



Camden Council

Attachments

Ordinary Council Meeting
13 December 2016

Camden Council
Administration Centre
70 Central Avenue
Oran Park



ORDINARY COUNCIL

ATTACHMENTS - ORDINARY COUNCIL

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ATTACHMENT 1 - RECOMMENDED CONDITIONS

1.0 - General Conditions of Consent

The following conditions of consent are general conditions applying to the development.

- (1) **Approved Plans and Documents** - Development shall be carried out in accordance with the following plans and documentation, and all recommendations made therein, except where amended by the conditions of this development consent:

Plan Reference/ Drawing No.	Name of Plan	Prepared by	Date
Job No 16037 Sheet 1/8	Ground Floor Plan	Design Niche	19 August 2016 Issue E
Sheet 2/8	First Floor Plan		
Sheet 3/8	North and East Elevations		
Sheet 4/8	South and West Elevations		
Sheet 5/8	Section A-A		
Sheet 6/8	Site Plan		

Document Title	Prepared by	Date
Statement Of Environmental Effects	Provincial Homes	Undated
Waste Management Plan		
BASIX Certificate No. 752294S	Provincial Homes	23 August 2016

- (2) **BASIX Certificate** - The applicant shall undertake the development strictly in accordance with the commitments listed in the approved BASIX certificate for the development to which this consent applies.
- (3) **Building Code of Australia** - All building work shall be carried out in accordance with the BCA. In this clause, a reference to the BCA is a reference to that Code as in force on the date the application for the relevant Construction Certificate is made.
- (4) **Home Building Act** - Pursuant to Section 80A(11) of the *EP&A Act 1979*, residential building work within the meaning of the *Home Building Act 1989* shall not be carried out unless the PCA for the development to which the work relates:
- a) in the case of work for which a principal contractor has been appointed:
 - i. has been informed in writing of the name and licence number of the principal contractor; and
 - ii. where required has provided an insurance certificate with the name of the insurer by which the work is insured under Part 6 of that Act.

This is the report submitted to the held on 22 November 2016

Page 1



- b) in the case of work to be carried out by an owner-builder;
 - i. has been informed in writing of the name of the owner-builder; and
 - ii. if the owner-builder is required to hold an owner-builder permit under that Act; has provided a copy of the owner builder permit.

(5) **Shoring and Adequacy of Adjoining Property Works** - If the approved development involves an excavation that extends below the level of the base of the footings of a building, structure or work on adjoining land, the person having the benefit of the consent shall, at the person's own expense:

- a) protect and support the adjoining building, structure or work from possible damage from the excavation; and
- b) where necessary, underpin the building, structure or work to prevent any such damage.

This condition does not apply if the person having the benefit of the consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying

A copy of the written consent must be provided to the PCA prior to the excavation commencing.

2.0 – Prior to Issue of a Construction Certificate

The following conditions of consent shall be complied with prior to the issue of a Construction Certificate.

- (1) **Structural Engineer's Details** - The piers/slabs/footings/structural elements shall be designed and certified by a suitably qualified structural engineer and shall take into consideration the recommendations of any geotechnical report applicable to the site. A statement to that effect shall be provided to the Certifying Authority.
- (2) **Building Platform** - This consent restricts excavation or fill for the purposes of creating a building platform. The building platform shall not exceed 2.0m from the external walls of the building. Where the external walls are within 2.0m of any property boundary, no parallel fill is permitted and a deepened edge beam to natural ground level shall be used. Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.
- (3) **Driveway Gradients and Design** - For all driveways that relate to development for the purposes of a dwelling house, the driveway gradient and design shall comply with AS 2890.1-2004 'Off street car parking' and:
 - a) the driveway shall comply with Council's Access Driveway Specifications; <http://www.camden.nsw.gov.au/assets/pdf/Development/Residential-Vehicle-Crossing-Specification.pdf>
 - b) the driveway shall be at least 1m from any street tree, stormwater pit or service infrastructure;



-
- c) the level for the driveway across the footpath area shall achieve a gradient of 4%; and
 - d) a Driveway Crossing Approval (PRA) must be obtained prior to the commencement of any works.

Details demonstrating compliance shall be provided to the Certifying Authority prior to issue of a Construction Certificate.

- (4) **Salinity (Dwellings & Outbuildings)** - The proposed dwelling, landscaping and associated works for the development shall comply with the requirements of the salinity management plan titled "Report on Salinity Investigation and management Plan, Proposed Residential Subdivision Tranche 21 Oran Park" Prepared by Douglas partners, Project 34272.06 dated November 2013.

Alternatively, a site specific analysis including recommendations, prepared by a suitably qualified consultant and referencing Australian Standard AS2870-2011 and Council's Building in a Saline Prone Environment Policy shall be submitted to the Certifying Authority.

Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.

- (5) **Long Service Levy** - In accordance with Section 34 of the *Building and Construction Industry Long Service Payments Act 1986*, the applicant shall pay a long service levy at the prescribed rate to either the Long Service Payments Corporation or Council for any work that cost \$25,000 or more.
- (6) **Obscure Glazing** – The upper floor bathroom window on the western elevation (shown as W19) shall consist of obscure glazing.

Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.

3.0 - Prior to Commencement of Works

The following conditions of consent shall be complied with prior to any works commencing on the development site.

- (1) **Notice of PCA Appointment** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with Clause 103 of the EP&A Regulation 2000. The notice shall include:
 - a) a description of the work to be carried out;
 - b) the address of the land on which the work is to be carried out;
 - c) the registered number and date of issue of the relevant development consent;
 - d) the name and address of the PCA, and of the person by whom the PCA was appointed;



-
- e) if the PCA is an accredited certifier, his, her or its accreditation number, and a statement signed by the accredited certifier consenting to being appointed as PCA; and
 - f) a telephone number on which the PCA may be contacted for business purposes
- (2) **Notice Commencement of Work** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with Clause 104 of the EP&A Regulation 2000. The notice shall include:
- a) the name and address of the person by whom the notice is being given;
 - b) a description of the work to be carried out;
 - c) the address of the land on which the work is to be carried out;
 - d) the registered number and date of issue of the relevant development consent and construction certificate;
 - e) a statement signed by or on behalf of the PCA to the effect that all conditions of the consent that are required to be satisfied prior to the work commencing have been satisfied; and
 - f) the date on which the work is intended to commence.
- (3) **Construction Certificate Required** - In accordance with the provisions of Section 81A of the *EP&A Act 1979*, construction or subdivision works approved by this consent shall not commence until the following has been satisfied:
- a) a Construction Certificate has been issued by a Certifying Authority;
 - b) a Principal Certifying Authority (PCA) has been appointed by the person having benefit of the development consent in accordance with Section 109E of the *EP&A Act 1979*;
 - c) if Council is not the PCA, Council is notified of the appointed PCA at least two (2) days before building work commences;
 - d) the person having benefit of the development consent notifies Council of the intention to commence building work at least two (2) days before building work commences; and
- the PCA is notified in writing of the name and contractor licence number of the owner/builder intending to carry out the approved works.
- (4) **Sign of PCA and Contact Details** - A sign shall be erected in a prominent position on the site stating the following:
- a) that unauthorised entry to the work site is prohibited;



- b) the name of the principal contractor (or person in charge of the site) and a telephone number on which that person can be contacted at any time for business purposes and outside working hours; and
- c) the name, address and telephone number of the PCA.

The sign shall be maintained while the work is being carried out, and shall be removed upon the completion of works.

- (5) **Sydney Water Approval** - The approved development plans shall be approved by Sydney Water.
- (6) **Soil Erosion and Sediment Control** - Soil erosion and sediment controls must be implemented prior to works commencing on the site in accordance with 'Managing Urban Stormwater – Soils and Construction ('the blue book') and any Sediment and Erosion plans approved with this development consent.

Soil erosion and sediment control measures shall be maintained during construction works and shall only be removed upon completion of the project when all landscaping and disturbed surfaces have been stabilised (for example, with site turfing, paving or re-vegetation).

4.0 - During Works

The following conditions of consent shall be complied with during the construction phase of the development.

- (1) **Construction Hours** - All work (including delivery of materials) shall be restricted to the hours of 7.00am to 5.00pm Monday to Saturday inclusive. Work is not to be carried out on Sundays or Public Holidays.
- (2) **Compliance with BCA** - All building work shall be carried out in accordance with the requirements of the BCA.
- (3) **Retaining Walls** - The following restrictions apply to any retaining wall erected within the allotment boundaries:
 - a) retaining walls shall be constructed a minimum of 300mm from any property boundary to ensure all associated drainage and backfill remain wholly within the subject property;
 - b) adequate provisions shall be made for surface and subsurface drainage of retaining walls and all water collected shall be diverted to, and connected to, a stormwater disposal system within the property boundaries;
 - c) retaining walls shall not be erected within drainage easements; and
 - d) retaining walls shall not be erected in any other easement present on the land without the approval of the relevant authority benefited.
- (4) **Stormwater – Collection and Discharge Requirements** - The roof of the subject building(s) shall be provided with guttering and down pipes and all drainage lines,



including stormwater drainage lines from other areas and overflows from rainwater tanks, conveyed to the drainage easement.

Connection to the drainage easement or kerb shall only occur at the designated connection point for the allotment. New connections that require the rectification of an easement pipe or kerb shall only occur with the prior approval of Camden Council.

All roofwater shall be connected to the approved roofwater disposal system immediately after the roofing material has been fixed to the framing members. The PCA shall not permit construction works beyond the frame inspection stage until this work has been carried out.

- (5) **Works by Owner** - Where a portion of the building works do not form part of a building contract with the principal contractor (builder) and are required to be completed by the owner, such works shall be scheduled by the owner so that all works coincide with the completion of the main building being erected by the principal contractor.
- (6) **Survey Report** - The building shall be set out by a registered land surveyor. A peg out survey detailing the siting of the building in accordance with the approved plans shall be provided to the PCA prior to the pouring of concrete.
- (7) **Easements** - No changes to site levels, or any form of construction shall occur within any easements that may be located on the allotment.

5.0 - Prior to Issue of an Occupation Certificate

The following conditions of consent shall be complied with prior to the issue of an Occupation Certificate.

- (1) **Occupation Certificate Required**- An Occupation Certificate shall be obtained prior to any use or occupation of the development.
- (2) **Survey Certificate** - A registered surveyor shall prepare a Survey Certificate to certify that the location of the building in relation to the allotment boundaries complies with the approved plans or as specified by this consent. The Survey Certificate shall be provided to the satisfaction of the PCA.
- (3) **Driveway Crossing Construction** – The driveway crossing shall be constructed in accordance with this consent and the Driveway Crossing Approval (PRA) prior to use or occupation of the development.
- (4) **Waste Management Plan** - The PCA shall ensure that all works have been completed in accordance with the approved waste management plan referred to in this development consent.
- (5) **Street Trees** - Prior to the issue of any Occupation Certificate if any of the street trees have been damaged or removed they shall be replaced with trees of the same size and species.

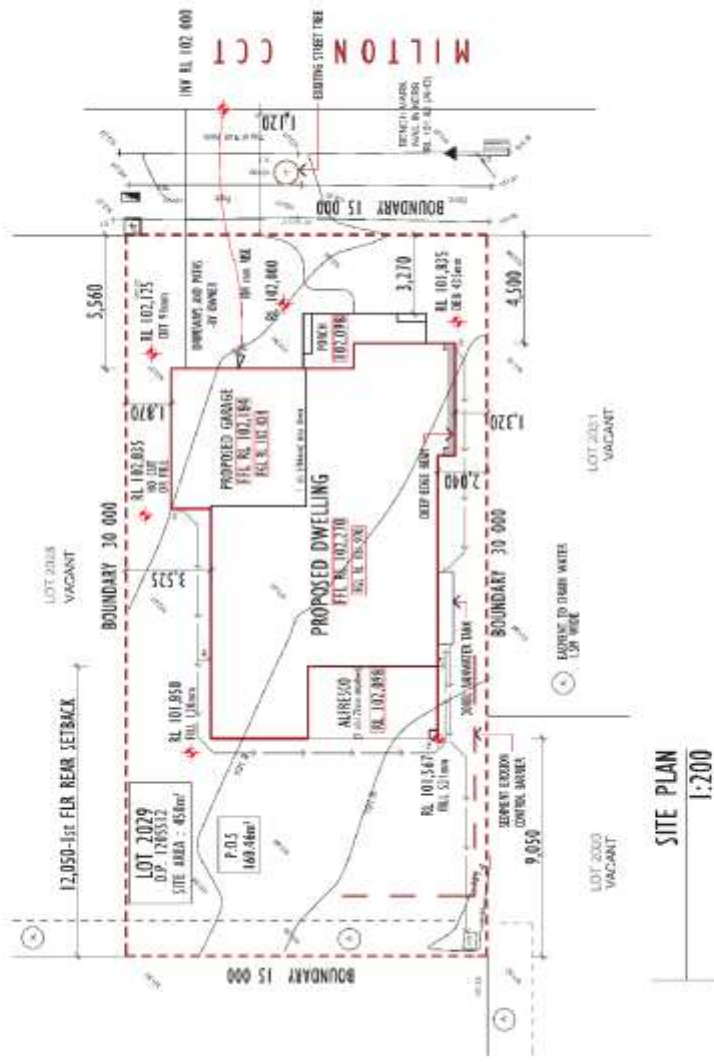
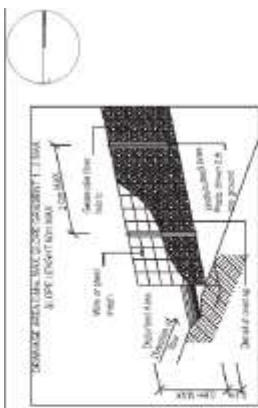


Where a street tree is required to be relocated due to installation of a driveway, drainage etc it is recommended that Council be contacted for advice regarding the new location.

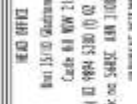
6.0 – Ongoing Use

The following conditions of consent are operational conditions applying to the development.

- (1) **Residential Air Conditioning Units** - The operation of air conditioning units shall operate as follows:
 - a) be inaudible in a habitable room during the hours of 10pm – 7am on weekdays and 10pm to 8am on weekends and public holidays; and
 - b) emit a sound pressure level when measured at the boundary of any neighbouring residential property, at a time other than those specified in (a) above, which exceeds the background (LA90, 15 minutes) by more than 5dB(A). The source noise level shall be measured as a LAeq 15 minute.
- (2) **Boundary Fencing** – Any boundary erected is to be in accordance with the Oran Park DCP 2011.



SOUTH WEST GROWTH CENTRE-ORAN PARK. LOT FRONTTGES >=9m - <=15m FRONTAGE-DCP			
CONTROLS	REQ'D	PROPOSED	COMPLIES
SITE AREA	N/A	450m ²	N/A
FRONT SETBACKS	4.50m min	4.5m	YES
Building facade line	3.50m min	N/A	YES
Building facade fronting open space/drainage	3.0m min	3.27m	YES
Articulation zone setback	2.0m min	N/A	YES
Articulation zone fronting open space/drainage	5.50m min	5.56m	YES
Garage setback	1.00m min	1.06m	YES
Garage setback from building line			
SIDE SETBACKS			
DETACHED BOUNDARY			
Ground floor	0.90m RHS	1870mm	YES
Upper floor	0.90m RHS	3625mm	YES
Ground floor	0.90m LHS	1320mm	YES
Upper floor	0.90m LHS	2040mm	YES
REAR SETBACKS			
Min rear setback ground level	4.0m	9.06m	YES
Min rear setback upper level	6.0m	12.06m	YES
BUILDING HT., MASSING & SITING			
Max height	2 storey	2 storeys	YES
SITE COVERAGE	Lot > 375m ² , min. 25% upper fr. site coverage	157.5m ²	YES
LANDSCAPED AREA	Min 25% of lot area to be landscaped area	112.5m ²	YES
PRIVATE OPEN SPACE	Principal POS area	250.88m ²	YES
Garages & car parking	Principal POS min dimension	160.64m ²	YES
For lots > 12.5m and < 15	Front or rear accessed	7.5m	YES
EXCAVATION			
Exc. 3+ bedroom dwellings	single garage, 19.85m or double & car space	2 double	YES
Maximum cut	1m	31mm	YES
Maximum fill	1m	531mm	YES
Fill within 2.0m of boundary	Deep edge beam		YES



designyniche
Building Designers

Designyniche P/L
Comptroller, G. 33 401, 7th Fl.
Melb, VIC 3142 (Ph) 9438 5381 (H)

16079 WAVERLEY 27 MFTR0

URD REF.	JM 76	SCALE	E:100	AMENDMENTS
M.C.B.	FUN JT	DATE	06/07/16	Issue
COUNCIL	CAMJEN	DRAWN	DO & HT	Issue
DESIGN.	WAVERLEY 27	FAÇADE	MFTR0	Issue

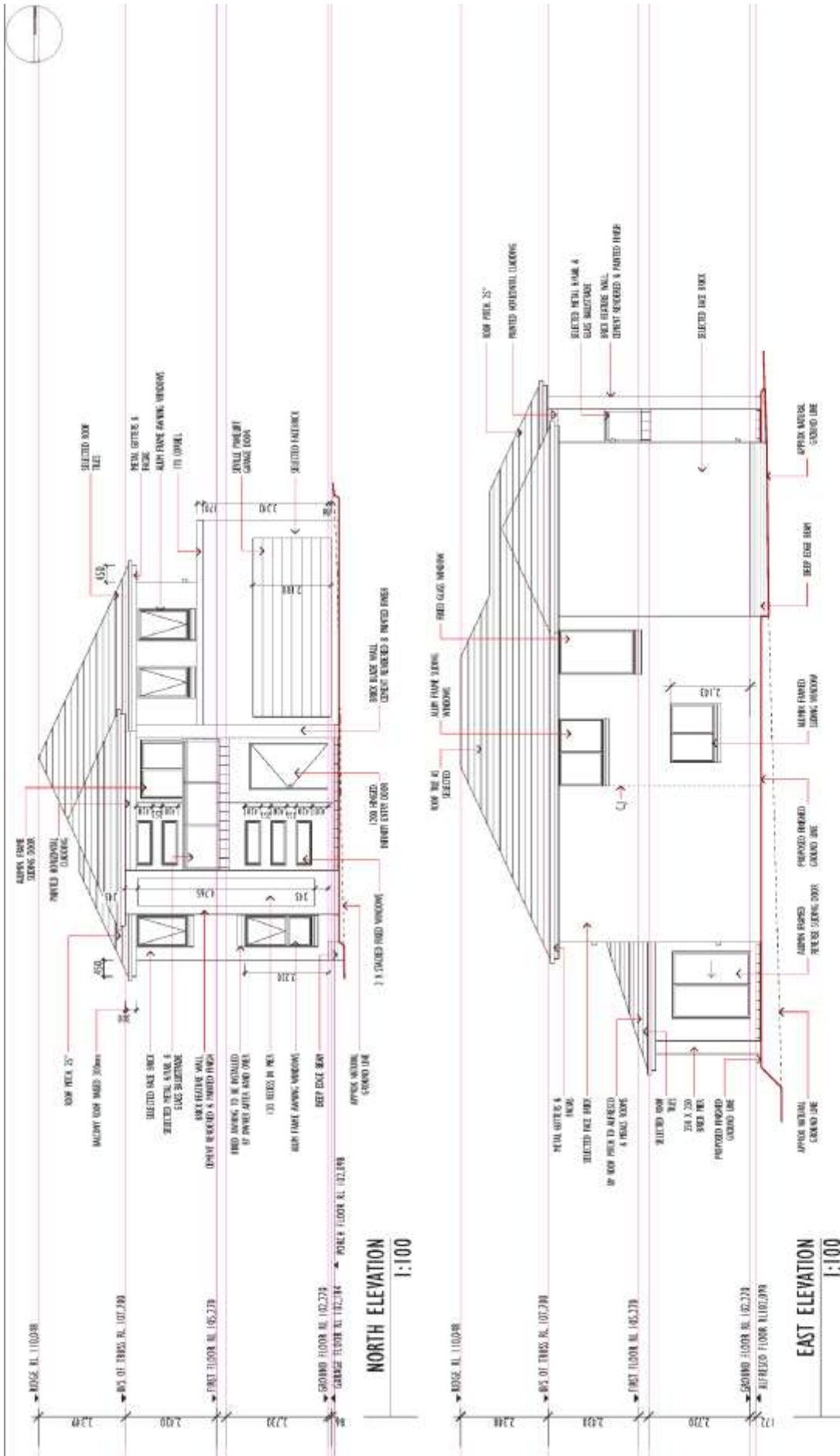
PROVEN PROFESSIONAL DESIGNERS

1603

PROJECT: PROPOSED DWELLING AT LOT 2029, DP 1205512
MILTON COUNTR. ORAN PARK

CLIENT: Mr Srinivas KURUPATI & Mrs Saranya Lakshmi UTHA

ISSUE: E
JOB No: 1603
SHEET: 4/0



all dimensions given to centerpoint
 unless otherwise stated
 unless otherwise stated
 unless otherwise stated

