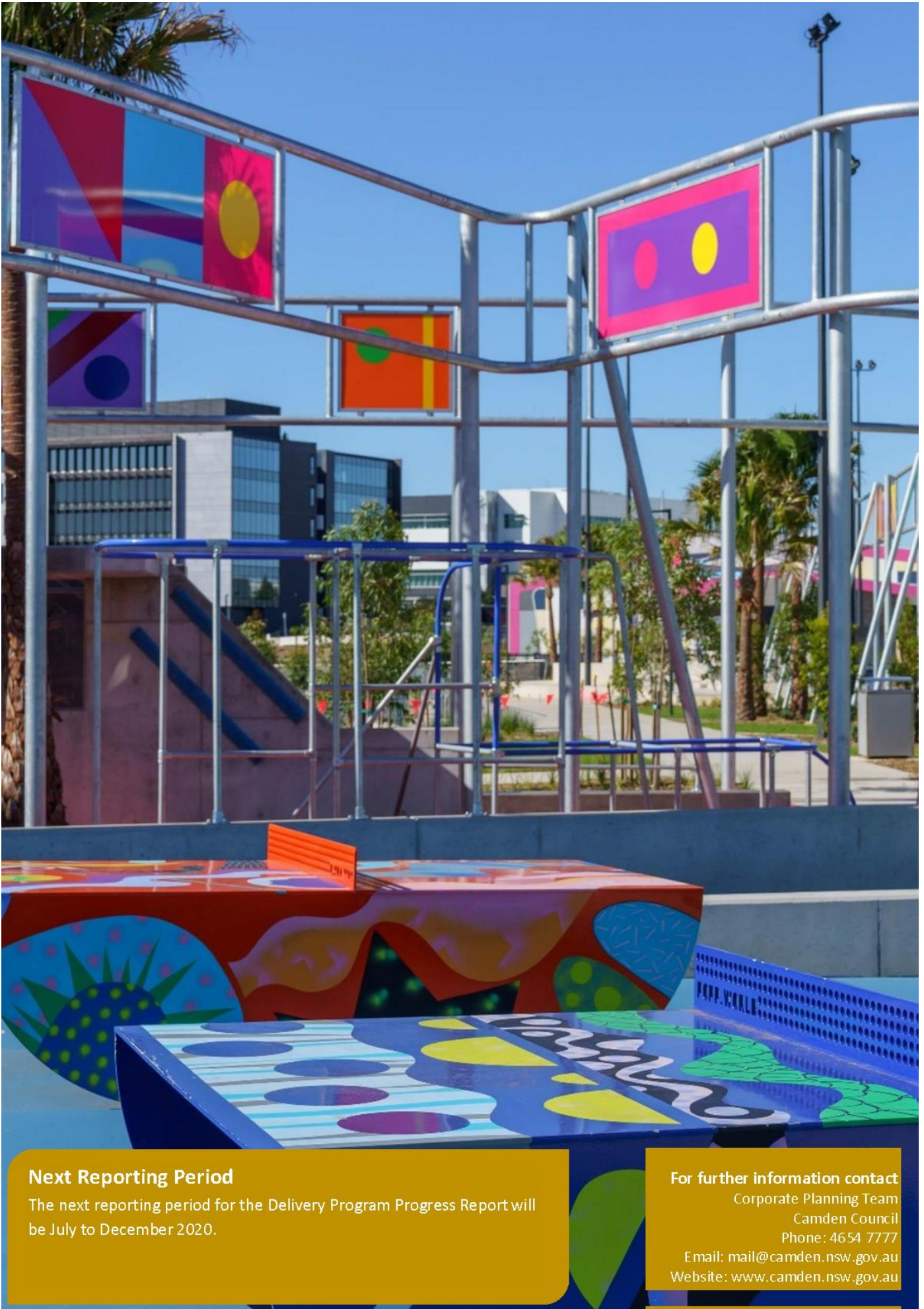
The next reporting period is July to December 2020.



Images

The photographs featured have been obtained from many sources including professional photographers and Council officers. Blue green algae image by Stephen Marc from Pixabay. The illustrations used in this document were provided by children from the Camden LGA as part of Council's Children's Week Art Project.

ORD05
Attachment 1



Next Reporting Period

The next reporting period for the Delivery Program Progress Report will be July to December 2020.

For further information contact

Corporate Planning Team
Camden Council
Phone: 4654 7777
Email: mail@camden.nsw.gov.au
Website: www.camden.nsw.gov.au



**Investment Summary Report
July 2020**



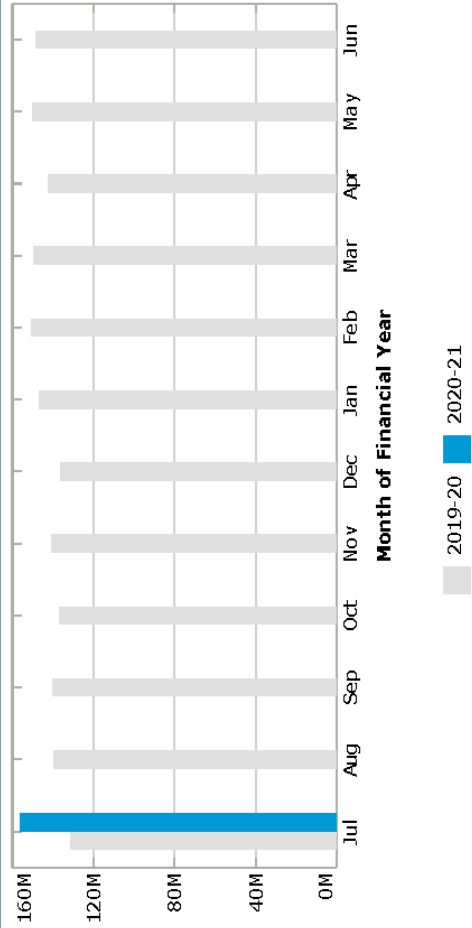
Camden Council
Executive Summary - July 2020

Sources of Funds

	Amount (\$)
Section 7.11 Developer Contributions	99,890,000
Restricted Grant Income	5,394,000
Externally Restricted Reserves	17,205,000
Internally Restricted Reserves	15,675,000
Camden Regional Economic Taskforce	101,000
General Fund	17,935,000
Total Funds Invested	156,200,000

Council's investment portfolio has increased by \$7.5m since the June reporting period. The increase primarily relates to additional developer contributions received during the month. The source of funds invested are indicative only, due to Council's annual financial reports still being finalised for 30 June 2020.