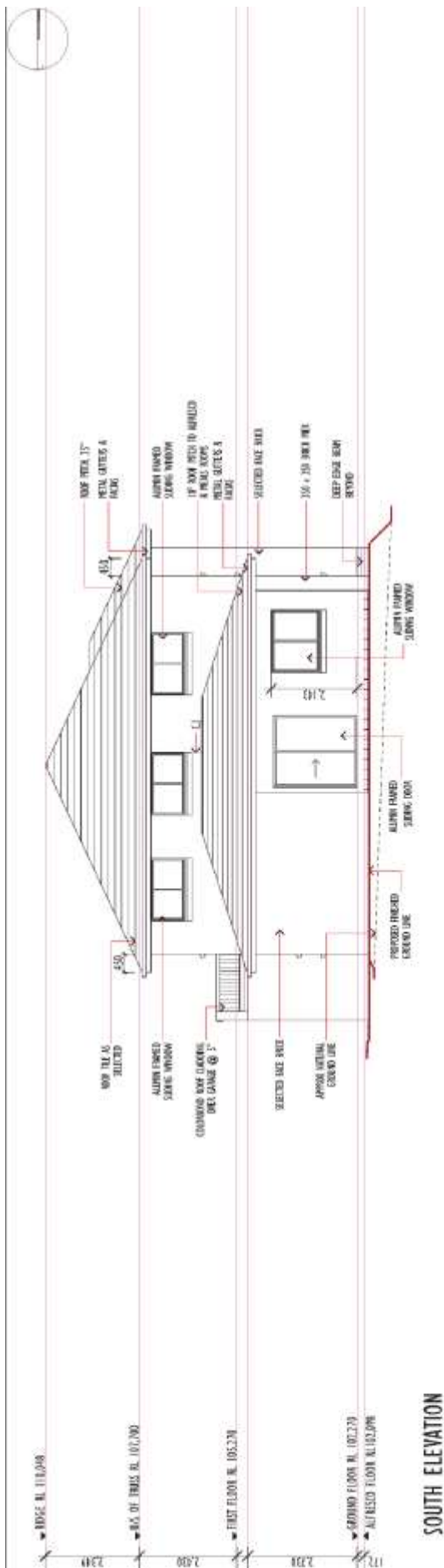
designnische
 Building Designers
 Designnische P/L
 37-40/1111
 16079
 WAVERLEY 37

UBD REF.	DATE	SCALE	AMENDMENTS
M.C.B.	06.07.16	1:100	
COUNCIL	DD & NT		
DESIGN	DD & NT		

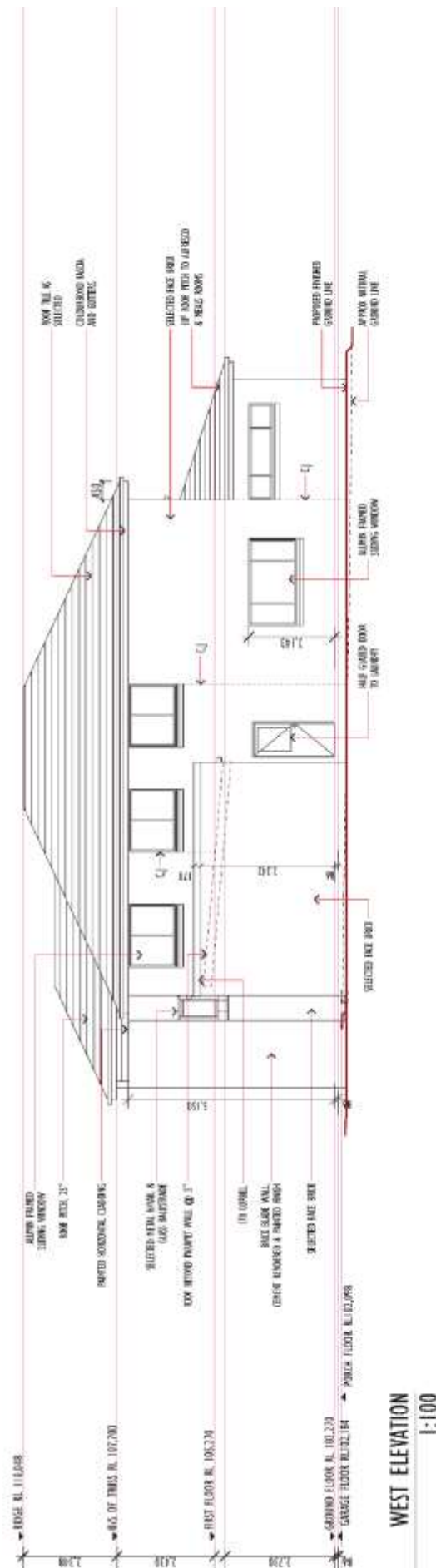
ISSUE	DATE	DESCRIPTION
1	18.08.16	24 Year
2	18.08.16	24 Year
3	18.08.16	24 Year
4	18.08.16	24 Year

Proven Professional
 Design & Construction
 160 BRIDGE ROAD
 MELBOURNE VIC 3000
 PH: 03 9443 3300
 FAX: 03 9443 3308
 WWW: WWW.PROVENPROFESSIONAL.COM.AU

PROJECT: PROPOSED DWELLING AT LOT 2079, DP 1205512
 MILTON CIRCUT, ORAN PARK
 CLIENT: Mr Simona IUDRICH & Mrs Simona Iudrich UTTA
 TITLE: FACADE
 ISSUE: E
 JOB No: 1603
 SHEET: 2 / 0



SOUTH ELEVATION
1:100



WEST ELEVATION
1:100

all dimensions given to centerpoint
works. Figure dimensions to be taken in
reference to footing. Confirm all dimensions on site.

design niche
Building Designers
Design niche P/L
Company: (0) 30 463 7844
Address: 116 (N) 403 528 (H)

REF. No. 16079

URD REF.	JM 7/6	SCALE	1:100
M.C.B.	FUN JT	DATE	06.07.16
COUNCIL	JAMSEV	DRAWN	DO & MT
DESIGNER	WAVERLEY 27	FAÇADE	MFTRO

AMENDMENTS	Issue	Date	Description
1	18.08.16	24 Feb	100% Final
2	18.08.16	28 February	100% Final
3	18.08.16	28 February	100% Final
4	18.08.16	28 February	100% Final

16079
Proven Professional
Designers

16079
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Designers

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Designers

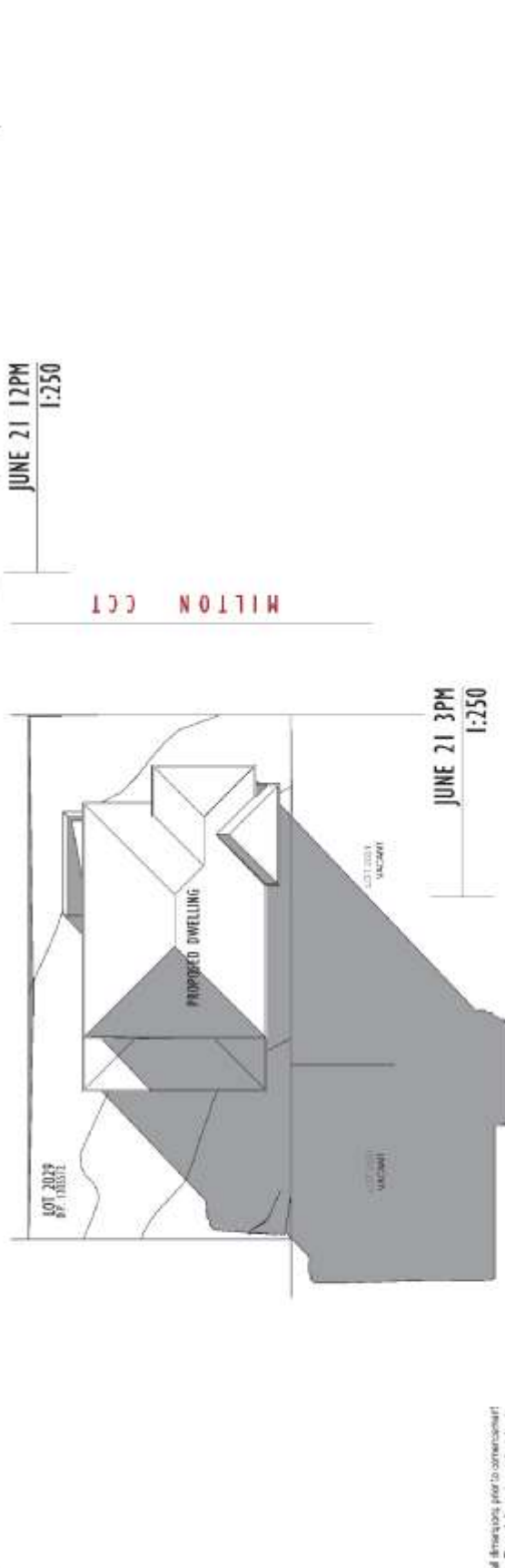
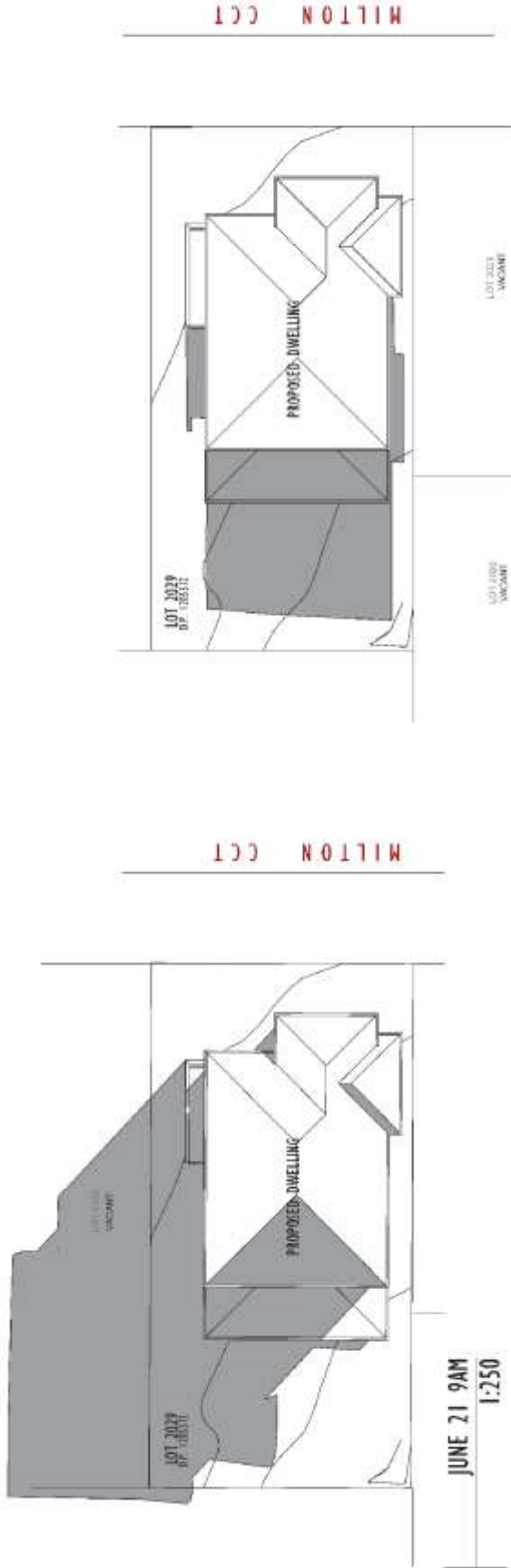
PROJECT: PROPOSED DWELLING AT LOT 2079, DP 1205512
MILTON CIRCUIT, ORAN PARK

CLIENT: Mr Simona BOURNCH & Mrs Simona Babini WITH
1603

ISSUE: E
JOB No. 1603
SHEET: A/0

Attachment 2

ORD01



all dimensions refer to construction works. Figure dimensions to be taken in accordance to zoning. Confirm all dimensions on site.

designiche
 Building Designers
 Designiche P/L
 37/401 Tully
 Manly, NSW 1516 (P) 8433 03 1118
 REF. No. 16079

UBD REF.	104/74	SCALE	1:250
M.C.B.	FMN 17	DATE	06/07/16
COUNCIL	JAMSEV	DRAWN	DO & MT BW
DESIGNER	WAVERLEY 27	FAÇADE	MFTRO

AMENDMENTS	NO.	DATE	DESCRIPTION
1	18/08/16	24/08/16	24/08/16
2	18/08/16	24/08/16	24/08/16
3	18/08/16	24/08/16	24/08/16
4	18/08/16	24/08/16	24/08/16

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Proven Professional
 Professional Designers

PROJECT: PROPOSED DWELLING AT LOT 2029, DP 1205512
 MILTON CIRCUIT, ORAN PARK

CLIENT: Mr & Mrs Simona IUDORICH & Mrs Simona Iudorich WITH

ISSUE: E
 JOB No. 1603
 SHEET 01



Camden Council
 37 John Street, Camden NSW 2570 DX 25807
 PO Box 183, Camden 2570 ABN: 31 117 341 764
 Telephone: 02 4654 7777 Fax: 02 4654 7829
 Email: mail@camden.nsw.gov.au

Attachment 1 - Recommended Conditions of Consent

- (1) **Approved Plans and Documents** - Development shall be carried out in accordance with the following plans and documentation, and all recommendations made therein, except where amended by the conditions of this development consent:

Plan Reference/ Drawing No.	Name of Plan	Prepared by	Date
1694-15 r.mq sheet 1 issue N	Existing Site Plan and elevation	Devine Drafting and Design	15 November 2016
1694-15 r.mq sheet 2 issue N	Demolition Plan	Devine Drafting and Design	15 November 2016
1694-15 r.mq sheet 3 issue N	Existing floor plan	Devine Drafting and Design	15 November 2016
1694-15 r.mq sheet 4 issue N	Existing floor plan	Devine Drafting and Design	15 November 2016
1694-15 r.mq sheet 5 issue N	Demolition plan	Devine Drafting and Design	15 November 2016
1694-15 r.mq sheet 6 issue N	Lower Floor Plan	Devine Drafting and Design	15 November 2016
1694-15 r.mq sheet 7 issue N	Upper Floor Plan	Devine Drafting and Design	15 November 2016
1694-15 r.mq sheet 8 issue N	Front, rear and side elevation	Devine Drafting and Design	15 November 2016
1694-15 r.mq sheet 9 issue N	Side elevation and section	Devine Drafting and Design	15 November 2016
1694-15 r.mq sheet 11 issue N	Site plan	Devine Drafting and Design	15 November 2016
1694-15 r.mq sheet 12 issue N	Drainage plan	Devine Drafting and Design	15 November 2016

Document Title	Prepared by	Date
BASIX Certificate – A244071	Devine Drafting and Design	21 March 2016
Waste Management Plan	Unknown	Undated
Statement of Environmental Effects	Unknown	Undated

- (2) **BASIX Certificate** - The applicant shall undertake the development strictly in accordance with the commitments listed in the approved BASIX certificate for the development to which this consent applies.

- (3) **Building Code of Australia** - All building work shall be carried out in accordance with the BCA. In this clause, a reference to the BCA is a reference to that Code as in force on the date the application for the relevant Construction Certificate is made.
- (4) **Home Building Act** - Pursuant to Section 80A(11) of the *EP&A Act 1979*, residential building work within the meaning of the *Home Building Act 1989* shall not be carried out unless the PCA for the development to which the work relates:
- a) in the case of work for which a principal contractor has been appointed:
 - i. has been informed in writing of the name and licence number of the principal contractor; and
 - ii. where required has provided an insurance certificate with the name of the insurer by which the work is insured under Part 6 of that Act.
 - b) in the case of work to be carried out by an owner-builder;
 - i. has been informed in writing of the name of the owner-builder; and
 - ii. if the owner-builder is required to hold an owner-builder permit under that Act; has provided a copy of the owner builder permit.
- (5) **Shoring and Adequacy of Adjoining Property Works** - If the approved development involves an excavation that extends below the level of the base of the footings of a building, structure or work on adjoining land, the person having the benefit of the consent shall, at the person's own expense:
- a) protect and support the adjoining building, structure or work from possible damage from the excavation; and
 - b) where necessary, underpin the building, structure or work to prevent any such damage.
- This condition does not apply if the person having the benefit of the consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying
- A copy of the written consent must be provided to the PCA prior to the excavation commencing.
- (6) **Conditional Approval for Tree Removal** - Consent is granted for the pruning of one (1) Jacaranda tree as proposed and as indicated on the Architectural Plans. Recommended pruning may include – crown reduction pruning up to 20% and of other elongated lateral branches particularly branches overhanging the existing driveway to reduce excessive end weight in accordance with clause 7.3.2 of the standard referred to below. Other pruning may include removal of any dead wood, removal of storm damage and hangers and pruning to achieve crown thinning in accordance with clauses 7.2.3.

The following conditions apply;

- a) Approved tree works are to be undertaken in accordance with the relevant provisions of AS 4373 'Pruning of amenity trees' and is to be carried out in accordance with the WorkCover NSW Code of Practice for the Amenity Tree Industry.
 - b) Approved tree work should only be carried out by a fully insured and qualified Arborist. Suitable qualifications for an Arborist are to be a minimum standard of Australian Qualification Framework (AQF) Level 3 in Arboriculture for the actual carrying out of tree works and AQF Level 5 in Arboriculture for Hazard, Tree Health and Risk Assessments and Reports.
 - c) This consent does not grant access to adjoining land. The applicant must negotiate any issues of access with adjoining property owners.
 - d) Green waste and or timber generated from the approved tree work is to be recycled into mulch and reused on site or transferred to a designated facility for composting. Stock piles of green waste or processed timber for reuse including firewood must be stored behind the building line or place out view from the street within 28 days of the tree works authorised by this consent.
 - e) All reasonable measures must be taken to protect the remaining vegetation on the site from damage during the approved tree works.
 - f) Tree work is inherently noisy and potentially disruptive to normal traffic conditions in your street; as such the applicant shall notify (at least 24 hours prior) surrounding neighbours of the time and date of the approved tree works.
- (7) **Responsibility for Damage for Tree Removal/Pruning** - The applicant is responsible for any damage caused to existing public utilities, footpaths or public roads during the cutting down, grinding, removal and disposal of the timber and roots. Care must also be taken by the applicant and the applicant's agents to prevent any damage to adjoining properties. The applicant or the applicants' agent may be liable to pay compensation to any adjoining owner if, due to tree works, damage is caused to such adjoining property.
- (8) **Tree Protection During Construction Work** – In general all trees on the site must be protected in accordance with the standards, specified in the "Australian Standard for Protection of Trees on Development Sites - AS 4970-2009".

In particular special measures must be installed to protect the trunk and roots of existing tree/s from any form of damage either accidental or from approved construction processes. It is essential for ongoing tree health that damage to any

bark or roots within the structural root zone is avoided as determined in clause 3.3.5 of the Standard for Protection of Trees on Development Sites.

Protective fencing or other approved barrier must be installed in accordance with clause 4.5.3 of the Standard. Signage must be installed to inform builders and other workers to strictly observe installed tree protection measures. Nothing including the signage is to be nailed or screwed into the tree.

Careful means of excavation to avoid excessive root pruning is to be exercised. Where root damage is unavoidably an arborist must be engaged to cleanly cut the effected roots by saw.

2.0 – Prior to Issue of a Construction Certificate

The following conditions of consent shall be complied with prior to the issue of a Construction Certificate.

- (1) **Building Platform** - This consent restricts excavation or fill for the purposes of creating a building platform. The building platform shall not exceed 2.0m from the external walls of the building. Where the external walls are within 2.0m of any property boundary, no parallel fill is permitted and a deepened edge beam to natural ground level shall be used. Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.
- (2) **Salinity (Dwellings & Outbuildings)** - The proposed dwelling, landscaping and associated works for the development shall comply with the requirements of Camden Council's Policy 'Building in Saline Prone Environment'.

Alternatively, a site specific analysis referencing Australian Standard AS2870-2011 and including recommendations shall be prepared by a suitably qualified consultant.

Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.

- (3) **Long Service Levy** - In accordance with Section 34 of the *Building and Construction Industry Long Service Payments Act 1986*, the applicant shall pay a long service levy at the prescribed rate to either the Long Service Payments Corporation or Council for any work that cost \$25,000 or more.

3.0 - Prior to Commencement of Works

The following conditions of consent shall be complied with prior to any works commencing on the development site.

- (1) **Notice of PCA Appointment** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with Clause 103 of the EP&A Regulation 2000. The notice shall include:
- a) a description of the work to be carried out;
 - b) the address of the land on which the work is to be carried out;
 - c) the registered number and date of issue of the relevant development consent;
 - d) the name and address of the PCA, and of the person by whom the PCA was appointed;
 - e) if the PCA is an accredited certifier, his, her or its accreditation number, and a statement signed by the accredited certifier consenting to being appointed as PCA; and
 - f) a telephone number on which the PCA may be contacted for business purposes
- (2) **Notice Commencement of Work** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with Clause 104 of the EP&A Regulation 2000. The notice shall include:
- a) the name and address of the person by whom the notice is being given;
 - b) a description of the work to be carried out;
 - c) the address of the land on which the work is to be carried out;
 - d) the registered number and date of issue of the relevant development consent and construction certificate;
 - e) a statement signed by or on behalf of the PCA to the effect that all conditions of the consent that are required to be satisfied prior to the work commencing have been satisfied; and
 - f) the date on which the work is intended to commence.
- (3) **Construction Certificate Required** - In accordance with the provisions of Section 81A of the *EP&A Act 1979*, construction or subdivision works approved by this consent shall not commence until the following has been satisfied:
- a) a Construction Certificate has been issued by a Certifying Authority;

- b) a Principal Certifying Authority (PCA) has been appointed by the person having benefit of the development consent in accordance with Section 109E of the *EP&A Act 1979*;
- c) if Council is not the PCA, Council is notified of the appointed PCA at least two (2) days before building work commences;
- d) the person having benefit of the development consent notifies Council of the intention to commence building work at least two (2) days before building work commences; and

the PCA is notified in writing of the name and contractor licence number of the owner/builder intending to carry out the approved works.

- (4) **Sign of PCA and Contact Details** - A sign shall be erected in a prominent position on the site stating the following:
 - a) that unauthorised entry to the work site is prohibited;
 - b) the name of the principal contractor (or person in charge of the site) and a telephone number on which that person can be contacted at any time for business purposes and outside working hours; and
 - c) the name, address and telephone number of the PCA.

The sign shall be maintained while the work is being carried out, and shall be removed upon the completion of works.

- (5) **Sydney Water Approval** - The approved development plans shall be approved by Sydney Water.
- (6) **Soil Erosion and Sediment Control** - Soil erosion and sediment controls must be implemented prior to works commencing on the site in accordance with 'Managing Urban Stormwater – Soils and Construction ('the blue book') and any Sediment and Erosion plans approved with this development consent.

Soil erosion and sediment control measures shall be maintained during construction works and shall only be removed upon completion of the project when all landscaping and disturbed surfaces have been stabilised (for example, with site turfing, paving or re-vegetation).

4.0 - During Works

The following conditions of consent shall be complied with during the construction phase of the development.

- (1) **Construction Hours** - All work (including delivery of materials) shall be restricted to the hours of 7.00am to 5.00pm Monday to Saturday inclusive. Work is not to be carried out on Sundays or Public Holidays.
- (2) **Compliance with BCA** - All building work shall be carried out in accordance with the requirements of the BCA.
- (3) **Retaining Walls** - The following restrictions apply to any retaining wall erected within the allotment boundaries:
 - a) retaining walls shall be constructed a minimum of 300mm from any property boundary to ensure all associated drainage and backfill remain wholly within the subject property;
 - b) adequate provisions shall be made for surface and subsurface drainage of retaining walls and all water collected shall be diverted to, and connected to, a stormwater disposal system within the property boundaries;
 - c) retaining walls shall not be erected within drainage easements; and
 - d) retaining walls shall not be erected in any other easement present on the land without the approval of the relevant authority benefited.
- (4) **Stormwater – Collection and Discharge Requirements** - The roof of the subject building(s) shall be provided with guttering and down pipes and all drainage lines, including stormwater drainage lines from other areas and overflows from rainwater tanks, conveyed to the street gutter.

 Connection to the drainage easement or kerb shall only occur at the designated connection point for the allotment. New connections that require the rectification of an easement pipe or kerb shall only occur with the prior approval of Camden Council.

 All roofwater shall be connected to the approved roofwater disposal system immediately after the roofing material has been fixed to the framing members. The PCA shall not permit construction works beyond the frame inspection stage until this work has been carried out.
- (5) **Works by Owner** - Where a portion of the building works do not form part of a building contract with the principal contractor (builder) and are required to be completed by the owner, such works shall be scheduled by the owner so that all works coincide with the completion of the main building being erected by the principal contractor.
- (6) **Easements** - No changes to site levels, or any form of construction shall occur within any easements that may be located on the allotment.

5.0 - Prior to Issue of an Occupation Certificate

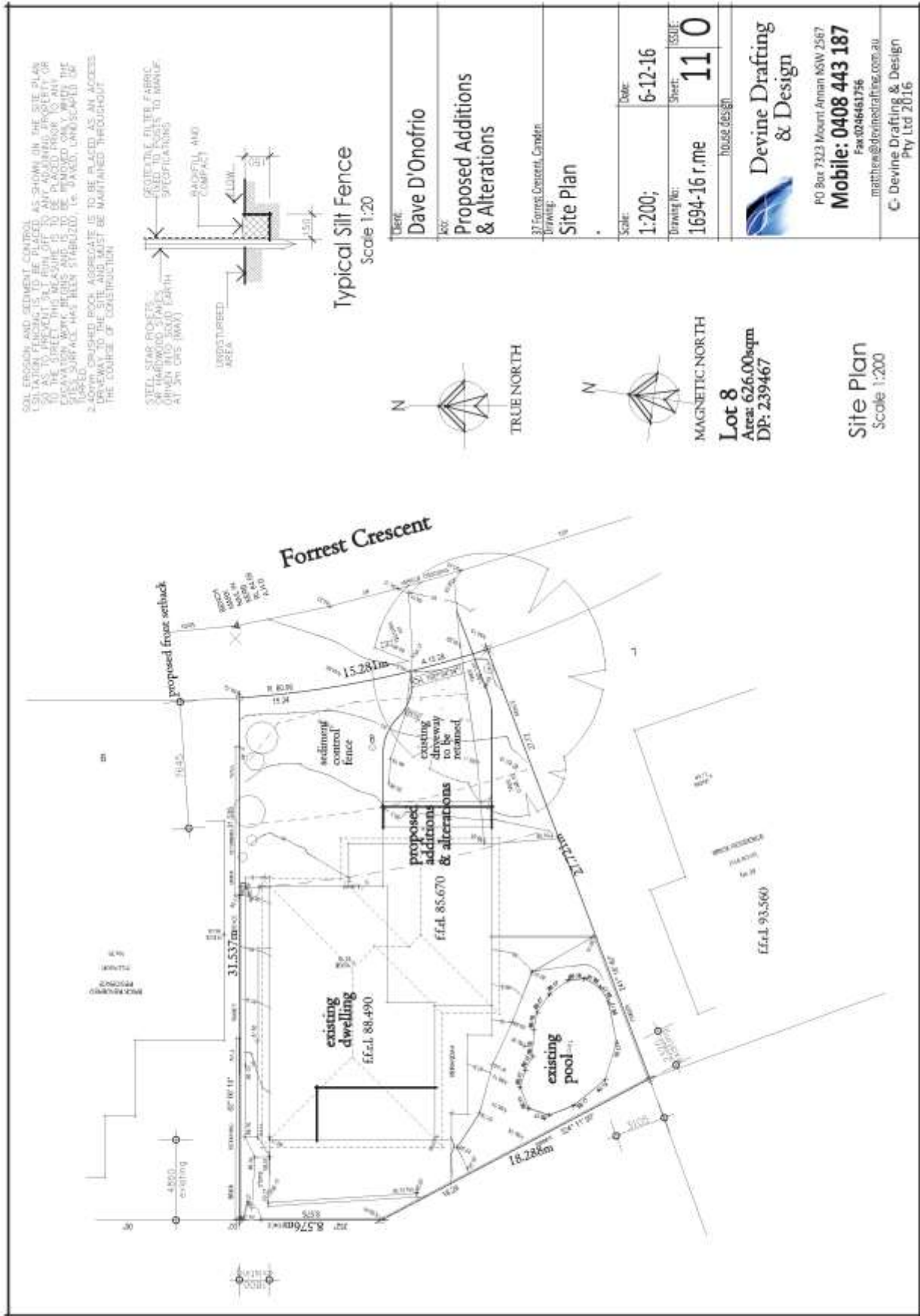
The following conditions of consent shall be complied with prior to the issue of an Occupation Certificate.

- (1) **Occupation Certificate Required-** An Occupation Certificate shall be obtained prior to any use or occupation of the development.

6.0 – Ongoing Use

The following conditions of consent are operational conditions applying to the development.

Nil



NOTES:

1. Levels shown are approval only and should be verified.
2. All dimensions are to be taken in preference to any other dimensions.
3. All measurements are in mm unless otherwise stated.
4. Window sizes are nominal only. Final window sizes by builder.
5. Dimensions are to be verified on site by builder before commencement of work.
6. Any items shown or drawn on the established plans but not used in an approval will be deemed an inclusion.

Issue	Amendment	Date	
	Approval from client		

Client: **Dave D'Onofrio**

NO: **Proposed Additions & Alterations**

3D Elevation Consultant: **Comden**

Drawings: **Elevations**

Scale: **1:100;** Date: **6-12-16**

Drawing No: **1694-16 r.me** Sheet: **8** of **0**

HOUSE DESIGN

Devine Drafting & Design

PO Box 7323 Mount Annan NSW 2567
Mobile: 0408 443 187
 Fax: 0846461756
 mattiew@devinedrafting.com.au
 C- Devine Drafting & Design Pty Ltd 2016

Side Elevation

Note - All Dimensions to be verified on site before commencement of work

Construction to be in accordance with BCA and other relevant Australian Standards

R1.7 insulation to walls
R3.0 insulation to ceilings

Granite guard
terrace barrier

NOTES:

- Levels shown are approximate only and should be verified on site.
- Figured dimensions are to be taken in preference to scaling.
- All measurements are in mm unless otherwise stated.
- Window sizes are nominal only. Final window sizes to be confirmed by builder.
- Dimensions are to be verified on site by builder before commencement of work.
- Any items shown or drawn on the enclosed plans but not listed as an inclusion will be deemed an inclusion.