Investment Portfolio Balance



Investment Holdings

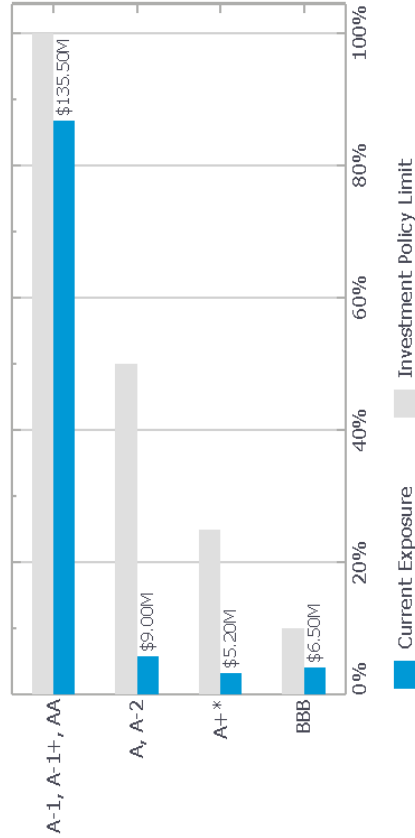
	Amount (\$)	Current Yield (%)
Cash	5,500,000.00	0.55
Term Deposit	150,700,000.00	1.69
	156,200,000.00	

Term to Maturity

	Amount (\$)	Policy Max
Between 0 and 1 Year	126,500,000	81% 100% ▼
Between 1 and 3 Years	18,000,000	12% 60% ▼
Between 3 and 5 Years	11,700,000	7% 30% ▼
	156,200,000	

Percentages in this report may not add up to 100% due to rounding

Total Credit Exposure



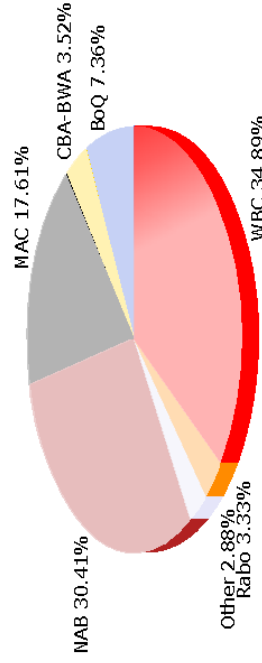
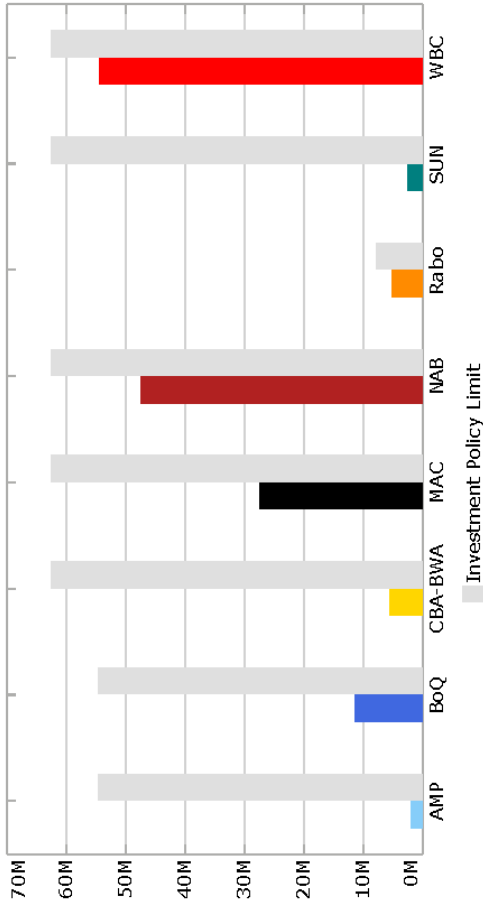
*Council's investment policy limits investments in foreign subsidiary banks which are monitored by APRA to a maximum 25% of the total portfolio



Individual Institutional Exposures

Parent Group	Exposure (\$M)	Credit Rating	Policy Limit	Actual	Capacity
AMP Bank	2.00M	A-2, BBB+	35.00%	1.28%	52.67M
Bank of Queensland	11.50M	A-2, BBB+	35.00%	7.36%	43.17M
Commonwealth Bank of Australia	5.50M	A-1+, AA-	40.00%	3.52%	56.98M
Macquarie Bank	27.50M	A-1, A+	40.00%	17.61%	34.98M
National Australia Bank	47.50M	A-1+, AA-	40.00%	30.41%	14.98M
Rabobank Aus (Foreign Sub)	5.20M	A-1*, A+*	5.00%	3.33%	2.61M
Suncorp Bank	2.50M	A-1, A+	40.00%	1.60%	59.98M
Westpac Group	54.50M	A-1+, AA-	40.00%	34.89%	7.98M
	156.20M				

Individual Institutional Exposure Charts



*Council's investment policy limits investments in foreign subsidiary banks which are monitored by APRA to a maximum 5% of the total portfolio in any single entity

Council's portfolio is within its individual institutional investment policy limits.
 Council's portfolio is within its term to maturity investment policy limits.
 Council's portfolio complies with the NSW Ministerial Investment Order.



Camden Council
Performance Summary - July 2020

Interest Summary

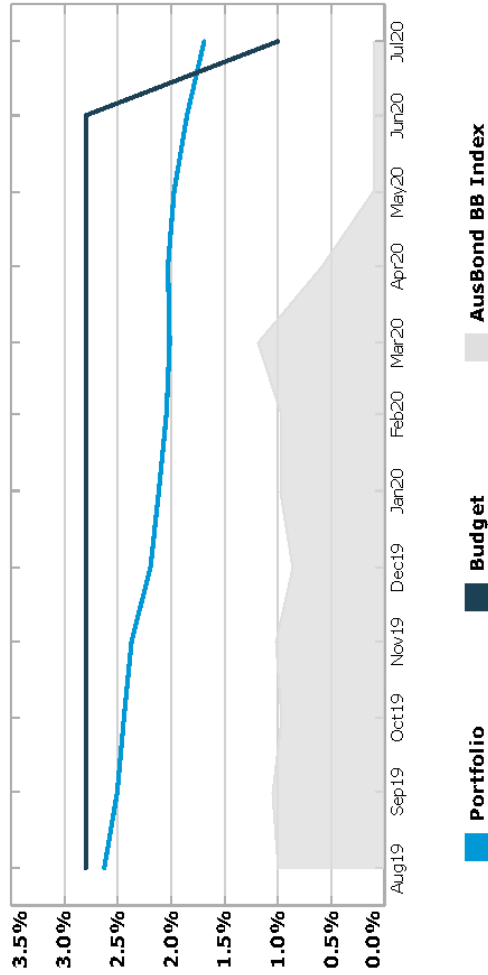
Interest Summary as of July 2020	
Number of Investments	98
Average Days to Maturity	269
Weighted Portfolio Yield	1.69%
CBA Call Account	0.55%
Highest Rate	3.80%
Lowest Rate	0.85%
Budget Rate	1.00%
Average BBSW (30 Day)	0.09%
Average BBSW (90 Day)	0.10%
Average BBSW (180 Day)	0.17%
Official Cash Rate	0.25%
AusBond Bank Bill Index	0.11%

Interest Received During the 2020/2021 Financial Year

	July	Cumulative	Original Budget	* Revised Budget
General Fund	\$54,757	\$54,757	\$600,000	\$600,000
Restricted	\$160,000	\$160,000	\$1,750,000	\$1,750,000
Total	\$214,757	\$214,757	\$2,350,000	\$2,350,000

*The Revised Budget is reviewed on a quarterly basis as part of the Budget Process

Investment Performance



Historical Performance Summary

	Portfolio	AusBond BB Index	Outperformance
Jul 2020	1.69%	0.11%	1.58%
Last 3 Months	1.84%	0.10%	1.74%
Last 6 Months	1.93%	0.50%	1.43%
Financial Year to Date	1.69%	0.11%	1.58%
Last 12 months	2.16%	0.73%	1.43%

Investment Performance

Council's portfolio returned 1.69%pa on a weighted average yield basis during July. This compares favourably with the Ausbond Bank Bill Index's return of 0.11% pa for the month.



Camden Council Investment Holdings Report - July 2020

Cash Accounts										
Amount (\$)	Current Yield	Institution	Credit Rating	Amount (\$)	Deal No.	Reference				
5,500,000.00	0.55%	Commonwealth Bank of Australia	A-1+	5,500,000.00	535548					
5,500,000.00				5,500,000.00						
Term Deposits										
Maturity Date	Amount (\$)	Rate	Institution	Credit Rating	Purchase Date	Amount plus Accrued Int (\$)	Deal No.	Accrued Interest (\$)	Coupon Frequency	Reference
3-Aug-20	1,500,000.00	1.66%	Westpac Group	A-1+	15-Jan-20	1,513,575.62	539171	13,575.62	At Maturity	3312
3-Aug-20	3,000,000.00	1.30%	Macquarie Bank	A-1	1-May-20	3,009,830.14	539726	9,830.14	At Maturity	3345
5-Aug-20	2,000,000.00	1.55%	National Australia Bank	A-1+	5-Feb-20	2,015,117.81	539429	15,117.81	At Maturity	3322
10-Aug-20	1,500,000.00	1.55%	National Australia Bank	A-1+	13-Feb-20	1,510,828.77	539455	10,828.77	At Maturity	3324
13-Aug-20	1,500,000.00	1.55%	National Australia Bank	A-1+	17-Feb-20	1,510,573.97	539460	10,573.97	At Maturity	3325
17-Aug-20	1,500,000.00	1.55%	National Australia Bank	A-1+	19-Feb-20	1,510,446.58	539465	10,446.58	At Maturity	3326
19-Aug-20	1,000,000.00	1.61%	National Australia Bank	A-1+	19-Aug-19	1,015,350.14	538397	15,350.14	At Maturity	3258
24-Aug-20	1,000,000.00	1.55%	National Australia Bank	A-1+	20-Feb-20	1,006,921.92	539476	6,921.92	At Maturity	3328
26-Aug-20	1,500,000.00	1.52%	National Australia Bank	A-1+	24-Feb-20	1,509,932.05	539481	9,932.05	At Maturity	3329
31-Aug-20	2,000,000.00	1.51%	National Australia Bank	A-1+	26-Feb-20	2,012,990.14	539487	12,990.14	At Maturity	3330
2-Sep-20	2,000,000.00	1.65%	Macquarie Bank	A-1	28-Feb-20	2,014,013.70	539495	14,013.70	At Maturity	3331
7-Sep-20	1,500,000.00	1.71%	Macquarie Bank	A-1	6-Mar-20	1,510,395.62	539542	10,395.62	At Maturity	3334
9-Sep-20	1,500,000.00	1.70%	Macquarie Bank	A-1	6-Mar-20	1,510,339.73	539549	10,339.73	At Maturity	3335
14-Sep-20	1,000,000.00	1.74%	Suncorp Bank	A-1	18-Mar-20	1,006,483.29	539584	6,483.29	At Maturity	3339
16-Sep-20	1,500,000.00	1.66%	Suncorp Bank	A-1	1-Apr-20	1,508,322.74	539608	8,322.74	At Maturity	3340
21-Sep-20	2,000,000.00	1.55%	Macquarie Bank	A-1	20-Feb-20	2,013,843.84	539477	13,843.84	At Maturity	3327
23-Sep-20	1,500,000.00	1.65%	Macquarie Bank	A-1	16-Apr-20	1,507,255.48	539625	7,255.48	At Maturity	3343
28-Sep-20	1,000,000.00	1.75%	Macquarie Bank	A-1	9-Apr-20	1,005,465.75	539620	5,465.75	At Maturity	3342
30-Sep-20	1,500,000.00	1.25%	Macquarie Bank	A-1	6-May-20	1,504,469.18	539733	4,469.18	At Maturity	3346
30-Sep-20	4,000,000.00	1.00%	Macquarie Bank	A-1	20-May-20	4,008,000.00	539811	8,000.00	At Maturity	3355
6-Oct-20	1,500,000.00	1.25%	Macquarie Bank	A-1	6-May-20	1,504,469.18	539734	4,469.18	At Maturity	3347

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Camden Council
Investment Holdings Report - July 2020

Term Deposits										
Maturity Date	Amount (\$)	Rate	Institution	Credit Rating	Purchase Date	Amount plus Accrued Int (\$)	Deal No.	Accrued Interest (\$)	Coupon Frequency	Reference
7-Oct-20	1,500,000.00	1.00%	National Australia Bank	A-1+	8-May-20	1,503,493.15	539739	3,493.15	At Maturity	3348
12-Oct-20	2,000,000.00	1.64%	Westpac Group	A-1+	26-Nov-19	2,022,375.89	538822	22,375.89	At Maturity	3293
12-Oct-20	1,000,000.00	1.00%	National Australia Bank	A-1+	8-May-20	1,002,328.77	539740	2,328.77	At Maturity	3349
14-Oct-20	1,500,000.00	1.00%	National Australia Bank	A-1+	11-May-20	1,503,369.86	539743	3,369.86	At Maturity	3350
19-Oct-20	1,500,000.00	1.02%	National Australia Bank	A-1+	15-May-20	1,503,269.59	539750	3,269.59	At Maturity	3351
21-Oct-20	1,500,000.00	0.95%	National Australia Bank	A-1+	18-May-20	1,502,928.08	539753	2,928.08	At Maturity	3352
26-Oct-20	1,500,000.00	0.96%	National Australia Bank	A-1+	18-May-20	1,502,958.90	539754	2,958.90	At Maturity	3353
28-Oct-20	1,000,000.00	1.00%	National Australia Bank	A-1+	19-May-20	1,002,027.40	539807	2,027.40	At Maturity	3354
2-Nov-20	1,500,000.00	1.00%	National Australia Bank	A-1+	22-May-20	1,502,917.81	539833	2,917.81	At Maturity	3356
2-Nov-20	3,000,000.00	0.86%	Westpac Group	A-1+	1-Jul-20	3,002,191.23	539982	2,191.23	At Maturity	3376
4-Nov-20	1,500,000.00	0.97%	National Australia Bank	A-1+	27-May-20	1,502,630.96	539844	2,630.96	At Maturity	3357
9-Nov-20	1,500,000.00	0.97%	National Australia Bank	A-1+	27-May-20	1,502,630.96	539845	2,630.96	At Maturity	3358
11-Nov-20	1,000,000.00	0.97%	National Australia Bank	A-1+	27-May-20	1,001,753.97	539846	1,753.97	At Maturity	3359
16-Nov-20	1,500,000.00	0.96%	National Australia Bank	A-1+	28-May-20	1,502,564.38	539851	2,564.38	At Maturity	3360
18-Nov-20	1,500,000.00	0.87%	Westpac Group	A-1+	3-Jun-20	1,502,109.45	539873	2,109.45	At Maturity	3361
23-Nov-20	1,500,000.00	0.87%	Westpac Group	A-1+	3-Jun-20	1,502,109.45	539874	2,109.45	At Maturity	3362
25-Nov-20	1,500,000.00	0.87%	Westpac Group	A-1+	4-Jun-20	1,502,073.70	539883	2,073.70	At Maturity	3363
30-Nov-20	2,000,000.00	1.60%	Macquarie Bank	A-1	28-Feb-20	2,013,589.04	539494	13,589.04	At Maturity	3332
30-Nov-20	1,000,000.00	1.40%	Westpac Group	A-1+	28-Apr-20	1,003,643.84	539669	3,643.84	At Maturity	3344
2-Dec-20	1,500,000.00	0.87%	Westpac Group	A-1+	4-Jun-20	1,502,073.70	539884	2,073.70	At Maturity	3364
7-Dec-20	1,000,000.00	0.87%	Westpac Group	A-1+	11-Jun-20	1,001,215.62	539918	1,215.62	At Maturity	3366
9-Dec-20	1,000,000.00	1.70%	Macquarie Bank	A-1	12-Mar-20	1,006,613.70	539569	6,613.70	At Maturity	3336
14-Dec-20	2,000,000.00	1.70%	Macquarie Bank	A-1	12-Mar-20	2,013,227.40	539570	13,227.40	At Maturity	3337
16-Dec-20	1,000,000.00	1.66%	Macquarie Bank	A-1	18-Mar-20	1,006,170.47	539583	6,170.47	At Maturity	3338
16-Dec-20	3,000,000.00	0.88%	Westpac Group	A-1+	16-Jun-20	3,003,327.12	539933	3,327.12	At Maturity	3367
21-Dec-20	500,000.00	0.90%	National Australia Bank	A-1+	17-Jun-20	500,554.79	539936	554.79	At Maturity	3368