Issue	Amendment	Date
	Approval from client	

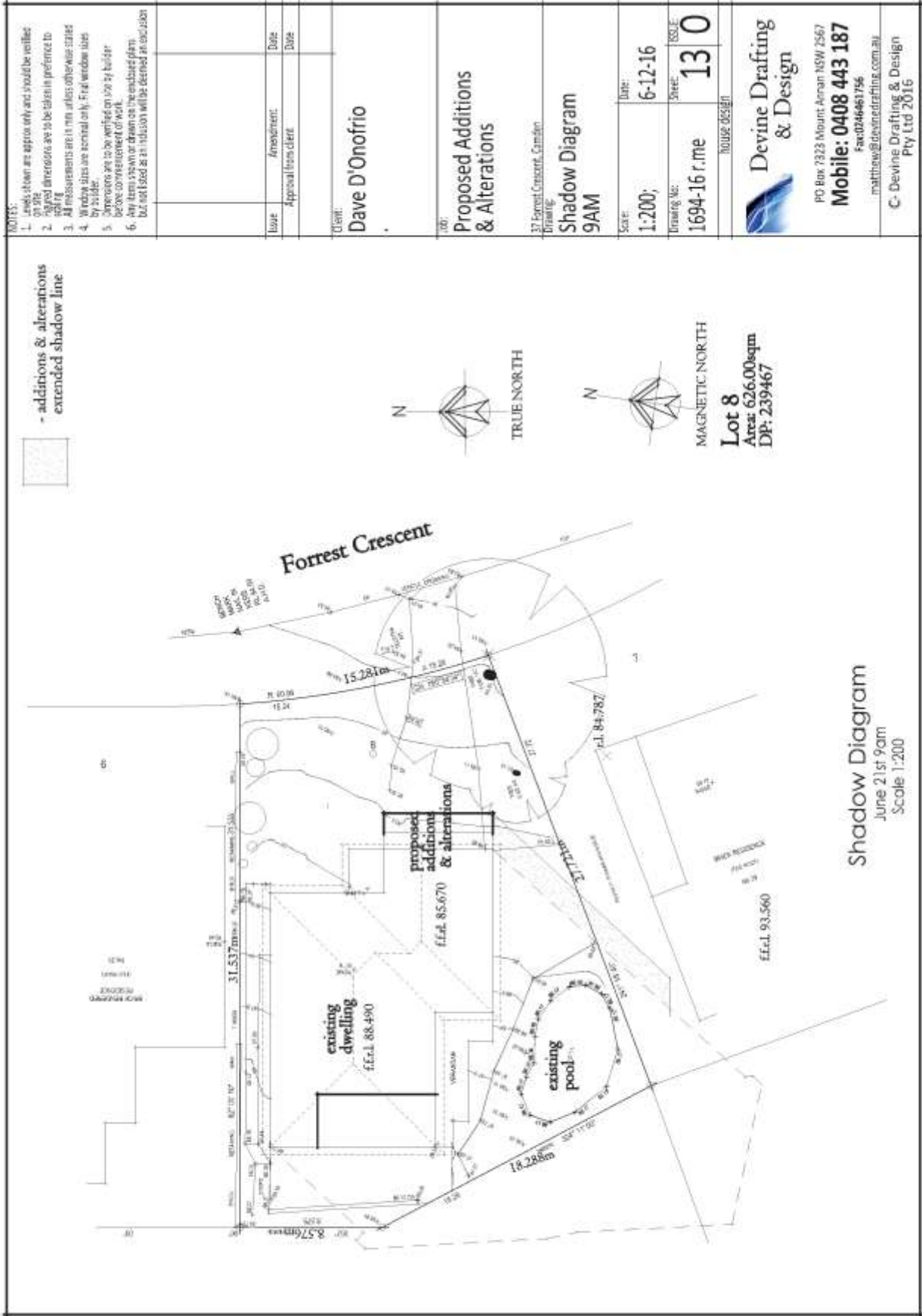
CLIENT:
Dave D'Onofrio

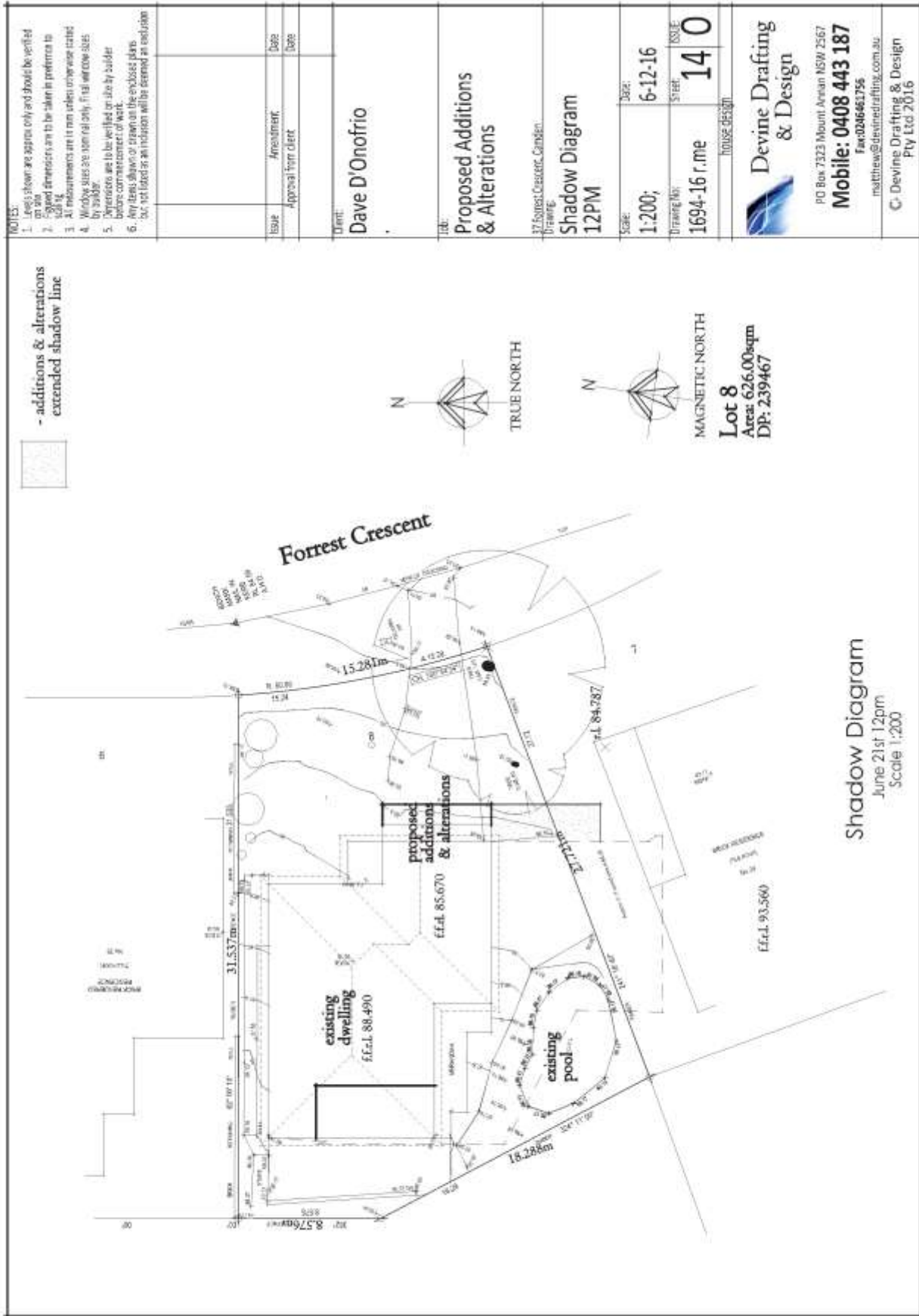
JOB:
Proposed Additions & Alterations

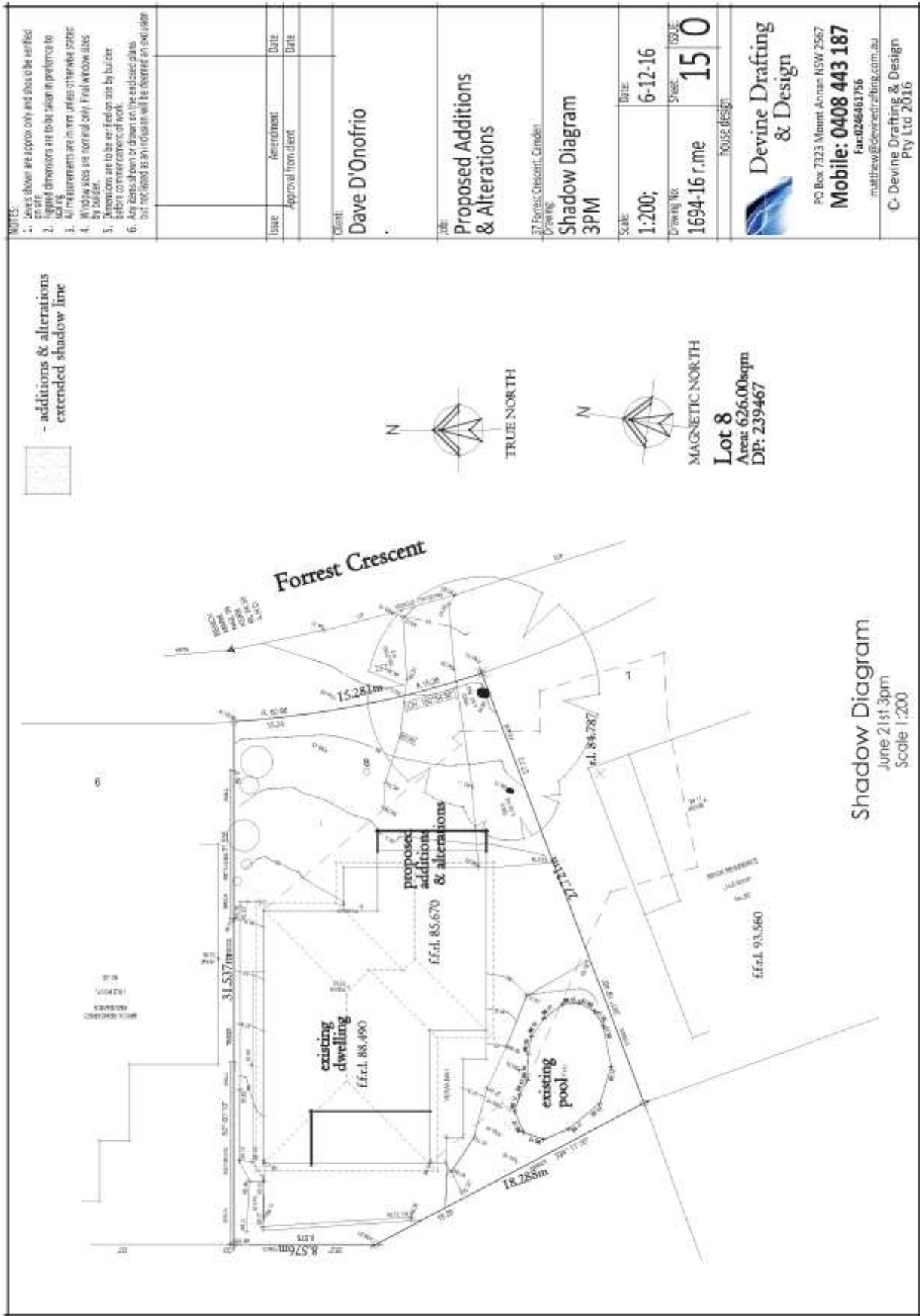
37 Forest Crescent, Camden
New South Wales 2577
Elevations

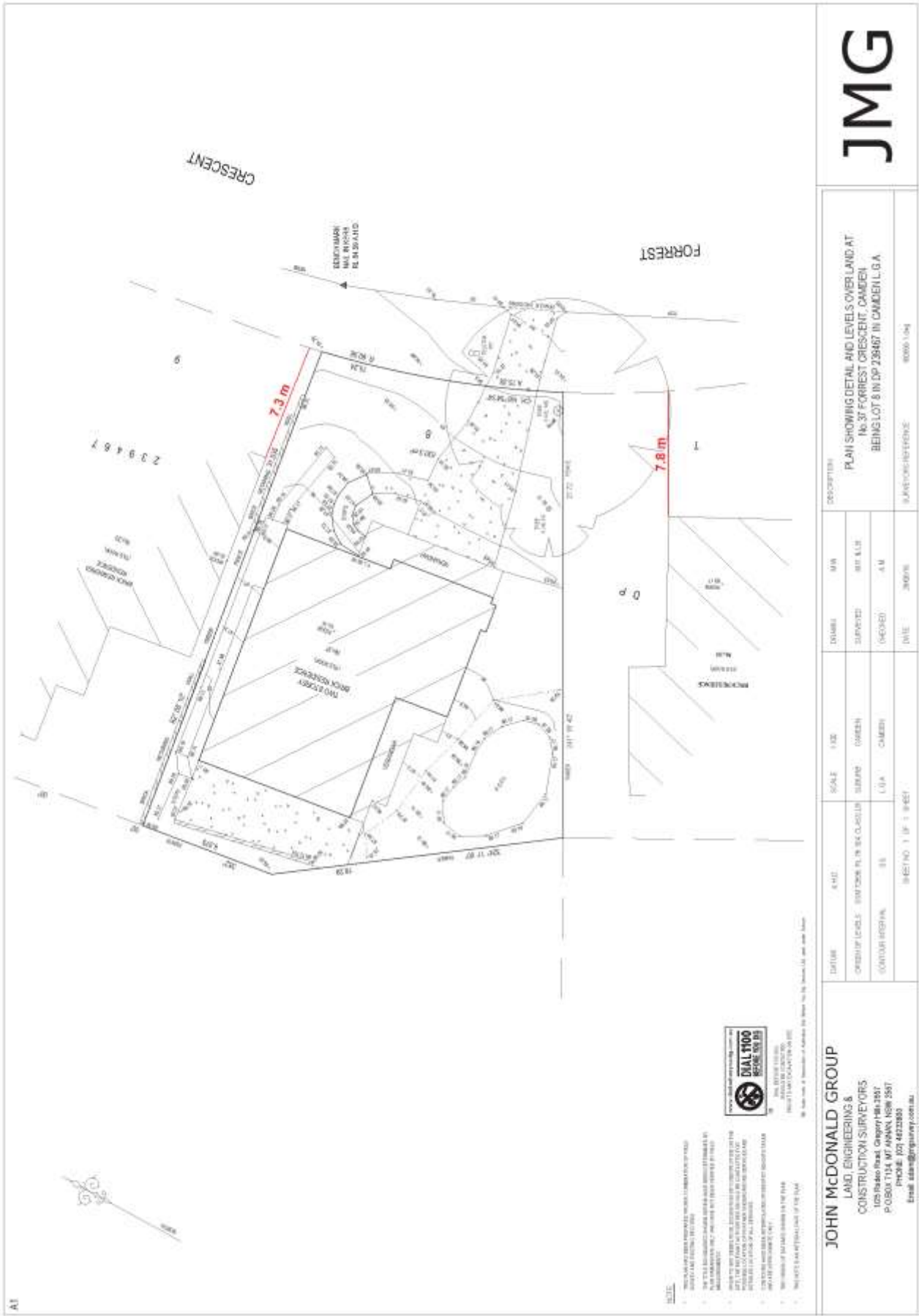
SCALE: 1:100	DATE: 6-12-16
DRAWING NO.: 1694-16 r.me	SHEET: 9
ISSUE: 0	

Devine Drafting & Design
 PO Box 7323 Mount Aaman NSW 2567
Mobile: 0408 443 187
 Fax: 02 4646 1756
 matthew@devinedrafting.com.au
 G Devine Drafting & Design Pty Ltd 2016









JMG

DESCRIPTION
 PLAN SHOWING DETAIL AND LEVELS OVERLAIN AT
 NO. 37 FORREST CRESCENT, CAMDEN
 BEING LOT 8 IN DP 238467 IN CAMDEN L.G.A.
 SURVEY REFERENCE: 80060-104

DATE	DATE	DATE	DATE
2007/6	2007/6	2007/6	2007/6

DATE	SCALE	SCALE	SCALE
2007/6	1:100	1:100	1:100

JOHN McDONALD GROUP
 LAND ENGINEERING &
 CONSTRUCTION SURVEYORS
 105 Basco Road, Gregory Hills NSW 2557
 PHONE: 7532 4022/880
 Email: john@jmgsurvey.com.au

- 1. THIS PLAN AND DATA REPRESENTS THE SURVEY OF THE PROPERTY AS SHOWN ON THE PLAN AND IS NOT TO BE USED FOR ANY OTHER PURPOSE.
- 2. THE CLIENT IS RESPONSIBLE FOR THE ACCURACY OF THE DATA AND THE SURVEYOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA.
- 3. THE SURVEYOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA AND THE SURVEYOR IS NOT RESPONSIBLE FOR THE ACCURACY OF THE DATA.
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ATTACHMENT 1 - RECOMMENDED CONDITIONS

1.0 - General Conditions of Consent

The following conditions of consent are general conditions applying to the development.

- (1) **Approved Plans and Documents** - Development shall be carried out in accordance with the following plans and documentation, and all recommendations made therein, except where amended by the conditions of this development consent:

Plan Reference/ Drawing No.	Name of Plan	Prepared by	Date
Job No. Trojan Revision D	Site plan	Trojan Homes	7/11/2016
Job No. Trojan Revision D	Ground floor plan	Trojan Homes	7/11/2016
Job No. Trojan Revision D	Site plan	Trojan Homes	7/11/2016
Job No. Trojan Revision D	Roof plan	Trojan Homes	7/11/2016
Job No. Trojan Revision D	Elevation east and north	Trojan Homes	7/11/2016
Job No. Trojan Revision D	Elevation west and south	Trojan Homes	7/11/2016
Job No. Trojan Revision D	Section	Trojan Homes	7/11/2016
Job No. Trojan Revision D	Shadow	Trojan Homes	7/11/2016
Job No. Trojan Revision D	Construction management and sediment control	Trojan Homes	7/11/2016
Job No. Trojan Revision D	Stormwater plan	Trojan Homes	7/11/2016
Job No. Trojan Revision D	Landscape plan	Trojan Homes	7/11/2016
Job No. Trojan Revision D	Subdivision plan	Trojan Homes	7/11/2016

Document Title	Prepared by	Date
BASIX Certificate No. 746822S	Trojan Developments	26/07/2016
BASIX Certificate No. 746823S	Trojan Developments	26/07/2016
Waste Management Plan	Unsigned	Undated

- (2) **BASIX Certificate** - The applicant shall undertake the development strictly in accordance with the commitments listed in the approved BASIX certificate(s) for the development to which this consent applies.

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- (3) **Building Code of Australia** - All building work shall be carried out in accordance with the BCA. In this clause, a reference to the BCA is a reference to that Code as in force on the date the application for the relevant Construction Certificate is made.
- (4) **Home Building Act** - Pursuant to Section 80A(11) of the *EP&A Act 1979*, residential building work within the meaning of the *Home Building Act 1989* shall not be carried out unless the PCA for the development to which the work relates:
- a) in the case of work for which a principal contractor has been appointed:
 - i. has been informed in writing of the name and licence number of the principal contractor; and
 - ii. where required has provided an insurance certificate with the name of the insurer by which the work is insured under Part 6 of that Act.
 - b) in the case of work to be carried out by an owner-builder;
 - i. has been informed in writing of the name of the owner-builder; and
 - ii. if the owner-builder is required to hold an owner-builder permit under that Act; has provided a copy of the owner builder permit.
- (5) **Shoring and Adequacy of Adjoining Property Works** - If the approved development involves an excavation that extends below the level of the base of the footings of a building, structure or work on adjoining land, the person having the benefit of the consent shall, at the person's own expense:
- a) protect and support the adjoining building, structure or work from possible damage from the excavation; and
 - b) where necessary, underpin the building, structure or work to prevent any such damage.

This condition does not apply if the person having the benefit of the consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying

A copy of the written consent must be provided to the PCA prior to the excavation commencing.

2.0 – Prior to Issue of a Construction Certificate

The following conditions of consent shall be complied with prior to the issue of a Construction Certificate.

- (1) **Structural Engineer's Details** - The piers/slabs/footings/structural elements shall be designed and certified by a suitably qualified structural engineer and shall take into consideration the recommendations of any geotechnical report applicable to the site. A statement to that effect shall be provided to the Certifying Authority.
- (2) **Building Platform** - This consent restricts excavation or fill for the purposes of creating a building platform. The building platform shall not exceed 2.0m from the external walls of the building. Where the external walls are within 2.0m of any property boundary, no parallel fill is permitted and a deepened edge beam to natural

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ground level shall be used. Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.

- (3) **Driveway Gradients and Design** - For all driveways that relate to development for the purposes of a dwelling house, the driveway gradient and design shall comply with AS 2890.1-2004 'Off street car parking' and:
- a) the driveway shall comply with Council's Access Driveway Specifications; <http://www.camden.nsw.gov.au/assets/pdf/Development/Residential-Vehicle-Crossing-Specification.pdf>
 - b) the driveway shall be at least 1m from any street tree, stormwater pit or service infrastructure;
 - c) the level for the driveway across the footpath area shall achieve a gradient of 4%; and
 - d) a Driveway Crossing Approval (PRA) must be obtained prior to the commencement of any works.

Details demonstrating compliance shall be provided to the Certifying Authority prior to issue of a Construction Certificate.

- (4) **Salinity (Dwellings & Outbuildings)** - The proposed dwelling, landscaping and associated works for the development shall comply with the requirements of the salinity investigation and management plan report, proposed residential subdivision Stage 8 Gregory Hills Project No. 76568.06 Dated August 2013 prepared by Douglas Partners.

Alternatively, a site specific analysis including recommendations, prepared by a suitably qualified consultant and referencing Australian Standard AS2870-2011 and Council's Building in a Saline Prone Environment Policy shall be submitted to the Certifying Authority.

Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.

- (5) **Long Service Levy** - In accordance with Section 34 of the *Building and Construction Industry Long Service Payments Act 1986*, the applicant shall pay a long service levy at the prescribed rate to either the Long Service Payments Corporation or Council for any work that cost \$25,000 or more.
- (6) **Section 94 Contributions – Monetary (Turner Road and Oran Park)** - A contribution pursuant to the provisions of Section 94 of the *EP&A Act 1979* for the services and amounts detailed below.

Plan Name	Contribution Type	Indexed Rate	Amount Payable
Oran Park and	Open Space & Recreation Land	\$12,8877	\$ 12,877

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Turner Road Precincts Section 94 (OP & TR) Contributions Plan	Acquisition	Per dwelling	
OP & TR Contributions Plan	Open Space & Recreation Capital Work	\$10,019 per lot or dwelling	\$10,019
OP & TR Contributions Plan	Open Space & Recreation Project Management	\$220 per lot or dwelling	\$220
OP & TR Contributions Plan	Community Facilities Land Acquisition	\$164 per lot or dwelling	\$164
OP & TR Contributions Plan	Community Facilities Capital Work	\$1,712 per lot or dwelling	\$1,712
OP & TR Contributions Plan	Community Facilities Project Management	\$37 per lot or dwelling	\$ 37
	Total		\$25,029

A copy of the Oran Park and Turner Road Precincts Section 94 Contributions Plan may be inspected at Council's Camden office at 37 John Street, Camden or can be accessed on Council's website at www.camden.nsw.gov.au.

The amount of contribution payable under this condition has been calculated at the date of consent. In accordance with the provisions of the Contributions Plan, this amount shall be indexed at the time of actual payment in accordance with the applicable Index.

- (7) **Special Infrastructure Contribution** - The applicant shall make a special infrastructure contribution (SIC) in accordance with the determination made by the Minister administering the *EP&A Act 1979* under Section 94EE of that Act and as in force on the date of this consent. This contribution shall be paid to the DP&E.

Evidence of payment of the SIC shall be provided to Council and the Certifying Authority.

3.0 - Prior to Commencement of Works

The following conditions of consent shall be complied with prior to any works commencing on the development site.