Camden Council Investment Holdings Report - July 2020

Term Deposits										
Maturity Date	Amount (\$)	Rate	Institution	Credit Rating	Purchase Date	Amount plus Accrued Int (\$)	Deal No.	Accrued Interest (\$)	Coupon Frequency	Reference
21-Dec-20	2,000,000.00	0.87%	Westpac Group	A-1+	17-Jun-20	2,002,145.21	539937	2,145.21	At Maturity	3369
21-Dec-20	1,500,000.00	0.87%	Westpac Group	A-1+	29-Jun-20	1,501,179.86	539972	1,179.86	At Maturity	3371
23-Dec-20	2,000,000.00	0.87%	Westpac Group	A-1+	29-Jun-20	2,001,573.15	539973	1,573.15	At Maturity	3372
4-Jan-21	1,500,000.00	0.87%	Westpac Group	A-1+	29-Jun-20	1,501,179.86	539974	1,179.86	At Maturity	3373
6-Jan-21	2,000,000.00	0.87%	Westpac Group	A-1+	30-Jun-20	2,001,525.48	539979	1,525.48	At Maturity	3374
11-Jan-21	2,000,000.00	0.88%	Westpac Group	A-1+	1-Jul-20	2,001,494.79	539983	1,494.79	At Maturity	3377
13-Jan-21	1,000,000.00	0.88%	Westpac Group	A-1+	1-Jul-20	1,000,747.40	539984	747.40	At Maturity	3378
15-Jan-21	1,000,000.00	0.87%	Westpac Group	A-1+	15-Jul-20	1,000,405.21	540030	405.21	At Maturity	3384
18-Jan-21	2,000,000.00	2.15%	AMP Bank	A-2	15-Jul-19	2,002,002.74	538210	2,002.74	Annually	3247
18-Jan-21	1,500,000.00	0.88%	Westpac Group	A-1+	1-Jul-20	1,501,121.10	539985	1,121.10	At Maturity	3379
25-Jan-21	2,000,000.00	0.88%	Westpac Group	A-1+	2-Jul-20	2,001,446.58	539988	1,446.58	At Maturity	3380
27-Jan-21	2,000,000.00	1.52%	National Australia Bank	A-1+	24-Jan-20	2,015,824.66	539204	15,824.66	At Maturity	3316
28-Jan-21	3,000,000.00	0.86%	Westpac Group	A-1+	29-Jul-20	3,000,212.05	540068	212.05	At Maturity	3389
1-Feb-21	1,000,000.00	1.67%	Westpac Group	A-1+	7-Feb-20	1,008,052.60	539439	8,052.60	At Maturity	3323
3-Feb-21	1,000,000.00	0.88%	National Australia Bank	A-1+	8-Jul-20	1,000,578.63	540021	578.63	At Maturity	3382
8-Feb-21	2,000,000.00	0.85%	National Australia Bank	A-1+	15-Jul-20	2,000,791.78	540033	791.78	At Maturity	3385
10-Feb-21	1,500,000.00	0.87%	Westpac Group	A-1+	22-Jul-20	1,500,357.53	540044	357.53	At Maturity	3387
15-Feb-21	1,000,000.00	0.87%	Westpac Group	A-1+	29-Jul-20	1,000,071.51	540067	71.51	At Maturity	3388
17-Feb-21	2,000,000.00	0.87%	Westpac Group	A-1+	29-Jul-20	2,000,143.01	540069	143.01	At Maturity	3390
15-Mar-21	1,000,000.00	3.60%	Bank of Queensland	A-2	15-Mar-17	1,013,610.96	535484	13,610.96	Annually	2958
29-Mar-21	1,500,000.00	2.65%	Bank of Queensland	A-2	29-Mar-19	1,513,504.11	537758	13,504.11	Annually	3201
7-Apr-21	1,000,000.00	3.50%	Bank of Queensland	A-2	3-Apr-17	1,011,506.85	535486	11,506.85	Annually	2963
17-May-21	1,000,000.00	3.10%	Westpac Group	A-1+	16-May-17	1,006,369.86	535544	6,369.86	Quarterly	2975
9-Jun-21	1,500,000.00	1.00%	Westpac Group	A-1+	9-Jun-20	1,502,178.08	539907	2,178.08	At Maturity	3365
23-Jun-21	1,500,000.00	2.05%	Bank of Queensland	A-2	26-Jun-19	1,503,032.88	538081	3,032.88	Annually	3241
30-Jun-21	1,500,000.00	0.95%	National Australia Bank	A-1+	29-Jun-20	1,501,288.36	539969	1,288.36	At Maturity	3370

Page 7 of 8.

ORD06

Attachment 1



Camden Council

Investment Holdings Report - July 2020

Term Deposits										
Maturity Date	Amount (\$)	Rate	Institution	Credit Rating	Purchase Date	Amount plus Accrued Int (\$)	Deal No.	Accrued Interest (\$)	Coupon Frequency	Reference
30-Jun-21	1,500,000.00	0.95%	National Australia Bank	A-1+	1-Jul-20	1,501,210.27	539981	1,210.27	At Maturity	3375
7-Jul-21	1,500,000.00	0.95%	National Australia Bank	A-1+	6-Jul-20	1,501,015.07	540000	1,015.07	At Maturity	3381
12-Jul-21	1,500,000.00	0.93%	National Australia Bank	A-1+	13-Jul-20	1,500,726.16	540025	726.16	At Maturity	3383
19-Jul-21	1,000,000.00	0.95%	National Australia Bank	A-1+	20-Jul-20	1,000,312.33	540039	312.33	At Maturity	3386
3-Aug-21	1,000,000.00	1.90%	Bank of Queensland	BBB+	2-Aug-19	1,019,000.00	538357	19,000.00	Annually	3252
1-Feb-22	1,000,000.00	3.60%	Westpac Group	AA-	1-Feb-17	1,009,073.97	535538	9,073.97	Quarterly	2936
2-Feb-22	1,500,000.00	3.57%	Westpac Group	AA-	2-Feb-17	1,513,057.40	535539	13,057.40	Quarterly	2937
10-Feb-22	1,000,000.00	3.56%	Westpac Group	AA-	10-Feb-17	1,007,997.81	535540	7,997.81	Quarterly	2938
15-Feb-22	1,500,000.00	3.75%	Bank of Queensland	BBB+	15-Feb-17	1,525,582.19	535547	25,582.19	Annually	2939
22-Feb-22	2,000,000.00	3.64%	Westpac Group	AA-	22-Feb-17	2,014,161.10	535541	14,161.10	Quarterly	2940
28-Feb-22	1,000,000.00	3.75%	Bank of Queensland	BBB+	27-Feb-17	1,016,027.40	535483	16,027.40	Annually	2946
28-Feb-22	1,000,000.00	3.55%	Westpac Group	AA-	28-Feb-17	1,006,321.92	535542	6,321.92	Quarterly	2950
1-Mar-22	1,000,000.00	3.58%	Westpac Group	AA-	1-Mar-17	1,005,983.01	535543	5,983.01	Quarterly	2952
2-Mar-22	2,000,000.00	1.40%	Macquarie Bank	A+	3-Mar-20	2,011,583.56	539519	11,583.56	Annually	3333
3-Mar-22	1,000,000.00	3.60%	Westpac Group	AA-	3-Mar-17	1,005,819.18	535545	5,819.18	Quarterly	2954
9-Mar-22	1,000,000.00	3.61%	Westpac Group	AA-	9-Mar-17	1,005,241.92	535546	5,241.92	Quarterly	2956
23-Mar-22	500,000.00	3.80%	Bank of Queensland	BBB+	23-Mar-17	506,819.18	535485	6,819.18	Annually	2960
4-May-22	1,000,000.00	3.60%	Bank of Queensland	BBB+	8-May-17	1,008,383.56	535487	8,383.56	Annually	2971
27-Jun-22	1,500,000.00	2.10%	Bank of Queensland	BBB+	26-Jun-19	1,503,106.85	538082	3,106.85	Annually	3242
11-Dec-23	2,000,000.00	3.15%	National Australia Bank	AA-	19-Dec-18	2,039,008.22	537431	39,008.22	Annually	3070
18-Dec-23	4,500,000.00	3.15%	National Australia Bank	AA-	19-Dec-18	4,587,768.49	537432	87,768.49	Annually	3071
3-Jan-24	2,000,000.00	3.40%	Rabobank Australia	A+*	4-Jan-19	2,038,750.68	537443	38,750.68	Annually	3173
28-Feb-24	1,000,000.00	3.20%	Rabobank Australia	A+*	28-Feb-19	1,013,589.04	537586	13,589.04	Annually	3189
4-Mar-24	1,200,000.00	3.20%	Rabobank Australia	A+*	4-Mar-19	1,215,780.82	537601	15,780.82	Annually	3192
28-Mar-24	1,000,000.00	3.00%	Rabobank Australia	A+*	29-Mar-19	1,010,191.78	537765	10,191.78	Annually	3200
	150,700,000.00					151,481,631.04		781,631.04		



ORD09
Attachment 1

GANSW GREENER PLACES DESIGN GUIDE

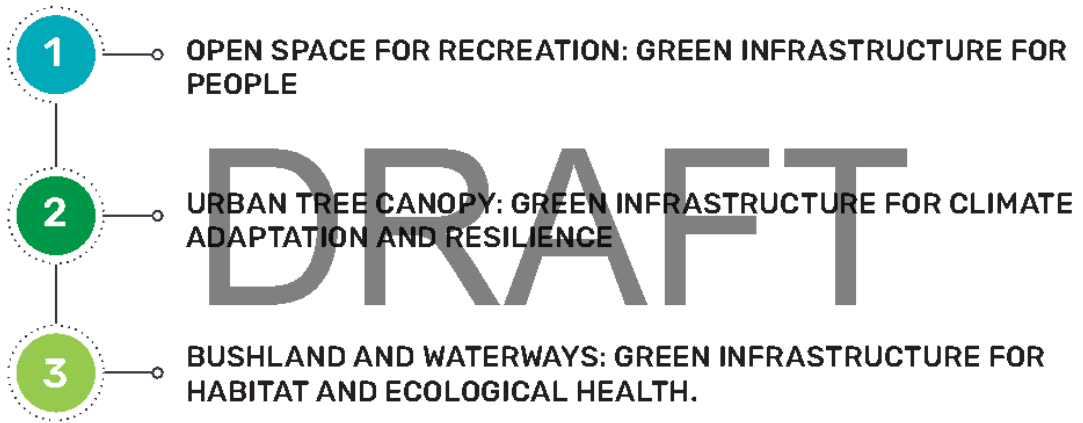
DRAFT CAMDEN COUNCIL SUBMISSION

DRAFT CAMDEN COUNCIL SUBMISSION TO GANSW GREENER PLACES DESIGN GUIDE

The Draft Greener Places Guide presents an opportunity for providing feedback to inform the basis for our open spaces and recreation requirements, provision of urban tree canopy coverage and to enhance our local habitat and ecological health. This process also enables Council to provide constructive comments based on our unique context of a rapid urban growth.

The Camden Local Government Area (LGA) is undergoing significant development and population growth, driven by the LGA’s strategic location in Sydney’s South West Growth Centre. This rapid growth is resulting in changes to the community profile, urbanisation of the rural landscape and places pressure on the existing network of public open space, which has already accommodated historical incremental population growth.

This submission responds to all three key components of the guide as outlined below:



Council’s draft submission to the Greener Places Design Guide identifies a number of opportunities and recommendations to be addressed as part of its finalisation to ensure that the anticipated strategic outcomes maximises the benefits for Camden.

1. OPEN SPACE FOR RECREATION: GREEN INFRASTRUCTURE FOR PEOPLE

KEY ISSUES FOR CAMDEN LGA	KEY POINTS
<p>1.1 Moving towards a performance-based approach to look beyond spatial standards or percentage of land area.</p>	<p>While Council supports the NSW GA efforts and timing to also review and modernise the current approaches we strongly believe that the industry accepted, commonly applied and well established 2.83ha/1000 people should not be excluded but included with a design metric to support its effective implementation.</p> <p>Rather than indicating we are moving towards a <i>performance-based approach beyond spatial standards</i>, the spatial standards should be strengthened with a complimentary performance-based design assessment.</p> <p>This is especially the case given the significant reduction in private open space in new housing estates, and as we move into more dense forms of development.</p> <p>The risk for Camden, and greenfield development generally, is that the assessment of new open spaces becomes subjective and opinion based, and a developer could utilise the design metrics in order to minimise the amount of open space that needs to be delivered.</p> <p>The additional risk for Camden, and greenfield development generally, is that the assessment of new open spaces may be reliant on detailed survey and other data requirements for council to have confidence in the planned spatial outcomes. The timing and cost implications for this would need to be considered and planned for within already constrained decision-making options for resourcing.</p>
<p>1.2 Distribution and definitions of accessibility and connectivity</p>	<p>The guide provides conflicting information regarding access to district parks – performance indicators on page 16 and 17 indicate distribution should be based on a 25min(2km) walking distance – Definition of district Open Space on page 17 indicates that distribution should be based on a 30-minute drive. These definitions need to be clarified.</p> <p>Play opportunities should be available for local residents in close proximity and be accessible to children (of suitable age) wanting to walk to the local park. 30-minute drive time would in large part be too far and be located in the next council area. Local and district facilities should be easily accessible through walking and cycling.</p>
<p>1.3 Hierarchy of open space provision</p>	<p>The Draft Greener Places Design Guide has identified a hierarchy that is different to hierarchy used by the Camden Council.</p> <p>Council recommends that our hierarchy used for social infrastructure planning and planning for open space is more understandable and more appropriate for local communities and would therefore suggest that consideration be given to amending the identified hierarchy.</p> <p>The s7.11 Contribution Planning framework also does not support inclusion of regional infrastructure to enable Councils to levy contributions from developers for the provision of public facilities and infrastructure required as a consequence of development.</p>