-
- (1) **Notice of PCA Appointment** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with Clause 103 of the EP&A Regulation 2000. The notice shall include:
- a) a description of the work to be carried out;
 - b) the address of the land on which the work is to be carried out;
 - c) the registered number and date of issue of the relevant development consent;
 - d) the name and address of the PCA, and of the person by whom the PCA was appointed;
 - e) if the PCA is an accredited certifier, his, her or its accreditation number, and a statement signed by the accredited certifier consenting to being appointed as PCA; and
 - f) a telephone number on which the PCA may be contacted for business purposes
- (2) **Notice Commencement of Work** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with Clause 104 of the EP&A Regulation 2000. The notice shall include:
- a) the name and address of the person by whom the notice is being given;
 - b) a description of the work to be carried out;
 - c) the address of the land on which the work is to be carried out;
 - d) the registered number and date of issue of the relevant development consent and construction certificate;
 - e) a statement signed by or on behalf of the PCA to the effect that all conditions of the consent that are required to be satisfied prior to the work commencing have been satisfied; and
 - f) the date on which the work is intended to commence.
- (3) **Construction Certificate Required** - In accordance with the provisions of Section 81A of the *EP&A Act 1979*, construction or subdivision works approved by this consent shall not commence until the following has been satisfied:
- a) a Construction Certificate has been issued by a Certifying Authority;
 - b) a Principal Certifying Authority (PCA) has been appointed by the person having benefit of the development consent in accordance with Section 109E of the *EP&A Act 1979*;
 - c) if Council is not the PCA, Council is notified of the appointed PCA at least two (2) days before building work commences;



- d) the person having benefit of the development consent notifies Council of the intention to commence building work at least two (2) days before building work commences; and

the PCA is notified in writing of the name and contractor licence number of the owner/builder intending to carry out the approved works.

- (4) **Sign of PCA and Contact Details** - A sign shall be erected in a prominent position on the site stating the following:
- a) that unauthorised entry to the work site is prohibited;
 - b) the name of the principal contractor (or person in charge of the site) and a telephone number on which that person can be contacted at any time for business purposes and outside working hours; and
 - c) the name, address and telephone number of the PCA.

The sign shall be maintained while the work is being carried out, and shall be removed upon the completion of works.

- (5) **Sydney Water Approval** - The approved development plans shall be approved by Sydney Water.
- (6) **Soil Erosion and Sediment Control** - Soil erosion and sediment controls must be implemented prior to works commencing on the site in accordance with 'Managing Urban Stormwater – Soils and Construction (the blue book)' and any Sediment and Erosion plans approved with this development consent.

Soil erosion and sediment control measures shall be maintained during construction works and shall only be removed upon completion of the project when all landscaping and disturbed surfaces have been stabilised (for example, with site turfing, paving or re-vegetation).

4.0 - During Works

The following conditions of consent shall be complied with during the construction phase of the development.

- (1) **Construction Hours** - All work (including delivery of materials) shall be restricted to the hours of 7.00am to 5.00pm Monday to Saturday inclusive. Work is not to be carried out on Sundays or Public Holidays.
- (2) **Compliance with BCA** - All building work shall be carried out in accordance with the requirements of the BCA.
- (3) **Retaining Walls** - The following restrictions apply to any retaining wall erected within the allotment boundaries:
 - a) retaining walls shall be constructed a minimum of 300mm from any property boundary to ensure all associated drainage and backfill remain wholly within the subject property;

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-
- b) adequate provisions shall be made for surface and subsurface drainage of retaining walls and all water collected shall be diverted to, and connected to, a stormwater disposal system within the property boundaries;
 - c) retaining walls shall not be erected within drainage easements; and
 - d) retaining walls shall not be erected in any other easement present on the land without the approval of the relevant authority benefited.
- (4) **Stormwater – Collection and Discharge Requirements** - The roof of the subject building(s) shall be provided with guttering and down pipes and all drainage lines, including stormwater drainage lines from other areas and overflows from rainwater tanks, conveyed to the street gutter for Unit 1 and the easement for Unit 2.
- Connection to the drainage easement or kerb shall only occur at the designated connection point for the allotment. New connections that require the rectification of an easement pipe or kerb shall only occur with the prior approval of Camden Council.
- All roofwater shall be connected to the approved roofwater disposal system immediately after the roofing material has been fixed to the framing members. The PCA shall not permit construction works beyond the frame inspection stage until this work has been carried out.
- (5) **Works by Owner** - Where a portion of the building works do not form part of a building contract with the principal contractor (builder) and are required to be completed by the owner, such works shall be scheduled by the owner so that all works coincide with the completion of the main building being erected by the principal contractor.
- (6) **Survey Report** - The building shall be set out by a registered land surveyor. A peg out survey detailing the siting of the building in accordance with the approved plans shall be provided to the PCA prior to the pouring of concrete.
- (7) **Easements** - No changes to site levels, or any form of construction shall occur within any easements that may be located on the allotment.

5.0 - Prior to Issue of an Occupation Certificate

The following conditions of consent shall be complied with prior to the issue of an Occupation Certificate.

- (1) **Occupation Certificate Required**- An Occupation Certificate shall be obtained prior to any use or occupation of the development.
- (2) **Survey Certificate** - A registered surveyor shall prepare a Survey Certificate to certify that the location of the building in relation to the allotment boundaries complies with the approved plans or as specified by this consent. The Survey Certificate shall be provided to the satisfaction of the PCA.
- (3) **Driveway Crossing Construction** – The driveway crossing shall be constructed in accordance with this consent and the Driveway Crossing Approval (PRA) prior to use or occupation of the development.



-
- (4) **Waste Management Plan** - The PCA shall ensure that all works have been completed in accordance with the approved waste management plan referred to in this development consent.
- (5) **Services** - Certificates and/or relevant documents shall be obtained from the following service providers and provided to the PCA:
- a) Energy supplier – Evidence demonstrating that satisfactory arrangements have been made with the energy supplier to service the proposed development;
 - b) Telecommunications – Evidence demonstrating that satisfactory arrangements have been made with a telecommunications carrier to service the proposed development; and
 - c) Water supplier – Evidence demonstrating that satisfactory arrangements have been made with a water supply provider to service the proposed development.

6.0 – Ongoing Use

The following conditions of consent are operational conditions applying to the development.

- (1) **Residential Air Conditioning Units** - The operation of air conditioning units shall operate as follows:
- a) be inaudible in a habitable room during the hours of 10pm – 7am on weekdays and 10pm to 8am on weekends and public holidays; and
 - b) emit a sound pressure level when measured at the boundary of any neighbouring residential property, at a time other than those specified in (a) above, which exceeds the background (LA90, 15 minutes) by more than 5dB(A). The source noise level shall be measured as a LAeq 15 minute.

7.0 - Prior to Issue of a Subdivision Certificate

The following conditions of consent shall be complied with prior to the issue of a Subdivision Certificate.

- (1) **Plan of Subdivision** - An application is to be provided to Council or a PCA for approval prior to the issue of the certified Plan of Subdivision.

The applicant will be required to submit documentary evidence that the property has been developed in accordance with the plans approved by this development consent and of compliance with the relevant conditions of consent, prior to the issuing the Plan of Torrens Title Subdivision.

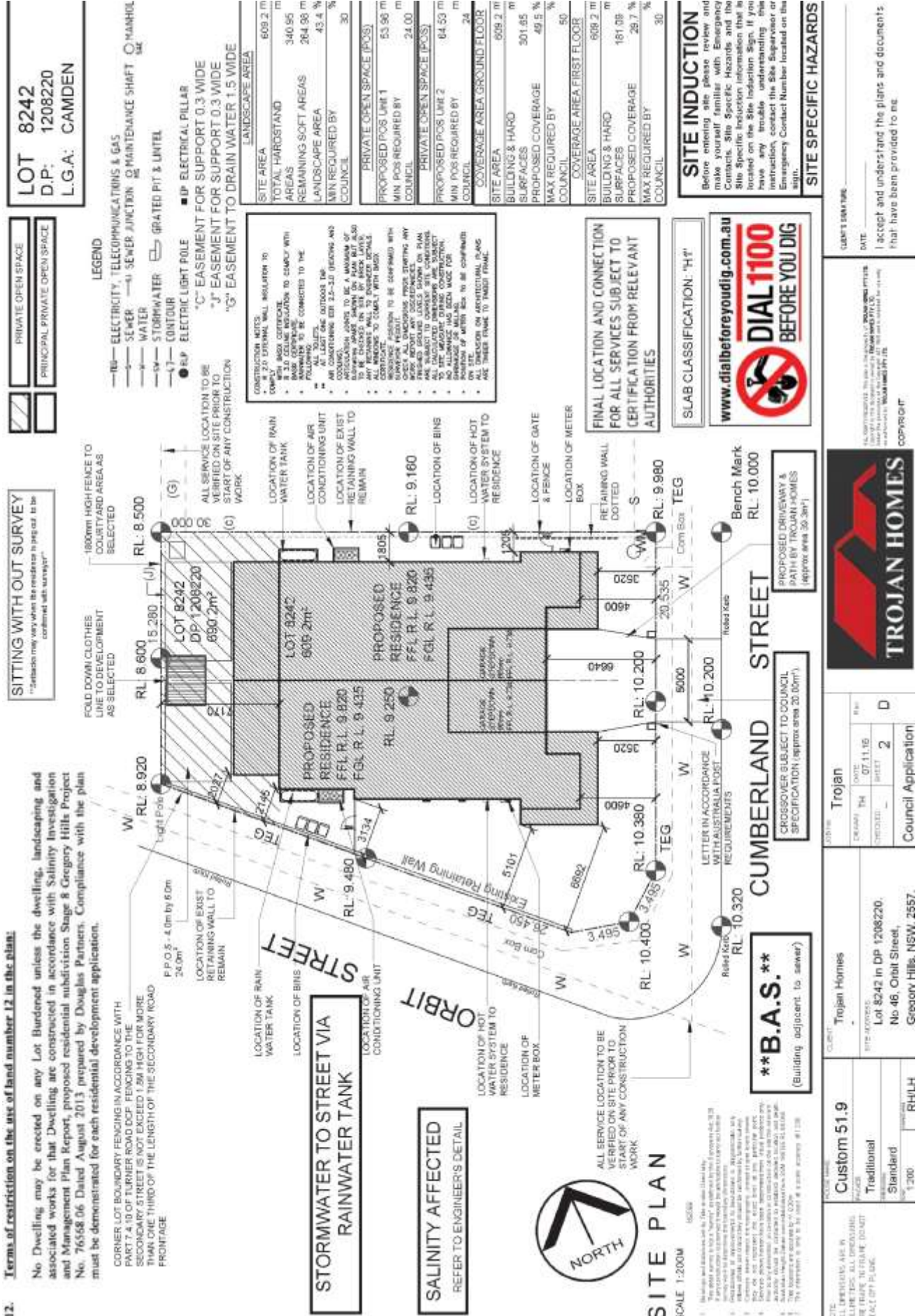
- (2) **Requirements for a Subdivision Certificate** - The application for subdivision certificate shall be made in accordance with the requirements of Clause 157 of the Environmental Planning & Assessment Regulation 2000.



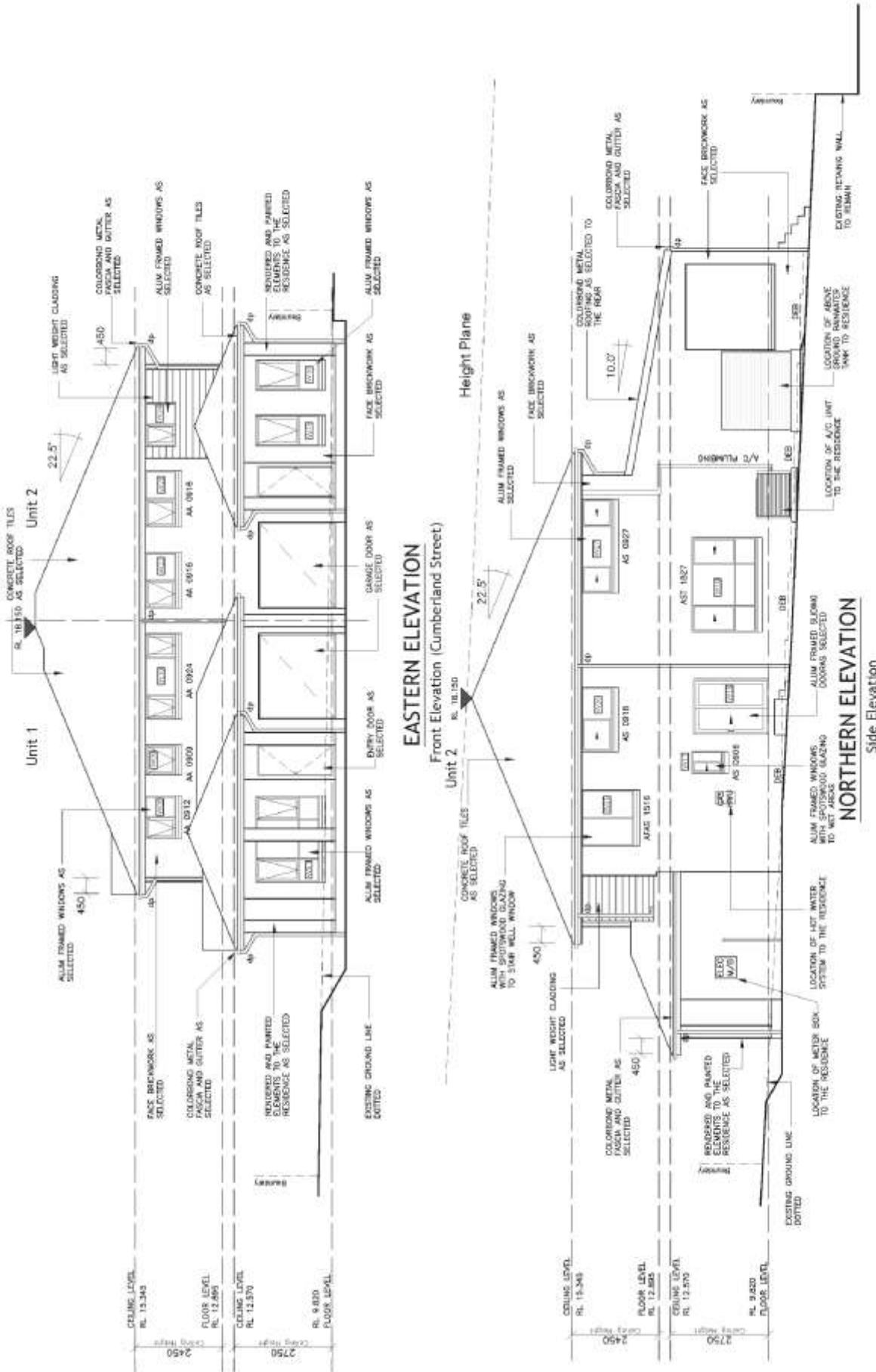
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- (3) **Show Easements/Restrictions on the Plan of Subdivision** - The developer shall acknowledge all existing easements and/or restrictions on the use of the land on the final plan of subdivision.
 - (4) **Burdened Lots to Be Identified** - Any lots subsequently identified during construction of the subdivision as requiring restrictions shall also be suitably burdened.
 - (5) **Creation of "Party Wall" Easement** – The plan of subdivision shall identify the building footprint and party wall easement associated with the proposed development.
 - (6) **Subdivision Certificate** - The issue of a Subdivision Certificate is not to occur until the issue of an occupation certificate by an accredited certifier, all conditions of this development consent have been satisfactorily addressed and all engineering works are complete, unless otherwise approved in writing by the PCA.

This is the report submitted to the held on

Page 9



Attachment 2
ORD03



CLIENT'S SIGNATURE _____
DATE _____
I accept and understand the plans and documents that have been provided to me

ALL INFORMATION IS SUBJECT TO THE T&Cs OF THE DEVELOPER'S WEBSITE
IF YOU HAVE ANY COMMENTS OR CONCERNS PLEASE CONTACT US AT 1300 654 674
OR VISIT US AT TROJANHOMES.COM.AU

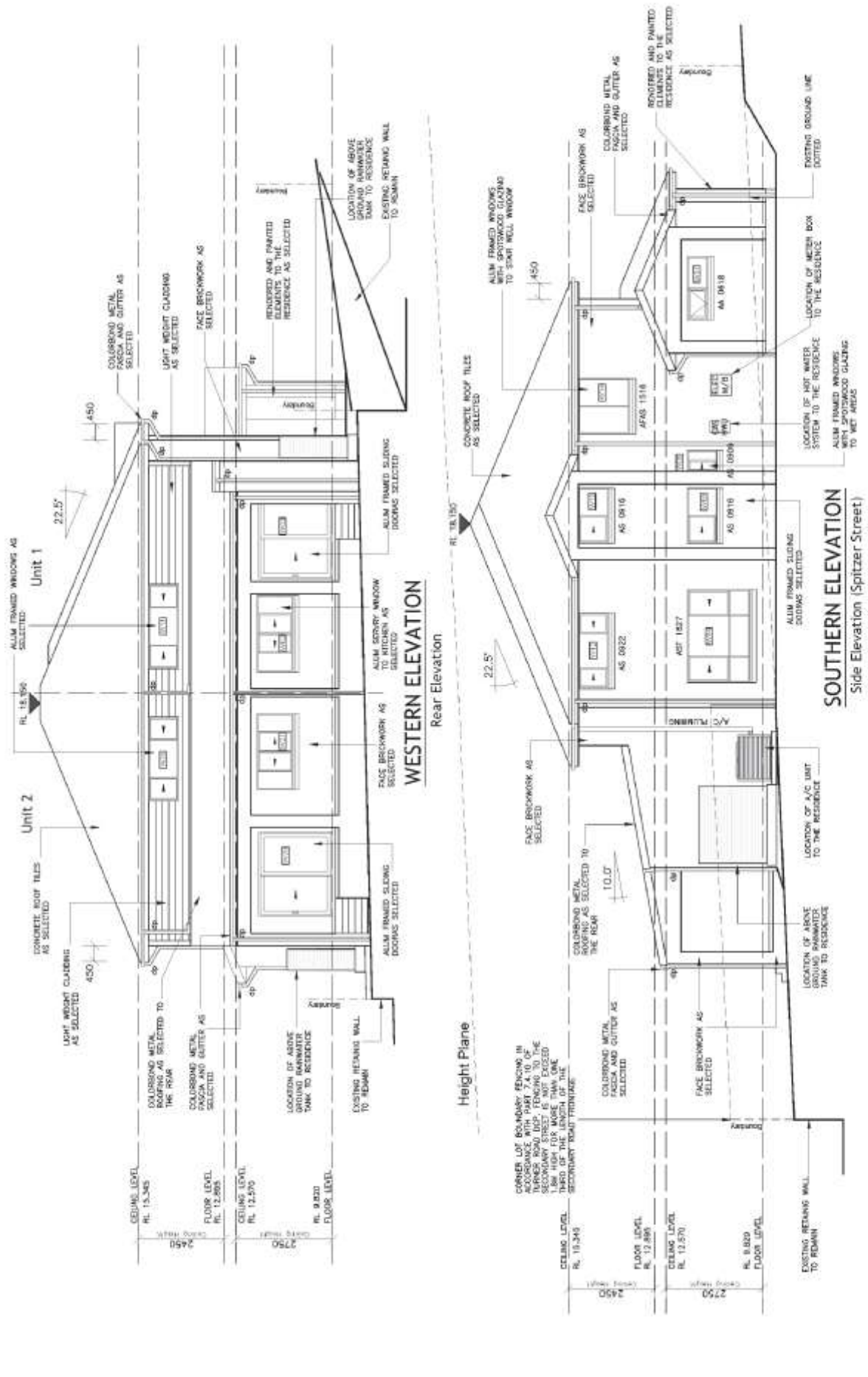


Trojan	
DATE	07.11.16
DRAWN BY	TH
CHECKED BY	
SHEET	6
OF	D

PROJECT: Trojan Homes
SITE ADDRESS: Lot 8242 in DP 1208220,
No 46, Orit Street,
Greenvale Hills, NSW, 2657.