2. URBAN TREE CANOPY: GREEN INFRASTRUCTURE FOR CLIMATE ADAPTATION AND RESILIENCE

KEY ISSUES FOR CAMDEN LGA	KEY POINTS
<p>2.1 Urban tree canopy indicative targets</p>	<p>Council Officers support the overall focus of the Guide on economic, health and wellbeing and reduction in urban heat island benefits of urban tree canopy cover.</p> <p>Council officers support the proposed 40% target to address the growing heat island effect and the impacts of climate change on our region.</p> <p>However, achieving 40% canopy cover is ambitious given existing canopy levels within the LGA (was 17% in 2017). Significant resourcing will be required to implement enhanced planting programs, and additional resourcing will be required to manage and maintain the additional tree assets over time.</p> <p>Also, to achieve 40% canopy commensurate space is required for underground tree requirements. This includes deep soil pockets, adequate porous planting areas, minimising future conflicts with paths, kerbs, roads and other infrastructure. Where conflicts are unavoidable the intrinsic value of trees needs to be recognised against the cost of repairs to infrastructure.</p> <p>Consideration will also need to be given to likely clearing that will occur within the Growth Centre in land that has already been bio-certified and how and where we can incorporate additional canopy as these areas transition from rural / low density to residential settings.</p> <p>Development of an Urban Tree Canopy Plan is recognised as an organisational need and is included in the LSPS and the draft Sustainability Strategy, however delivering this within existing resources is challenging and will require a review of the DCP and the road design specifications to maintain verge standards that support the planting.</p>
<p>2.2 Analysis of urban tree canopy (UTC) cover in Sydney neighbourhoods</p>	<p>Examples used within the document are city-centric and none focus on what is happening in new residential release areas – probably because canopy cover in these areas is generally much lower than the recommended standards.</p> <p>It will be difficult to implement additional canopy in these relatively new areas due to the limited space provided for trees and conflicts with other infrastructure. Given that this type of development covers a significant portion of the Camden LGA it means that other areas will require significantly higher canopy cover to offset the low canopy in these areas in order to achieve 40% across the LGA.</p> <p>While provision of natural shade is highly recommended across all social infrastructure provision within the Camden LGA, achieving the target of the 40% UTC is challenging.</p> <p>Assistance from State Government needed to encourage and incentivise planting and retention of canopy on private land to assist with the burden on public land. A review of exempt and complying development requirements is needed including the current requirement for one tree to be planted.</p> <p>A review and audit of the efficiency of Bio certified lands to be undertaken to understand the impact of this legislation on the ability to achieve the 40% UTC target.</p> <p>Greener Places Design Guide should be consistent with performance criteria in Blue Green Grid and Western Sydney Street Design Guidelines.</p>

3. BUSHLAND AND WATERWAYS: GREEN INFRASTRUCTURE FOR HABITAT AND ECOLOGICAL HEALTH

KEY ISSUES FOR CAMDEN LGA	KEY POINTS
<p>3.1 Protect and conserve ecological values</p>	<p>It is encouraging to see the inclusion of bushland and waterways into the design guide and the recognition that these areas can have important benefits for the green grid and our urban environments.</p> <p>The recommendation for Council's to prepare Strategic Urban Biodiversity Frameworks to replace Biodiversity Strategies is noted. Council is currently in the process of reviewing and updating its Biodiversity Strategy. Council will incorporate the information provided in this guide to inform the strategy.</p> <p>The five identified strategies are broad and cover off on the key areas for consideration:</p> <ul style="list-style-type: none"> • Protect and conserve ecological values • Restore disturbed ecosystems to enhance ecological value and function • Create new ecosystems • Connect people to nature • Connect urban habitats <p>One of the actions from the Western Sydney City Deals is about restoring and protecting South Creek. There are opportunities for grant funding to do this under the City Deal.</p> <p>It needs to be clarified how the targets outlined in the guide will work with biodiversity certification in the growth areas, which allows provisions for the trees to be removed.</p>