PROJECT NAME	Custom 51.9
PACKAGE	Traditional Standard
SCALE	1:100
DATE	RH1/H

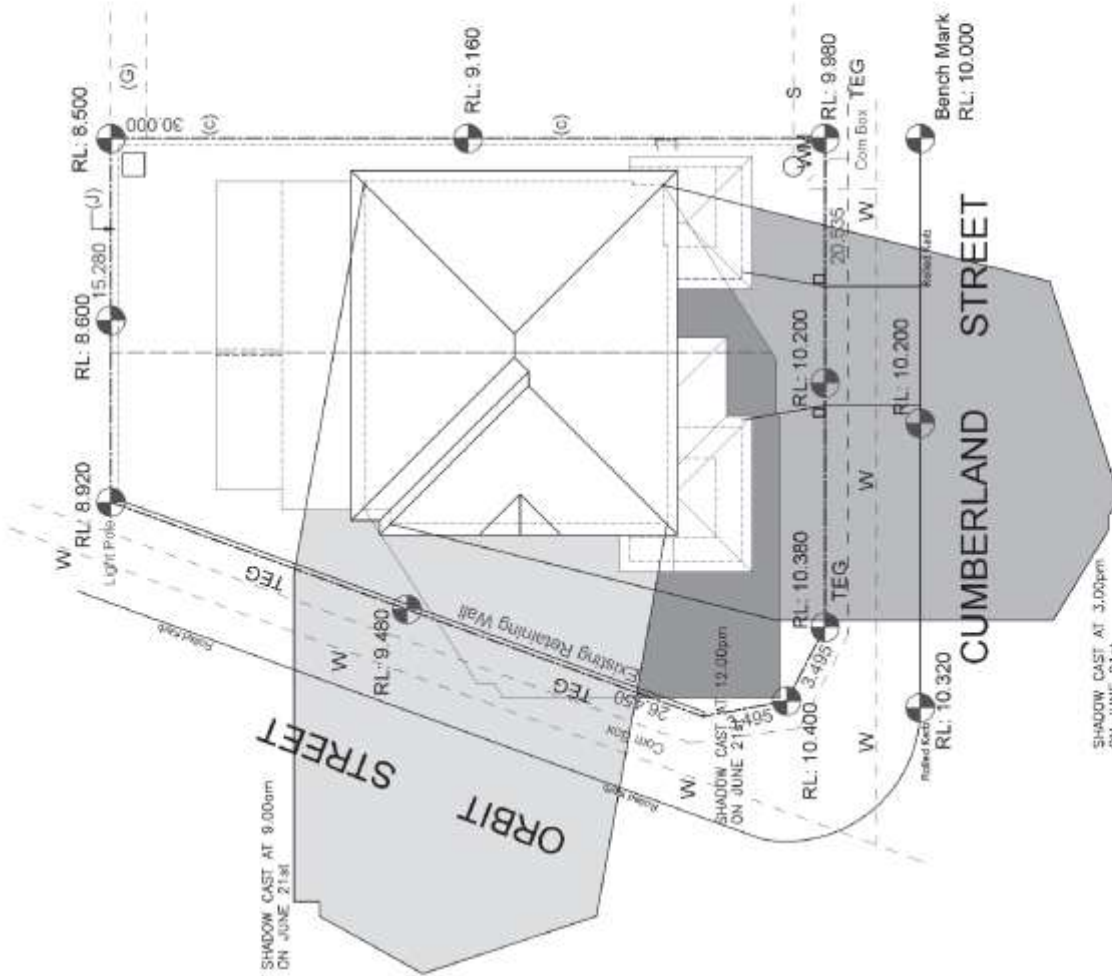
COPYRIGHT



Customer Name: Custom 51.9
Project: Traditional Standard
Site Address: Lot 8242 in DP 1208220, No 46, Orbit Street, Carrara Hills NSW 9457
Client: Trojan Homes
Design: Trojan
Drawn: TH
Checked: 07.11.18
Scale: 7
Sheet: D

Client's Signature: _____
Date: _____
 I accept and understand the plans and documents that have been provided to me.

Copyright: Trojan Homes Pty Ltd. All rights reserved. This plan is the property of Trojan Homes Pty Ltd. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Trojan Homes Pty Ltd.



- SHADOW CAST AT 9.00am
ON JUNE 21st
- SHADOW CAST AT 12.00pm
ON JUNE 21st
- SHADOW CAST AT 3.00pm
ON JUNE 21st

**SHADOW DIAGRAM - 21st JUNE
TO FIRST FLOOR OF HOUSE ONLY**

<p>CLIENT: Trojan Homes</p> <p>PROJECT: Custom 51.9 Traditional Standard</p> <p>SCALE: 1:200</p>	<p>CLIENT: Trojan</p> <p>DATE: 07.11.16</p> <p>CHECKED: 13</p> <p>Council Application:</p>	<p>CLIENT'S SIGNATURE:</p> <p>44/RL</p> <p>I accept and understand the plans and documents that have been provided to me.</p>	<p>CLIENT'S SIGNATURE:</p> <p>44/RL</p> <p>I accept and understand the plans and documents that have been provided to me.</p>
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ATTACHMENT 1 - RECOMMENDED CONDITIONS

1.0 - General Conditions of Consent

- (1) **Approved Plans and Documents** - Development shall be carried out in accordance with the following plans and documentation, and all recommendations made therein, except where amended by the conditions of this development consent:

Plan Reference/ Drawing No.	Name of Plan	Prepared by	Date
A101 – B	Site Plan	Barrelle Guirguis Architects	11 July 2016
A102 – B	Front Yard	Barrelle Guirguis Architects	11 July 2016
A103 – B	Level 1 Play Rooms	Barrelle Guirguis Architects	11 July 2016
A104 – B	Ground Floor Play Rooms	Barrelle Guirguis Architects	11 July 2016
A105 – B	Backyard Play Area	Barrelle Guirguis Architects	11 July 2016
A106 – B	Car Park	Barrelle Guirguis Architects	11 July 2016
A107 – B	East Elevation	Barrelle Guirguis Architects	11 July 2016
A108 – B	West Elevation	Barrelle Guirguis Architects (7)	11 July 2016
A109 – B	South Elevation	Barrelle Guirguis Architects	11 July 2016
A110 – B	North Elevation/ Longitudinal Driveway	Barrelle Guirguis Architects	11 July 2016
A111 – B	Section AA	Barrelle Guirguis Architects	11 July 2016
A112 – B	Section BB	Barrelle Guirguis Architects	11 July 2016
16216 – A C2	Drainage Plan/ Box Gutter Rainwater Head Detail	D & M Consulting Pty Ltd.	24 June 2016
16216 – A C3	Site Plan	D & M Consulting Pty Ltd.	24 June 2016

- (2) **Building Code of Australia** - All building work shall be carried out in accordance with the BCA. In this clause, a reference to the BCA is a reference to that Code as in force on the date the application for the relevant Construction Certificate is made.



- (3) **Shoring and Adequacy of Adjoining Property Works** - If the approved development involves an excavation that extends below the level of the base of the footings of a building, structure or work on adjoining land, the person having the benefit of the consent shall, at the person's own expense:
- protect and support the adjoining building, structure or work from possible damage from the excavation; and
 - where necessary, underpin the building, structure or work to prevent any such damage.

This condition does not apply if the person having the benefit of the consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying

A copy of the written consent must be provided to the PCA prior to the excavation commencing.

- (4) **Engineering Specifications** - The entire development shall be designed and constructed in accordance with Council's Engineering Specifications and the relevant DCP.
- (5) **Delivery Register** - The applicant must maintain a register of deliveries which includes date, time, truck registration number, quantity of fill, origin of fill and type of fill delivered. This register must be made available to Camden Council officers on request and be submitted to the Council at the completion of the development.
- (6) **Construction and Demolition Waste Management Plan (CWMP)** – The approved construction and demolition waste management plan titled "Waste Management Plan, Prepared by Barrelle Guirguis Architects." (or similar plan), must be kept on site and be complied with until the completion of all construction and demolition works.
- (7) **Roof Mounted Equipment** - All roof mounted equipment such as air conditioning units, etc., required to be installed shall be integrated into the overall design of the building and not appear visually prominent or dominant from any public view. Any such equipment must not cause the maximum height of the approved development to exceed 9.5m from existing ground level.

2.0 – Prior to Issue of a Construction Certificate

The following conditions of consent shall be complied with prior to the issue of a Construction Certificate.

- (1) **Civil Engineering Plans** - Civil engineering plans indicating drainage, roads, accessways, earthworks, pavement design, details of line-marking, traffic management, water quality and quantity facilities including stormwater detention and disposal, shall be prepared in accordance with the approved plans and Council's Engineering Design and Construction Specifications. Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.

Note. Under the *Roads Act 1993*, only the Roads Authority can approve commencement of works within an existing road reserve.

- (2) **Dilapidation Report – Council Property** – A Dilapidation Report prepared by a suitably qualified person, including a photographic survey of existing public roads,



kerbs, footpaths, drainage structures, street trees and any other existing public infrastructure within the immediate area of the subject site. Details demonstrating compliance shall be provided to the Certifying Authority prior to issue of a Construction Certificate.

- (3) **Traffic Management Plan** – A Traffic Management Plan (TMP) shall be prepared in accordance with Council's Engineering Specifications and AS 1742.3. Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.

- (4) **Easement Creation** – Drainage easements shall be obtained over downstream properties where drains for the disposal of stormwater are located across lands owned by others (and where the drainage is not within a water course). The width of the drainage easement/s shall be in accordance with Council's Engineering Specifications. Details demonstrating compliance shall be provided to Council with the Construction Certificate application.

The easement shall be registered with the NSW Land & Property Information prior to the issue of an Occupation Certificate.

- (5) **Stormwater Detention and Water Quality** – An on-site detention system and water quality system shall be provided for the site and designed in accordance with Council's Engineering Specifications.

A detailed on-site detention and water quality report reflecting the Construction Certificate plans shall be provided to the Certifying Authority with the Construction Certificate application.

- (6) **Soil, Erosion, Sediment and Water Management** – An erosion and sediment control plan shall be prepared in accordance with Council's Engineering Specifications. Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.

- (7) **Environmental Management Plan** - An Environmental Management Plan (EMP) prepared in accordance with Council's Engineering Design Specification shall be provided to the Certifying Authority.

The Environmental Management Plan shall address the manner in which site operations are to be conducted and monitored to ensure that adjoining landuses and the natural environment is not unacceptably impacted upon by the proposal. The Environment Management Plan shall include but not be necessarily limited to the following measures:

- a) Measures to control noise emissions from the site;
 - b) Measures to suppress odours and dust emissions;
 - c) Soil and sediment control measures;
 - d) Measures to control air emissions that includes odour;
 - e) Measures and procedures for the removal of hazardous materials that includes waste and their disposal;
 - f) Any other recognised environmental impact; and
 - g) Community Consultation.
- (8) **Landscape Plan** – A detailed landscape plan prepared in accordance with Council's Engineering Specifications. Details demonstrating compliance shall be provided to the Certifying Authority.



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- a) plan to be amended to show garden strip on the internal side of the 2.1m acoustic fence to be a minimum of 400mm wide
 - b) amend landscape plan to show additional climbing species and or method to facilitate climbing
 - c) amend landscape plan to show additional tree planting (trees capable of reaching a mature height of 6m) in front of the building line.
 - d) amend landscape plan to show shrubs capable of reaching a mature height of 3m in front of the building line.
 - e) Plan to show provision of irrigation system and proposed garden edge treatment.
- (9) **Food Premises** - The design, construction, fit-out, use and ongoing operation of the food premises and/or food storage area shall comply with all applicable Acts, Regulation, codes and standards including:
- a) the *Food Act 2003*;
 - b) the *Food Regulation 2015*;
 - c) Food Standards Australia and New Zealand – Food Standards Code 2003;
 - d) Council's Food Premises Code;
 - e) AS 1668 'The use of ventilation and air conditioning in buildings';
 - f) the BCA; and
 - g) AS 4674-2004. Design, construction and fitout of food premises
- Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.
- (10) **Mechanical Exhaust System** - Mechanical exhaust system(s) shall comply with the BCA and AS 1668 Parts 1 and 2 (including exhaust air quantities and discharge location points). Details demonstrating compliance shall be provided to the Certifying Authority.
- (11) **Vehicular Site Access** – Vehicular access to the site shall be limited to left in/left out by the extension of the existing pedestrian refuge island. The pedestrian refuge island shall be modified to meet current Australian Standards AS1742.10 and Roads and Maritime Services technical guideline TDT2011/01. Plans must be submitted to and approved by the Local Traffic Committee prior to Construction Certificate being issued.
- (12) **Traffic Island details** – Engineering details and specifications of the alterations to the existing traffic island shall be provided to Council's Traffic Committee for approval prior to the issue of the construction certificate.
- (13) **Car Parking** – The development must make provision for 18 car spaces on the site for car parking of staff and visitors. All carparking shall comply with AS 2890.1 and 2890.6.
- (14) **Change to Driveway Colour Scheme** – the bright red (*c1 Boral Oxide Vesuvius*) proposed for the driveway and pedestrian path shall be changed to a neutral colour such as mid grey. This shall be reflected on the plans prior to the issue of the Construction Certificate.
- (15) **Long Service Levy** - In accordance with Section 34 of the *Building and Construction Industry Long Service Payments Act 1986*, the applicant shall pay a long service levy at the prescribed rate to either the Long Service Payments Corporation or Council for any work that cost \$25,000 or more.



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- (16) **Premises Standards** - Details shall be provided to the Certifying Authority demonstrating compliance with the requirements of *Disability (Access to Premises – Buildings) Standards 2010*.
- (17) **Fencing** – All boundary acoustic fencing shall be constructed of lapped and capped timber no higher than 2.1 metres and shall not extend forward of the front façade of the building. All fencing forward of the front façade shall be restricted to 1.2 metres high picket fencing to ensure no adverse impact on the Heritage Conservation Area. The acoustic fencing and picket fencing shall be matching in colour. The details shall be reflected on the Construction Certificate plans prior to the release of the Construction Certificate.

3.0 - Prior to Commencement of Works

The following conditions of consent shall be complied with prior to any works commencing on the development site.

- (1) **Public Liability Insurance** - The owner or contractor shall take out a Public Liability Insurance Policy with a minimum cover of \$20 million in relation to the occupation of, and works within, public property (i.e. kerbs, gutters, footpaths, walkways, reserves, etc)
- (2) **Notice Commencement of Work** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with Clause 104 of the EP&A Regulation 2000. The notice shall include:
- the name and address of the person by whom the notice is being given;
 - a description of the work to be carried out;
 - the address of the land on which the work is to be carried out;
 - the registered number and date of issue of the relevant development consent and construction certificate;
 - a statement signed by or on behalf of the PCA to the effect that all conditions of the consent that are required to be satisfied prior to the work commencing have been satisfied; and
 - the date on which the work is intended to commence.
- (3) **Notice of PCA Appointment** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with Clause 103 of the EP&A Regulation 2000. The notice shall include:
- a description of the work to be carried out;
 - the address of the land on which the work is to be carried out;
 - the registered number and date of issue of the relevant development consent;
 - the name and address of the PCA, and of the person by whom the PCA was appointed;
 - if the PCA is an accredited certifier, his, her or its accreditation number, and a statement signed by the accredited certifier consenting to being appointed as PCA; and
 - a telephone number on which the PCA may be contacted for business purposes
- (4) the address of the land on which the work is to be carried out;
- the registered number and date of issue of the relevant development consent and construction certificate;



-
- b) a statement signed by or on behalf of the PCA to the effect that all conditions of the consent that are required to be satisfied prior to the work commencing have been satisfied; and
- c) the date on which the work is intended to commence.
- (5) **Construction Certificate required** - In accordance with the provisions of Section 81A of the *EP&A Act 1979*, construction or subdivision works approved by this consent shall not commence until the following has been satisfied:
- a) a Construction Certificate has been issued by a Certifying Authority;
- b) a Principal Certifying Authority (PCA) has been appointed by the person having benefit of the development consent in accordance with Section 109E of the *EP&A Act 1979*;
- c) if Council is not the PCA, Council is notified of the appointed PCA at least two (2) days before building work commences;
- d) the person having benefit of the development consent notifies Council of the intention to commence building work at least two (2) days before building work commences; and
- e) the PCA is notified in writing of the name and contractor licence number of the owner/builder intending to carry out the approved works.
- (6) **Sign of PCA and Contact Details** - A sign shall be erected in a prominent position on the site stating the following:
- a) that unauthorised entry to the work site is prohibited;
- b) the name of the principal contractor (or person in charge of the site) and a telephone number on which that person can be contacted at any time for business purposes and outside working hours; and
- c) the name, address and telephone number of the PCA.
- The sign shall be maintained while the work is being carried out, and shall be removed upon the completion of works.
- (7) **Performance Bond** - Prior to commencement of works a performance bond of \$5000.00 must be lodged with Camden Council in accordance with Camden Council's Engineering Construction Specifications.
- Note** – An administration fee is payable upon the lodgement of a bond with Council.
- (8) **Soil Erosion and Sediment Control** - Soil erosion and sediment controls must be implemented prior to works commencing on the site in accordance with 'Managing Urban Stormwater – Soils and Construction (the blue book)' and any Sediment and Erosion plans approved with this development consent.
- Soil erosion and sediment control measures shall be maintained during construction works and shall only be removed upon completion of the project when all landscaping and disturbed surfaces have been stabilised (for example, with site turfing, paving or re-vegetation).
- (9) **Demolition Work** - Consent is granted for the demolition of the dwelling house and associated structures currently existing on the property, subject to compliance with the following conditions:
- a) The developer shall notify adjoining residents of demolition works seven (7) working days prior to demolition. Such notification is to be clearly written on A4 size paper giving the date demolition will commence and be placed in the



- letterbox of every premises (including every residential flat or unit, if any) either side, immediately at the rear of, and directly opposite, the demolition site;
- b) Prior to demolition, the applicant shall erect a sign at the front of the property with the demolisher's name, licence number, contact phone number and site address;
 - c) Prior to demolition, the applicant shall erect a 1.8m high temporary fence and hoarding between the work site and any public property (footpaths, roads, reserves etc). Access to the site shall be restricted to authorised persons only and the site shall be secured against unauthorised entry when work is not in progress or when the site is otherwise unoccupied;
 - d) Suitable erosion and sediment control measures in accordance with an approved erosion and sediment control plan shall be installed prior to the commencement of demolition works and shall be maintained at all times;
 - e) A Work Plan prepared by a suitably qualified person in accordance with AS 2601 'Demolition of Structures' shall be provided to the PCA for approval prior to demolition works commencing. The Work Plan shall identify hazardous materials including surfaces coated with lead paint, method of demolition, the precautions to be employed to minimise any dust nuisance and the disposal methods for hazardous materials;
 - f) If the property was built prior to 1987, an asbestos survey shall be carried out by a suitably qualified person prior to demolition. If asbestos is found, a WorkCover Authority licensed contractor shall remove all asbestos in accordance with the requirements of the WorkCover Authority, including notification of adjoining neighbours of asbestos removal;
 - g) The burning of any demolished material on site is not permitted and offenders will be prosecuted; and
 - h) Care shall be taken during demolition to ensure that existing services on the site (i.e. sewer, electricity, gas, phone, etc) are not damaged. Any damage caused to existing services is to be repaired by the relevant authority at the expense of the applicant.
- (10) **Hazardous Building Materials Assessment** - A hazardous building material assessment shall be undertaken on all buildings and structures to be demolished that identifies all hazardous components on site. A HBMA report shall be provided to the PCA and Council.
- Once hazardous components are identified, all demolition works that involve the demolition and removal of the hazardous materials shall ensure that all site personnel are protected from risk of exposure in accordance with relevant NSW WorkCover Authority and NSW Demolition Guidelines. Premises and occupants on adjoining land shall also be protected from exposure to any hazardous materials.
- (11) **Site is to be Secured** - The site shall be secured and fenced to the satisfaction of the PCA. All hoarding, fencing or awnings (associated with securing the site during construction) is to be removed upon the completion of works.
- (12) **Sydney Water Approval** - The approved development plans shall be approved by Sydney Water.