DRAFT



ORD11

Attachment 2

PROJECT: DOWNES RESERVE - SHARED PATH
 CURSONS HILL
 SHEET TITLE: Concept Plan



Attachment 3
ORD11



PROJECT
LIZ KERNOHAN DRIVE - STREETScape
ELDERSLIE

SHEET TITLE
Concept Plan

camden council



ORD11

Attachment 4

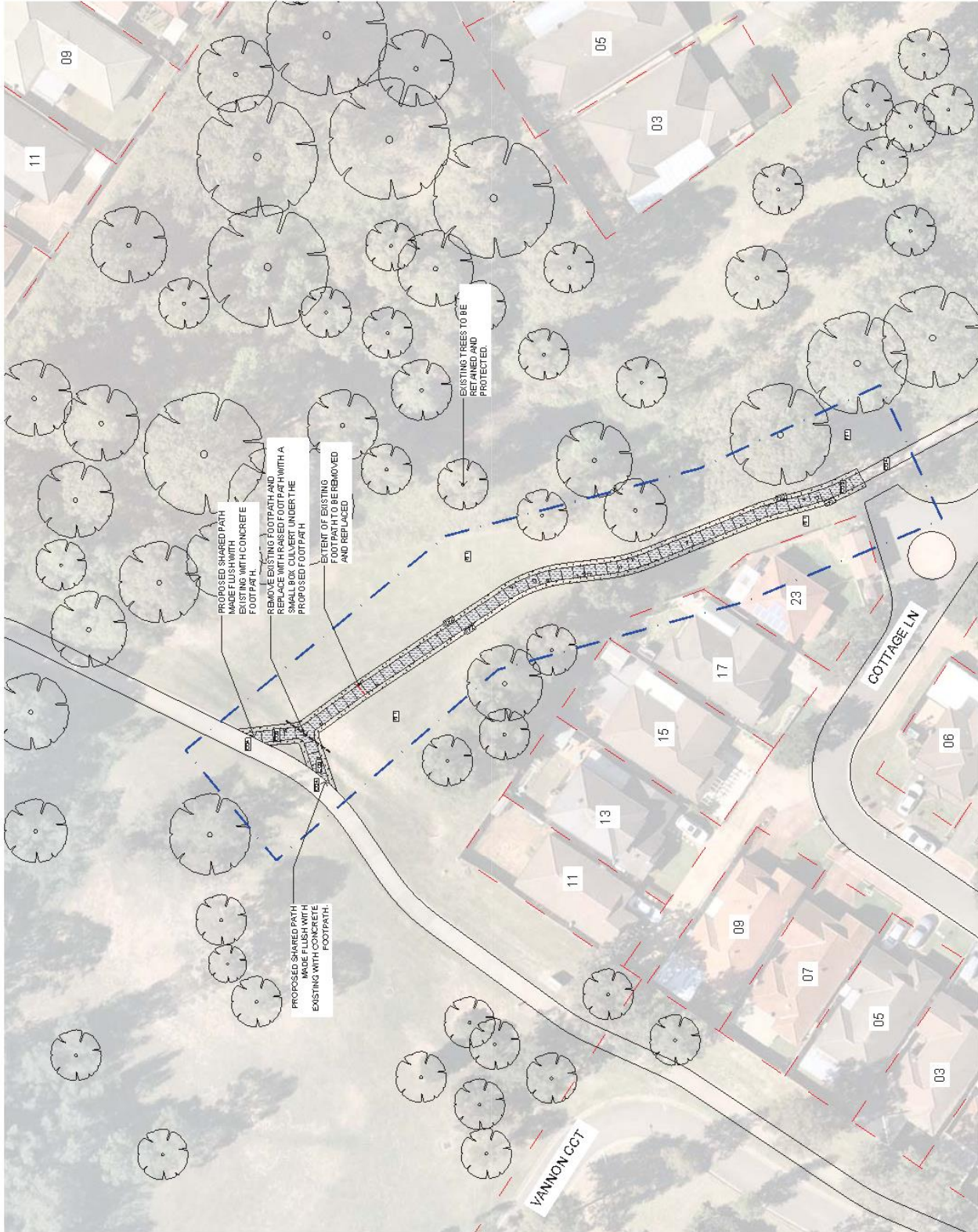
PROJECT
LODGES ROAD - STREETSCAPE
 48 - 167 LODGES ROAD, ELDERSLIE, NSW

SHEET TITLE
Concept Plan




PROJECT
SPRINGS ROAD - STREETSCAPE
SPRING FARM

SHEET TITLE
Concept Plan



PROJECT
THROSBY RESERVE - FOOTPATH
CURRANS HILL





Camden Council Minutes

Audit, Risk and Improvement Committee Meeting

20 May 2020

Please note due to COVID-19
restrictions this meeting was
held as a teleconference
4:30PM



AUDIT, RISK AND IMPROVEMENT COMMITTEE

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Voting members present:

Bruce Hanrahan	Independent Member (Chair)
Elizabeth Gavey	Independent Member
Cr Paul Farrow	Camden Council Councillor
Cr Michael Morrison	Camden Council Councillor

Attendees:

General Manager
Chief Financial Officer
Internal Audit Coordinator

Invitees:

Director Planning and Environment
Director Customer and Corporate Strategy
Director Sport, Community and Activation
Director Community Assets
Manager Corporate Performance and Customer Service (left at 4.55pm)
Caroline Karakatsanis The Audit Office of NSW (External Auditor)
Rochele Antolin The Audit Office of NSW (External Auditor)

Apologies:

John Gordon	Independent Member (Chair)
Manager Legal and Governance	
Risk Management Officer	

The Committee members approved that Mr Hanrahan would Chair the Committee meeting prior to commencement of the meeting as a result of the appointed Chair, Mr Gordon, being unable to attend. The meeting was conducted via video-conference.

BUS01 Apologies**RECOMMENDED**

That leave of absence be granted.

DECISION

Leave of absence granted to Mr John Gordon.

BUS02 Declaration of Interest**RECOMMENDED**

That the Audit, Risk and Improvement Committee declarations be noted.

DISCUSSION

Ms Gavey made the following declarations:

- Appointed as Independent Chair of Ryde Council's Audit, Risk and Improvement Committee
- Previously declared interest in Payreq has extended to advise that Payreq now has contracts with some Australian Local Councils.

DECISION

There Audit, Risk and Improvement Committee noted the declarations.

BUS03 Minutes to the 4 March 2020 Audit, Risk and Improvement Committee Meeting

RECOMMENDED

That the Audit, Risk and Improvement Committee:

- i. approve the minutes to the 4 March 2020 Audit, Risk and Improvement Committee meeting; and
- ii. note the status of actions included in the actions list.

DISCUSSION

The actions list was discussed and the Internal Audit Coordinator advising that some items had been deferred to a future meeting.

DECISION

The Audit, Risk and Improvement Committee:

- i. approved the minutes to the 4 March 2020 Audit, Risk and Improvement Committee meeting; and
- ii. noted the status of actions included in the actions list.

BUS04 Enterprise Risk Management - Verbal Update - COVID -19 Response

RECOMMENDED

That the Audit, Risk and Improvement Committee note the COVID-19 response update provided to the Committee.

DISCUSSION

The General Manager outlined the three pillars in place during the COVID-19 pandemic being:

1. Incident Response – Led by the Director Planning and Environment
2. Organisational Recovery – Led by the Director Community Assets
3. Community Support – Led by the Director Sport, Community and Activation

The Director Planning and Environment highlighted the Incident Response team's role and the support being provided to the recovery team.

The Director Community Assets outlined the organisational recovery process, including the stakeholders included in the Recovery Working Group. The outline included consideration of how Council will operate in the future and reviewing what has worked well during the COVID-19 working arrangements. The risk assessment process was highlighted and the stages of recovery and reset were outlined.

The Director Sport, Community and Activation outlined the three phases of the

community support package. Stage 1 was the Communications and information assistance phase. Stage 2 was a business support package including grants to small business and community organisations. Stage 3 has not yet commenced and includes the larger economic stimulus projects that Council can participate in or advocate for.

The Committee asked about Council's budget position in responding to the pandemic and Council's community response. The Chief Financial Officer confirmed that Council's budget position was sound.

DECISION

Following review and discussion, the Audit, Risk and Improvement Committee noted the COVID-19 response update.

The Manager Corporate Performance and Customer Service left after this item.

BUS05 External Audit Update

RECOMMENDED

That the Audit, Risk and Improvement Committee note the Engagement Plan for the external audit for the year ended 30 June 2020.

DISCUSSION

Ms Karakatsanis from the Audit Office discussed the external audit for the year ended 30 June 2020 and highlighted the key audit focus areas in the Engagement Plan. Key focus areas include the new accounting standards, Camden Council's growth risk, fair value of Property, Plant and Equipment and Investment Properties, developer contributions, capital projects and IT computer controls.

Ms Karakatsanis advised they will be assessing the impacts of COVID-19, including the financial impact, and changes to internal controls as a result of new working arrangements.

The Committee asked when the external audit will commence. Ms Karakatsanis advised planning and interim had already commenced and that the scheduled timetable as included in the Engagement Plan was currently on track.

The Committee asked if COVID-19 will impact completion by the agreed timetable. Ms Karakatsanis advised the Committee that the statutory deadline had been extended by 1 month however at this stage the external audit of Camden Council was on track for the original planned date.

The Audit Office Manager assigned to the audit, Ms Rochele Antolin, was introduced to the Committee. Ms Antolin thanked the finance team for assisting with the interim audit being conducted remotely.

The Committee asked if Council would have the capacity to complete the revaluations due this year in light of changed working arrangements due to COVID-19. The Chief Financial Officer advised that the condition assessments used for the revaluation were conducted early and as such the revaluations are on track.

DECISION

Following review and discussion, the Audit, Risk and Improvement Committee noted the Engagement Plan for the external audit for the year ended 30 June 2020.

BUS06 Audit Report Recommendations - Implementation Status Update - March 2020RECOMMENDED

That the Audit, Risk and Improvement Committee note the Audit Recommendations Implementation Status Update for 31 March 2020.

DISCUSSION

The Internal Audit Coordinator highlighted the positive statistics related to the completion of audit recommendations advising that 94 per cent of recommendations were complete or on track as at 31 March 2020.

The Internal Audit Coordinator also advised that a number of recommendations due in the next three months had been completed since the March reporting period.

A change to the agreed timetable for completion of audit recommendations in respect of one audit were discussed and the revised dates were provided.

The Committee requested that Management include a comment to say whether each recommendation is on track in future updates.

DECISION

Following review and discussion, the Audit, Risk and Improvement Committee:

- i. noted the Audit Recommendations Implementation Status Update for 31 March 2020
- ii. raised the following action:
 - a) requested management include in their status updates for each audit recommendation whether the audit recommendation is 'on-track' for completion by the due date.

BUS07 Update on the Policy and Procedure RegisterRECOMMENDED

That the Audit, Risk and Improvement Committee note the update on the Policy and Procedure Register.

DISCUSSION

The Director Customer and Corporate Strategy outlined the policies and procedures register provided and highlighted the improvement in the regular updating of policies and procedures.

DECISION

Following review and discussion, the Audit, Risk and Improvement Committee note the update on the Policy and Procedure Register.

BUS08 Internal Audit Plan Status Update**RECOMMENDED**

That the Audit, Risk and Improvement Committee note the internal audit plan status update.

DISCUSSION

The Internal Audit Coordinator advised the Committee that the Internal Audit Plan was behind as a result of putting the program on hold at the commencement of the COVID-19 pandemic and the resignation of Council's Internal Audit Analyst.

The Internal Audit Coordinator advised the status of each audit on the 2019/2020 program and advised that the program will be reviewed to consider any new/changed risks as a result of COVID-19. The review of the annual plan was not scheduled to be reported to the Committee until November 2020. However, it was planned to bring this forward to Council's August meeting if possible.

It was advised that the Councillor's expenses and facilities audit and RMS Drives audit would continue as they are policy or regulatory requirements. It was also advised the procurement audit would still be scheduled at the appropriate time to allow a review of procurement processes that may have changed during the COVID-19 pandemic. It was also advised that the procurement audit would likely be outsourced.

The Committee asked if internal audit had adequate resources without the Internal Audit Analyst position. It was advised that although the loss of this position does reduce the work, this has been appropriate with Management having higher priorities in moving to working from home arrangements and the new recovery efforts. It was also advised that Internal Audit had sufficient budget to allow for outsourcing of audits under the program in the short term.

DECISION

Following review and discussion, the Audit, Risk and Improvement Committee noted the internal audit plan status update.

BUS09 Update on Reports from Authoritative Bodies**RECOMMENDED**

That the Audit, Risk and Improvement Committee note the update on reports from authoritative bodies.

DISCUSSION

The Internal Audit Coordinator advised the Committee of the NSW Independent Commission against Corruption *Managing corrupt conduct during the COVID-19 outbreak* guidance paper and explained the messaging Council has provided in respect of the risks raised.

Council's Internal Audit Coordinator also outlined the key areas where findings were made across the Local Government Sector in the Auditor-General's *Report on Local Government 2019*. The Committee were advised a gap analysis was in the early stages and that if any significant gaps are identified, they will be reported back to the Committee with the appropriate action plan.

The Committee commented on the need to be aware of the increased risks outlined in the ICAC guidance paper.

The Committee also commented that there does appear to be a more standardised approach to financial reporting and external auditing since the Auditor-General took over the mandate with such low numbers of delayed/incomplete financial statements and audits across the sector.

Ms Karakatsanis thanked the Committee for the comments and advised it had always been the intention to streamline the approach. Ms Karakatsanis also advised the Committee it was great to see Council proactively undertaking the gap analysis against the report.

Ms Karakatsanis advised the Committee there were three performance audits in their final stages on procurement, credit cards, and developer contributions.

Ms Karakatsanis also advised that the additional topics to be reviewed for inclusion in the 2020 Auditor-General's report to Parliament were:

- the impact of COVID-19
- emergency responses to bushfires and floods
- developer contributions

The Committee noted the value in the gap analyses undertaken by Council and also mentioned that it was great to see that the only time Camden Council was mentioned in the report to Parliament was on one page with two ticks next to its name indicating that Council had met financial reporting requirements.

Ms Karakatsanis advised that the 2019 report was the first time they named individual Councils with issues and that this was likely to continue.

DECISION

Following review and discussion, the Audit, Risk and Improvement Committee noted the update on reports from authoritative bodies.

BUS10 Checklist of Compliance with Committee Requirements

RECOMMENDED

That the Audit, Risk and Improvement Committee note the checklist of compliance with the Audit, Risk and Improvement Committee Charter and TPP 15-03 for the 2020 calendar year.

DISCUSSION

The Internal Audit Coordinator advised the Committee the Checklist is presented as a standing agenda item to demonstrate compliance with Charter requirements. It was noted that a couple of items were deferred and the new timing for these items was included in the Checklist.

DECISION

Following review and discussion, the Audit, Risk and Improvement Committee noted the checklist of compliance with the Audit, Risk and Improvement Committee Charter and TPP 15-03 for the 2020 calendar year.

BUS11 General BusinessRECOMMENDED

That the Audit, Risk and Improvement Committee note any General Business items discussed.

DISCUSSION

The Internal Audit Coordinator informed the Committee that the Office of Local Government (OLG) advised the timetable for introduction of new requirements for Internal Audit and Risk Management had been extended as a result of the postponing of Council elections. The new requirements will not come into effect until 6 months after the election. The OLG did also advise that they are working towards a final draft on proposed requirements by the end of the 2020 calendar year.

DECISION

Following review and discussion, the Audit, Risk and Improvement Committee noted the General Business items discussed.

Meeting Closed: 5.24pm

Next Meeting:

The next meeting of the Audit, Risk and Improvement Committee is scheduled for Wednesday 5 August 2020 at the Oran Park Executive Board Room, commencing 5.00pm. Closer to the date a decision will be made in relation to the holding of this meeting on Council premises or remotely.

BACKGROUND INFORMATION

BINS4Blokes is a men's health campaign and initiative of the Continence Foundation of Australia, supported by a number of Australia's leading men's health and health professional organisations.

1.34 million Boys and Men across Australia experience incontinence.

The campaign encourages providers of toilets in public spaces to include disposal bins for incontinence products in male toilets.

These providers include local governments, business owners, shopping centres or sporting stadiums.

The campaign also encourages boys and men who experience incontinence to engage with the National Continence Helpline by calling 1800 33 00 66 or emailing helpline.continence.org.au.

The Continence Foundation Website has an extensive suite of material including Posters that can be printed and used in Bathrooms to alert men to the presence of a disposal bin

BINS4 Blokes

Raising awareness of male incontinence



1.34 MILLION

Australian boys and men experience incontinence.

If you have it, there are limited or no places to throw out incontinence pads and pants.

WE WANT TO:



Get Bins4blokes bins in public toilets Australia wide



Get males who are incontinent to seek help and advice



Help Australia find out how common incontinence is

LINKS TO INCONTINENCE



Prostate problems



Cancer



Higher Body Mass Index (BMI)



Diabetes and cardiovascular disease



Intellectual and physical disabilities



Older age

HOW WE'LL GET IT DONE:

537

local governments across Australia

19,000+

public toilets across Australia.

MEN'S HEALTH AND HEALTH PROFESSIONAL ORGANISATIONS INCLUDING:



HOW CAN YOU JOIN US?

Put your hand up by sending us an email to info@bins4blokes.org.au



Continenence Foundation of Australia

BINS 4 Blokes

Look for this symbol



These toilets have a disposal bin available for incontinence products for boys and men who need them.

[FACT] 1.34 million Australian boys and men experience incontinence



If you experience incontinence and want to learn more about how to manage it, contact the **National Continenence Helpline** on **1800 33 00 66** or at helpline@continenence.org.au.