4.0 - During Works



The following conditions of consent shall be complied with during the construction phase of the development.

- (1) **Construction Hours** - All work (including delivery of materials) shall be restricted to the hours of 7.00am to 5.00pm Monday to Saturday inclusive. Work is not to be carried out on Sundays or Public Holidays.
- (2) **Traffic Management Plan Implementation** - All construction traffic management procedures and systems identified in the approved Construction Traffic Management Plan shall be introduced and maintained during construction of the development to ensure safety and to minimise the effect on adjoining pedestrian and traffic systems.
- (3) **Site Signage** – A sign shall be erected at all entrances to the subdivision site and be maintained until the subdivision has reached 80% occupancy. The sign shall be constructed of durable materials, be a minimum of 1200mm x 900mm, and read as follows:

"WARNING UP TO \$1,500 FINE. It is illegal to allow soil, cement slurry or other building materials to enter, drain or be pumped into the stormwater system. Camden Council (02 4654 7777) – Solution to Pollution."

The wording shall be a minimum of 120mm high and the remainder a minimum of 60mm high. The warning and fine details shall be in red bold capitals and the remaining words in dark coloured lower case letters on a white background, surrounded by a red border.
- (4) **Soil, Erosion, Sediment and Water Management – Implementation** - All requirements of the erosion and sediment control plan and/or soil and water management plan shall be maintained at all times during the works and any measures required by the plan shall not be removed until the site has been stabilised.
- (5) **Unexpected Finds Contingency (Remediation)** – Should any additional contamination or hazardous materials be encountered during any stage of the remediation process, all remediation works in the vicinity of the findings shall cease and compliance with the contingency recommendations in the approved remediation action plan shall be adopted.
- (6) **Fill Material** - Importation and/or placement of any fill material on the subject site, a validation report and sampling location plan for such material must be provided to and approved by the Principal Certifying Authority.

The validation report and associated sampling location plan must:

- a) be prepared by a person with experience in the geotechnical aspects of earthworks;
- b) be endorsed by a practising engineer with Specific Area of Practice in Subdivisional Geotechnics;
- c) be prepared in accordance with:
 Virgin Excavated Natural Material (VENM):
 - i) the Department of Land and Water Conservation publication "Site investigation for Urban Salinity"; and
 - ii) the Department of Environment and Conservation - Contaminated Sites Guidelines "Guidelines for the NSW Site Auditor Scheme



(Second Edition) - Soil Investigation Levels for Urban Development Sites in NSW".

- d) confirm that the fill material;
- i) provides no unacceptable risk to human health and the environment;
 - ii) is free of contaminants;
 - iii) has had salinity characteristics identified in the report, specifically the aggressiveness of salts to concrete and steel (refer Department of Land and Water Conservation publication "Site investigation for Urban Salinity");
 - iv) is suitable for its intended purpose and land use; and
 - v) has been lawfully obtained.

Sampling of VENM for salinity of fill volumes:

- e) less than 6000m³ - 3 sampling locations;
- f) greater than 6000m³ - 3 sampling locations with 1 extra location for each additional 2000m³ or part thereof.

For e) and f) a minimum of 1 sample from each sampling location must be provided for assessment.

Sampling of VENM for Contamination and Salinity should be undertaken in accordance with the following table:

Classification of Fill Material	No of Samples Per Volume	Volume of Fill (m ³)
Virgin Excavated Natural Material	1 (see Note 1)	1000 or part thereof

Note 1: Where the volume of each fill classification is less than that required above, a minimum of 2 separate samples from different locations must be taken.

- (7) **Erosion and Sedimentation Control** - Soil erosion and sedimentation controls are required to be installed and maintained for the duration of the works. The controls must be undertaken in accordance with version 4 of the Soils and Construction – Managing Urban Stormwater manual (Blue Book).
- (8) **Location of Stockpiles** - Stockpiles of soil shall not be located on / near any drainage lines or easements, natural watercourses or water bodies, footpath or roadway without first providing suitable protective measures adequate to protect these water bodies. All stockpiles of contaminated materials shall be suitably covered to prevent dust and odour nuisance.
- (9) **Disposal of Stormwater** - Water seeping into any site excavations is not to be pumped into the stormwater system unless it complies with relevant EPA and ANZECC standards for water quality discharge.



- (10) **Fencing and Signage of Contaminated Stockpiles** - all stockpiles of contaminated materials must be suitably fenced or cordoned off with suitable signage to be provided warning of any potential danger.
- (11) **Off-Site Disposal Of Contaminated Soil / Materials** – all contaminated materials proposed to be disposed off-site must be disposed to a Licensed Landfill Facility able to accept the classification of waste material.
- (12) **WorkCover Authority** - All remediation work must comply with relevant requirements of NSW WorkCover Authority.
- (13) **Salinity Management** - All proposed works that includes earthworks, imported fill and landscaping, buildings, and associated infrastructure proposed to be constructed on the land must be carried out or constructed in accordance with "Level 1 Management" contained within "*Salinity Investigation Report: 31 Broughton Street Camden NSW, Prepared by Envirotech, Report No REP 309616-A, Dated 6 May 2016.*"
- (14) **Construction and Remediation Noise Levels** – Noise levels emitted during construction and remediation works shall be restricted to comply with the construction noise control guidelines set out in Chapter 171 of the NSW EPA's Environmental Noise Control Manual. This manual recommends;
- Construction period of 4 weeks and under:
- The L10 level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 20 dB(A).
- Construction period greater than 4 weeks:
- The L10 level measured over a period of not less than 15 minutes when the construction site is in operation must not exceed the background level by more than 10 dB(A).
- (15) **Offensive Noise, Dust, Odour, Vibration** – Construction work shall not give rise to offensive noise or give rise to dust, odour, vibration as defined in the Protection of the Environment Operations Act 1997" when measured at the property boundary.
- (16) **Removal Of Waste Materials** – Where there is a need to remove any identified materials from the site that contain fill / rubbish / asbestos, this material will need to be assessed in accordance with the NSW DECC Waste Classification Guidelines (April 2008)
- (refer www.environment.nsw.gov.au/waste/envguidlms/index.htm) Once assessed, the materials will be required to be disposed to a licensed waste facility suitable for the classification of the waste with copies of tipping dockets supplied to Council.
- (17) **Compliance of Remediation Work** - All remediation work must also comply with the following requirements:
- Contaminated Land Management Act 1997;
 - Department of Urban Affairs and Planning – Contaminated Land Planning Guidelines 1998;
 - SEPP55 – Remediation of Land;
 - Sydney Regional Plan No. 20 Hawkesbury Nepean River (No.2 –1997); and,



- Camden Council's Adopted Policy for the Management Of Contaminated lands.
- (18) **Alternative Ventilation for Rooms** - where rooms require windows to be closed (but not necessarily sealed) to meet internal noise criteria, the provision of alternative ventilation (possibly mechanical provided there is a fresh air intake) that meets the requirements of the Building Code of Australia (BCA) will need to be provided to ensure fresh airflow inside the building. Consultation with a mechanical engineer to ensure that BCA and AS1668 are achieved may be required.
- (19) **Mechanical Plant Selection and Attenuation** - Mechanical plant selection should not exceed 70 dB(A) of noise. All plant must be screened with suitable acoustic materials to provide a minimum noise reduction level of 25 dB(A) when noise of plant is measured at a distance of one meter inside the nearest affected residential boundary. Selection of suitable mechanical plant must be undertaken with the involvement of a suitably qualified acoustic consultant.
- (20) **Building Treatments and Glazing** - The walls, roof, windows and doors of the centre building are to incorporate the construction requirements identified in "Section 6 – Childcare Centre" contained within the report "*Acoustic Assessment: 31 Broughton Street Camden NSW, Prepared by Envirotech, Report No REP 308916-A, Dated 10 August 2016.*".
- (21) **Remediation Works Inspections** - A qualified environmental consultant or scientist will be required to frequently inspect the remediation works to confirm compliance with the RAP that includes all health and safety requirements.
- (22) **Conditional Approval for Tree Removal** - Consent is granted for the removal of three (3) trees as proposed and as indicated on the Architectural Plans

The following conditions apply;

- a) Approved tree works are to be undertaken in accordance with the relevant provisions of AS 4373 'Pruning of amenity trees' and is to be carried out in accordance with the WorkCover NSW Code of Practice for the Amenity Tree Industry.
- b) Approved tree work should only be carried out by a fully insured and qualified Arborist. Suitable qualifications for an Arborist are to be a minimum standard of Australian Qualification Framework (AQF) Level 3 in Arboriculture for the actual carrying out of tree works and AQF Level 5 in Arboriculture for Hazard, Tree Health and Risk Assessments and Reports.
- c) This consent does not grant access to adjoining land. The applicant must negotiate any issues of access with adjoining property owners.
- d) Green waste and or timber generated from the approved tree work is to be recycled into mulch and reused on site or transferred to a designated facility for composting. Stock piles of green waste or processed timber for reuse including firewood must be stored behind the building line or place out view from the street within 28 days of the tree works authorised by this consent.
- e) All reasonable measures must be taken to protect vegetation on adjoining property from damage during the approved tree works. Owners consent is required before pruning of overhanging vegetation.
- f) Tree work is inherently noisy and potentially disruptive to normal traffic conditions in your street; as such the applicant shall notify (at least 24 hours prior) surrounding neighbours of the time and date of the approved tree works.



- g) **Tree Protection During Construction Work** – In general all trees on and off the site must be protected in accordance with the standards, specified in the "Australian Standard for Protection of Trees on Development Sites - AS 4970-2009". In particular special measures must be installed to protect the trunk and roots of existing tree/s from any form of damage either accidental or from approved construction processes. It is essential for ongoing tree health that damage to any bark or roots within the structural root zone is avoided as determined in clause 3.3.5 of the Standard for Protection of Trees on Development Sites.

Protective fencing or other approved barrier must be installed in accordance with clause 4.5.3 of the Standard. Signage must be installed to inform builders and other workers to strictly observe installed tree protection measures. Nothing including the signage is to be nailed or screwed into the tree.

Careful means of excavation to avoid excessive root pruning is to be exercised. No cut greater than 200mm within SRZ. Where root damage is unavoidably an arborist must be engaged to cleanly cut the effected roots by saw.

- (23) **Additional Approvals Required** - Where any works are proposed in the public road reservation, the following applications shall be made to Council, as applicable:

- a) For installation or replacement of private stormwater drainage lines or utility services, including water supply, sewerage, gas, electricity, etc., an application shall be made for a Road Opening Permit and an approval under Section 138 of the *Roads Act 1993*;
- b) For construction / reconstruction of Council infrastructure, including vehicular for a Roadworks Permit under Section 138 of the *Roads Act 1993*.

Note: Private stormwater drainage is the pipeline(s) that provide the direct connection between the development site and Council's stormwater drainage system, or street kerb and gutter.

- (24) **Noise During Work** - All work shall not give rise to an 'offensive noise' as defined in the *Protection of the Environment Operations Act 1997*.

All work shall comply with the requirement of the NSW Industrial Noise Policy and the Environment Protection Authority's Environmental Noise Manual.

- (25) **Survey Report** - The building shall be set out by a registered land surveyor. A peg out survey detailing the siting of the building in accordance with the approved plans shall be provided to the PCA prior to the pouring of concrete.

- (26) **Air Quality** - Vehicles and equipment used on site must be maintained in good working order and be switched off when not operating. The burning of any waste material is prohibited.

5.0 - Prior to Issue of an Occupation Certificate

The following conditions of consent shall be complied with prior to the issue of an Occupation Certificate.

- (1) **Completion of Landscape Works** - All landscape works, including the removal of noxious weed species, are to be undertaken in accordance with the approved landscape plan and conditions of this Development Consent.



-
- (2) **Food Premises** - The following notifications shall occur:
- a) Council shall be notified that the premises is being used for the preparation, manufacture or storage of food for sale and an inspection of the completed fit out is to be conducted. A 'Food Business Registration' form can be found on Council's website; and
 - b) the NSW Food Authority shall be notified and a copy of the notification shall be provided to Council. Notification can be completed on the NSW Food Authority website.
- (3) **Validation Report** - A validation report prepared by a suitable qualified person shall be provided to the PCA within 30 days of completion of the remediation works, and prior to the issue of a Subdivision Certificate, which demonstrates:
- a) compliance with objectives of the approved RAP;
 - b) that the remediation acceptance criteria (in the approved RAP) has been fully complied with;
 - c) that all remediation works comply with the contaminated lands planning guidelines, *Contaminated Lands Management Act 1997* and SEPP 55;
- and includes:
- d) Works-As-Executed Plan(s) that identify the extent of the remediation works undertaken (that includes any encapsulation work) prepared by a registered surveyor;
 - e) a "notice of completion of remediation work" as required under Clause 18 of SEPP 55; and
 - f) a statement confirming that the site following remediation of contamination is suitable for the intended use.
- (4) **Alternative Ventilation for Rooms** – where rooms require windows to be closed (but not necessarily sealed) to meet internal noise criteria, the provision of alternative ventilation (possibly mechanical provided there is a fresh air intake) that meets the requirements of the Building Code of Australia (BCA) will need to be provided to ensure fresh airflow inside the building. Consultation with a mechanical engineer to ensure that BCA and AS1668 are achieved may be required.
- (5) **Acoustic Barrier Servicing Outdoor Play Areas** - A solid acoustic fence at least 1.8 metres high (relative to ground levels of outdoor play areas) are to be constructed around the entire perimeter of all outdoor play areas. The location of the fences is to be consistent with the "site plan" (Drawing Number A101, Revision B, and Dated 11/7/2016).
- (6) **Acoustic Barrier Servicing Carpark and Driveways** - A solid acoustic fence at least 2.1 metres high (relative to ground level) is to be constructed around both sides and rear property boundary. The location of the fences is to be consistent with the "site plan" (Drawing Number A101, Revision B, Dated 11/7/2016).
- (7) **Hand Washing Facilities** - Hand basins shall be provided in accessible locations within each food preparation and food service area. (Note: AS4674-2004 requires that hand basins are accessible and no further than 5 m from any place where food handlers are handling open food). The hand basins must be:
- a) Provided with water at least 40°C from a mixed hot and cold supply;
 - b) Supplied with a sufficient supply of liquid soap and single-use towels or other suitable hand drying facilities located adjacent to the hand basin;



-
- c) Kept in a clean and sanitary condition and in good repair at all times;
 - d) Not used for any other purpose other than the washing of hands.
- (8) **Bottle Preparation Room** – This room must have a separate equipment washing sink and a dedicated hand washing basin. Both sink and basin are to be supplied with hot and cold water through a common spout.
- (9) **Compliance Letter** - Where the consent authority is not the Principle Certifying Authority (PCA) an additional inspection of the commercial kitchen must be undertaken by the Consent Authority (involving an Environmental Health Officer from the Consent Authority) prior to the issuing of an Occupation Certificate. A letter is to be issued from the Consent Authority certifying that the kitchen complies with the Food Codes and Regulations.
- (10) **Lockable Gate to be installed** – The Broughton Street access shall be secured via an inward swinging lockable gate outside of the operational hours of the child care centre. The gate and locking mechanism shall be installed in line with the front façade of the building prior to the issue of the Occupation Certificate.
- (11) **Traffic Island Works** – All works to the existing traffic island shall be satisfactorily completed to the details and specifications approved by Council's Traffic Committee prior to the Issue of the Occupation Certificate.
- (12) **Fire Safety Certificates** - A Fire Safety Certificate shall be provided to the PCA in accordance with the requirements of the EP&A Regulation 2000.
- (13) **Survey Certificate** - A registered surveyor shall prepare a Survey Certificate to certify that the location of the building in relation to the allotment boundaries complies with the approved plans or as specified by this consent. The Survey Certificate shall be provided to the satisfaction of the PCA.
- (14) **Footpath Crossing Construction** - A footpath crossing and driveway shall be constructed in accordance with this consent and the approved Construction Certificate prior to use or occupation of the development.
- (15) **Services** - Certificates and/or relevant documents shall be obtained from the following service providers and provided to the PCA:
- a) Energy supplier – Evidence demonstrating that satisfactory arrangements have been made with the energy supplier to service the proposed development;
 - b) Telecommunications – Evidence demonstrating that satisfactory arrangements have been made with a telecommunications carrier to service the proposed development; and
 - c) Water supplier – Evidence demonstrating that satisfactory arrangements have been made with a water supply provider to service the proposed development.

6.0 – Ongoing Use

The following conditions of consent are operational conditions applying to the development.

- (1) Prior to the building being operational a license to operate is to be issued by the NSW Department of Education and Communities (DEC) in accordance with the provisions of Children (Education and Care Services) Supplementary Provisions Act



2011 No 70 and the Children (Education and Care Services) Supplementary Provisions Regulation 2012.

- (2) **Offensive Noise** - The use and occupation of the premises including all plant and equipment shall not give rise to any offensive noise within the meaning of the *Protection of the Environment Operations Act 1997* and shall comply with the NSW Industrial Noise Policy 2000 (as amended).
- (3) **Windows to be closed** - Whilst children are participating in indoor activities the windows of the building are to be closed.
- (4) **Remediation Works** - All works proposed as part of the Remediation Action Plan that includes: remediation, excavation, stockpiling, onsite and offsite disposal, cut, backfilling, compaction, monitoring, validations, site management and security, health and safety of workers, must be undertaken on the site in accordance with the Remediation Action Plan titled
 "Environmental Site Assessment: Remediation Action Plan: 31 Broughton Street Camden NSW Prepared by Envirotech, Report no REP 3628-A, Dated 7 July 2016." except as stated in any other condition of this consent.
 Any further variation or modification to the Remediation Action Plan in terms of compliance work or remediation work beyond what is contained in the approved RAP or conditions of this consent must be requested from the Consent Authority (Camden Council) in writing prior to works being undertaken. Significant variations may require additional consent approval.
- (5) **Commercial Waste Contract** - The applicant shall enter into a commercial contract for the collection of trade waste and recycling. A copy of this agreement shall be held on the premises at all times.
- (6) **Operational Waste Management Plan (WMP)** – An Operational Waste Management Plan must be provided for the site operation to address all waste generated. A copy of the plan must be kept on site.
- (7) **Maximum Number of Children in Playground** – In order to control noise a maximum number of 30 children are permitted to occupy or participate in external play in the outdoor playground/s at the one time.
- (8) **Children at External Play** – Noise emitted from children participating in outdoor playground activities shall not exceed the LAeq, 15 minute, 54.5 dB(A) when assessed at a distance of 1 metre inside the nearest affected residential property.
- (9) **Amplified Music** – The use of amplified music in outdoor areas of the centre is prohibited.
- (10) **Kitchen Exhaust Noise Operating Restriction** – Any kitchen exhaust fan must have suitable noise controls fitted on the outlet of the kitchen exhaust and must not exceed the LAeq, 15 minute, 49.5 dB(A) when assessed within any existing residential property boundary. Selection of suitable mechanical plant must be undertaken with the involvement of a suitably qualified acoustic consultant.
- (11) **Air Conditioner Plant Noise Restriction** – the noise level from the combined use and operation of mechanical plant must not exceed 49.5 B(A) LAeq 15 minutes when measured at a distance of one meter inside the nearest affected residential boundary.



- (12) **Mechanical Plant Noise Restriction** – The use and operation of all mechanical plant shall be restricted to only operate between the hours of 7.00am to 7.00pm, Monday to Friday.
- (13) **Acoustic Compliance Report** - An acoustic assessment report based on noise monitoring of the site shall be submitted to Camden Council (Consent Authority). The assessment can only be undertaken when attendance at the centre is sufficient to allow a maximum of 30 children to participate in outdoor play at the same time. The acoustic monitoring shall be undertaken by an independent qualified acoustic (not the same consultant who conducted the original assessments) for the purpose of demonstrating compliance with the following:
- (a) Noise from a maximum of 30 children participating in outdoor play with:
- LAeq, 15min 54.5 dB(A) Day period 7.00am – 7.00pm, when assessed one metre inside the boundary of the nearest affected residence/s.
- (b) Mechanical plant noise (air-conditioner and kitchen exhaust) complies with:
- LAeq, 15min 49.5 dB(A) Day period 7.00am – 7.00pm, when assessed one metre inside the boundary of the nearest affected residence.
- (c) Materials and Mitigation Controls
- that all noise attenuation materials and structures used for the mitigation / control of noise is compliant with the conditions of the consent.

For any non-compliance with conditions, the acoustic compliance report must make recommendations for compliance or further attenuation of noise sources and these recommendations will be enforced by Council at the cost of the owner / occupier. An application pursuant to s.96 of the EP&A Act for the modification of the issued development consent must be submitted to the consent authority (Camden Council) for determination, with the recommended amendments to be implemented following Council Consent.

The owner / occupier must then provide a supplementary acoustic assessment and report to the consent authority certifying that all compliance works have been completed and that noise levels comply with the above criteria.

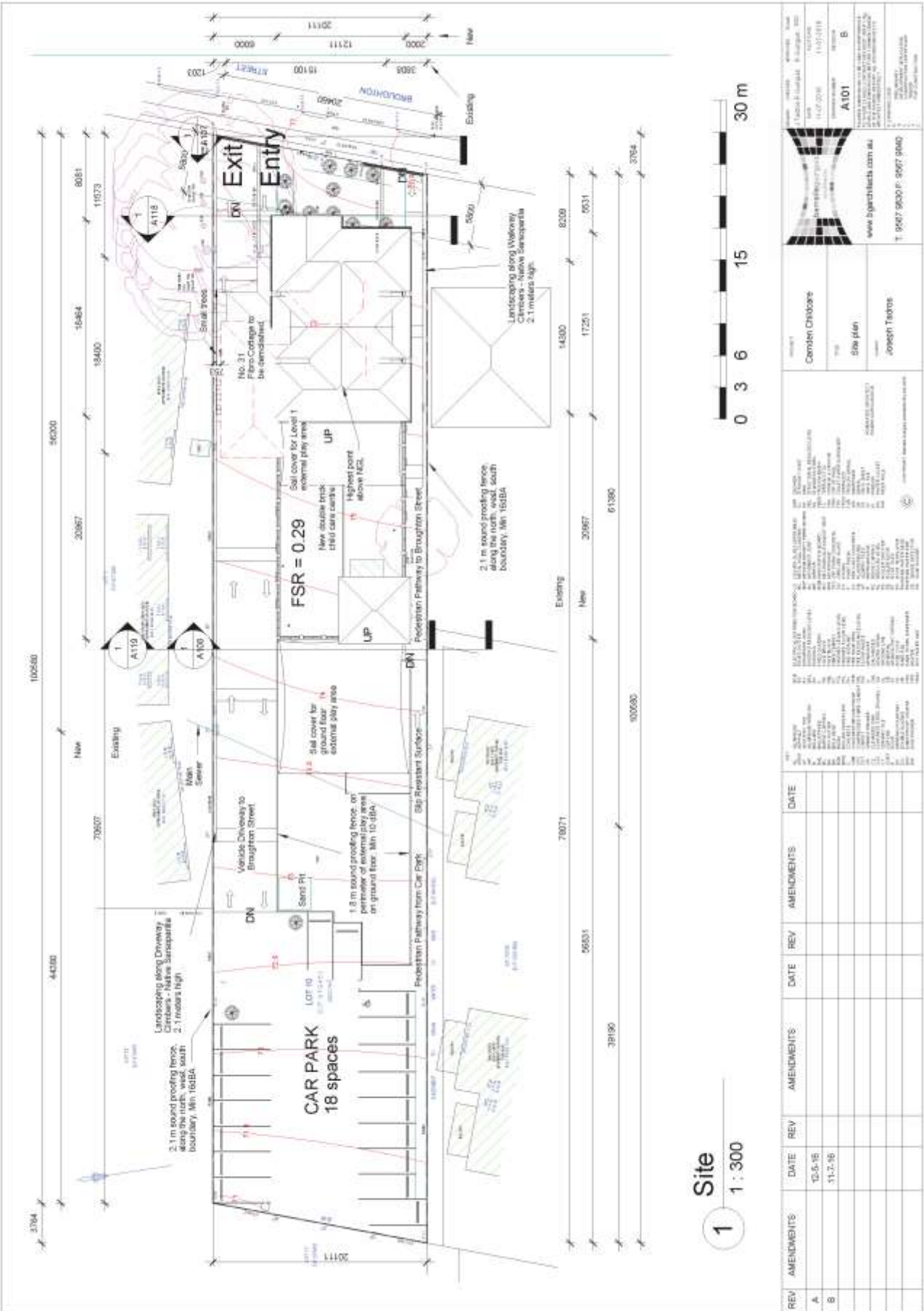
- (14) **Legislative Requirements** – The child care centre's operations shall be undertaken at all times in accordance with the relevant provisions of the Children (Education and Care Services) Supplementary Provisions Act 2011 No 70 and the Children (Education and Care Services) Supplementary Provisions Regulation 2012.
- (15) **Number of Employees** – The number of people working on the premises shall not exceed 12 at any given time.
- (16) **Maximum Number of Children** – The maximum number of children to be cared for by the centre at any one time is restricted to 72. The number shall comprise of 16 x 0-2 year olds, 20 x 2-3 year olds and 36 x 3-5 year olds. Any changes to the number or arrangement of children shall require written consent from Council.
- (17) **Hours of Operation** - The property is only to be open for business and used for the purpose approved within the following hours

: Day	Hours of Operation
Monday	7:00am to 7:00pm



Tuesday	7:00am to 7:00pm
Wednesday	7:00am to 7:00pm
Thursday	7:00am to 7:00pm
Friday	7:00am to 7:00pm
Saturday	nil
Sunday and Public Holidays	nil

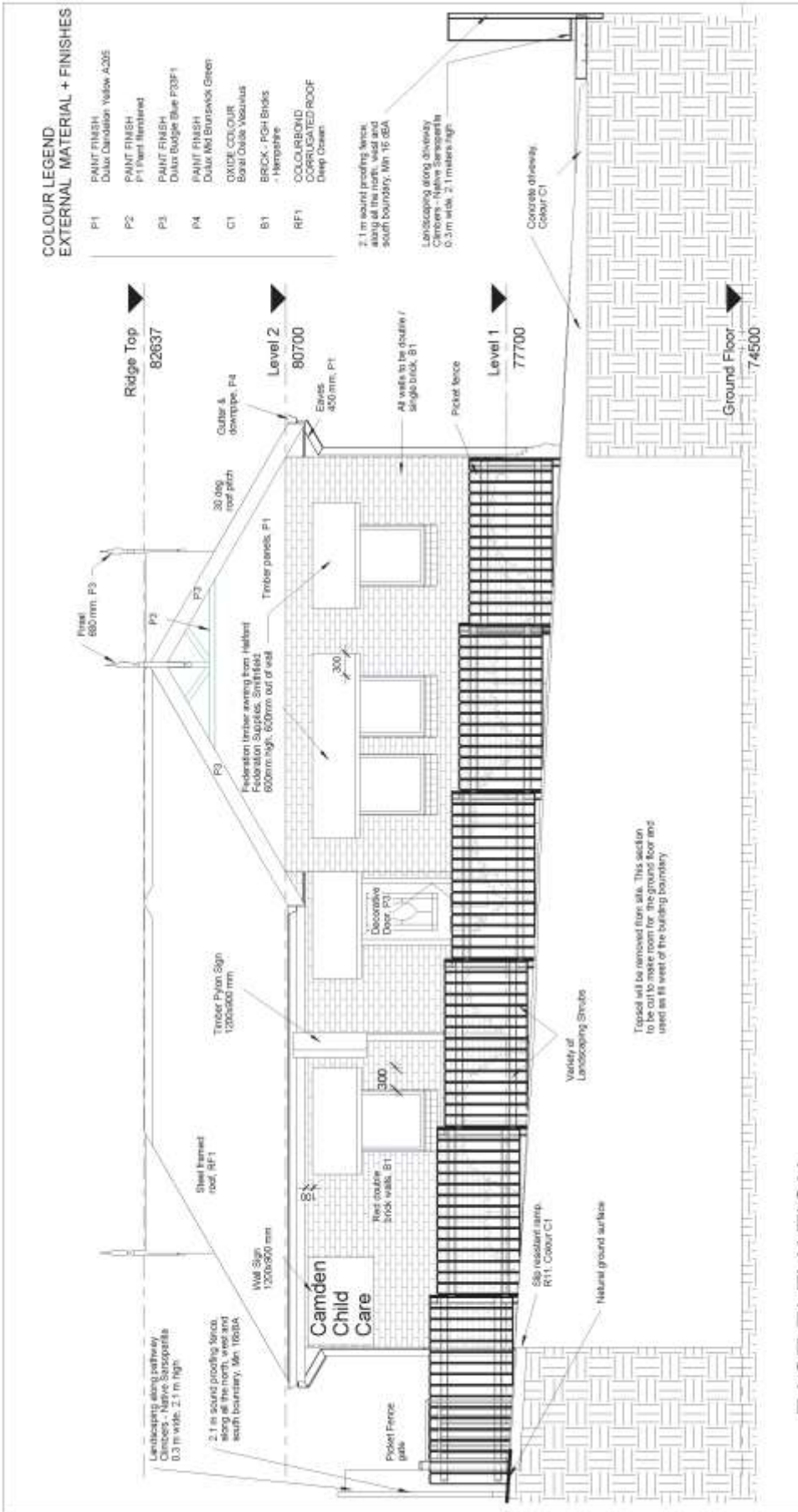
- (18) **Maintenance of Landscaping** - Landscaping shall be maintained in accordance with the approved landscape plan.
- (19) **Waste Collection and Deliveries** - Waste collection and deliveries are to occur wholly within the site's car park outside of the centre's peak operating hours.
- (20) **Occupation Certificate Required** - An Occupation Certificate shall be obtained prior to any use or occupation of the development.
- (21) **Manoeuvring of Vehicles** - All vehicles shall enter and exit the site in a forward direction.
- (22) **Driveways to be Maintained** - All access crossings and driveways shall be maintained in good order for the life of the development.
- (23) **Removal of Graffiti** - The owner/manager of the site is responsible for the removal of all graffiti from the buildings and fences within 48 hours of its application.



REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE
A		10-5-16						
B		11-2-16						

PROJECT	Camden Childcare
DATE	14-07-2016
PROJECT NO.	1101-0119
PROJECT NAME	A101 B
PROJECT ADDRESS	1101-0119
PROJECT CONTACT	www.hyperflex.com.au
PROJECT PHONE	T: 9507 9000 F: 9507 9400
PROJECT EMAIL	www.hyperflex.com.au
PROJECT WEBSITE	
PROJECT SOCIAL MEDIA	
PROJECT LOGO	

DESIGNED BY	Camden Childcare
CHECKED BY	Joseph Tetro
DATE	14-07-2016
PROJECT NO.	1101-0119
PROJECT NAME	A101 B
PROJECT ADDRESS	1101-0119
PROJECT CONTACT	www.hyperflex.com.au
PROJECT PHONE	T: 9507 9000 F: 9507 9400
PROJECT EMAIL	www.hyperflex.com.au
PROJECT WEBSITE	
PROJECT SOCIAL MEDIA	



COLOUR LEGEND
EXTERNAL MATERIAL + FINISHES

P1	PAINT FINISH Dulux Canadian Yellow A205
P2	PAINT FINISH P1 Inert flintland
P3	PAINT FINISH Dulux Bogie Blue F03F1
P4	PAINT FINISH Dulux Mid Brunswick Green
C1	OXIDE COLOUR Boral Dulux Vascular
B1	BRICK - PGH Bricks - Hampshire
RF1	COLOURBOND CORRUGATED ROOF Deep Ocean

2.1 m sound proofing fence along all the north, west and south boundaries. Min 16 GBA

Landscape 8000 Shrubbery Camrose - Native Sarrasparilla 0.3m wide, 2.1 makes high

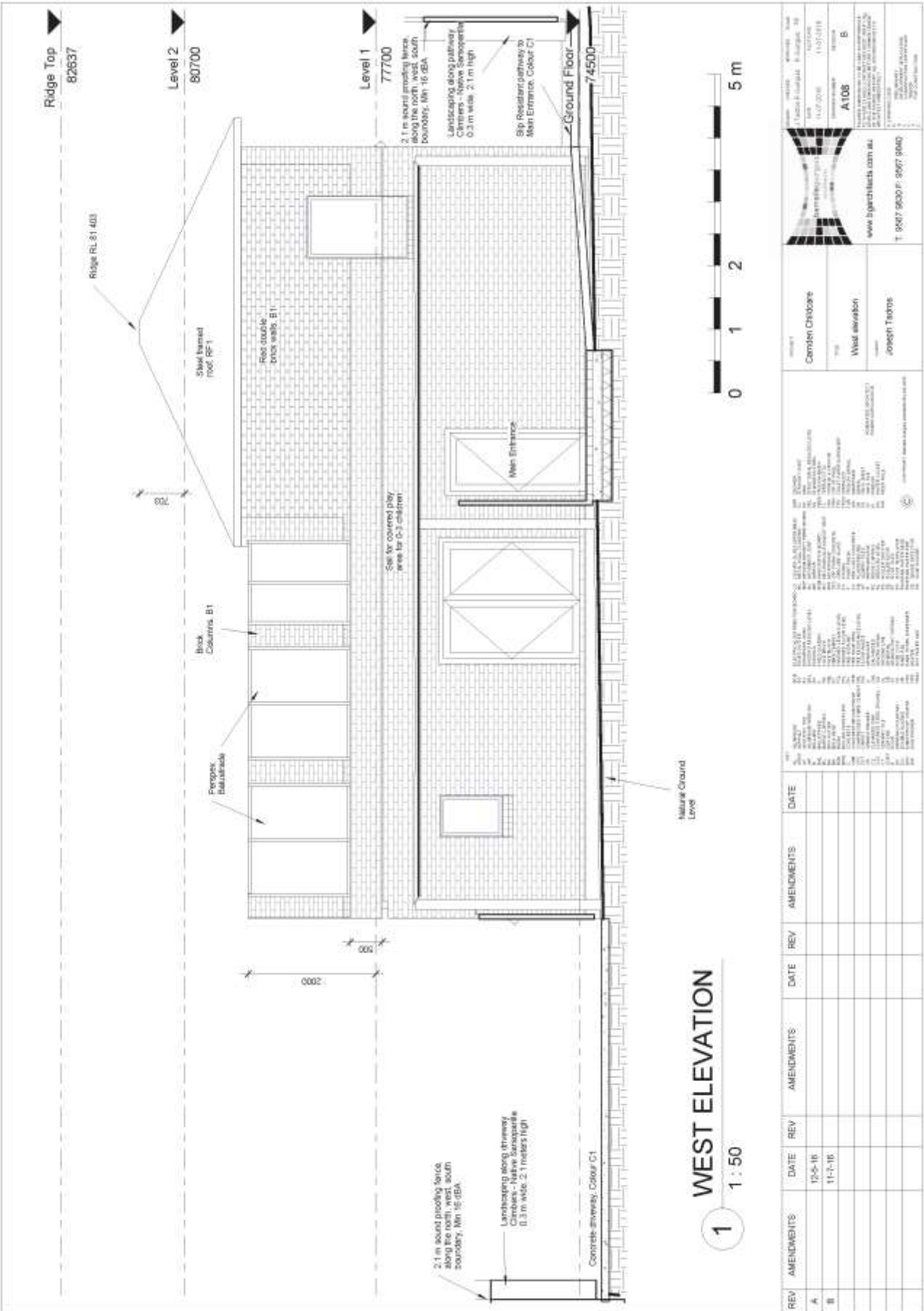
1 EAST ELEVATION
1 : 50

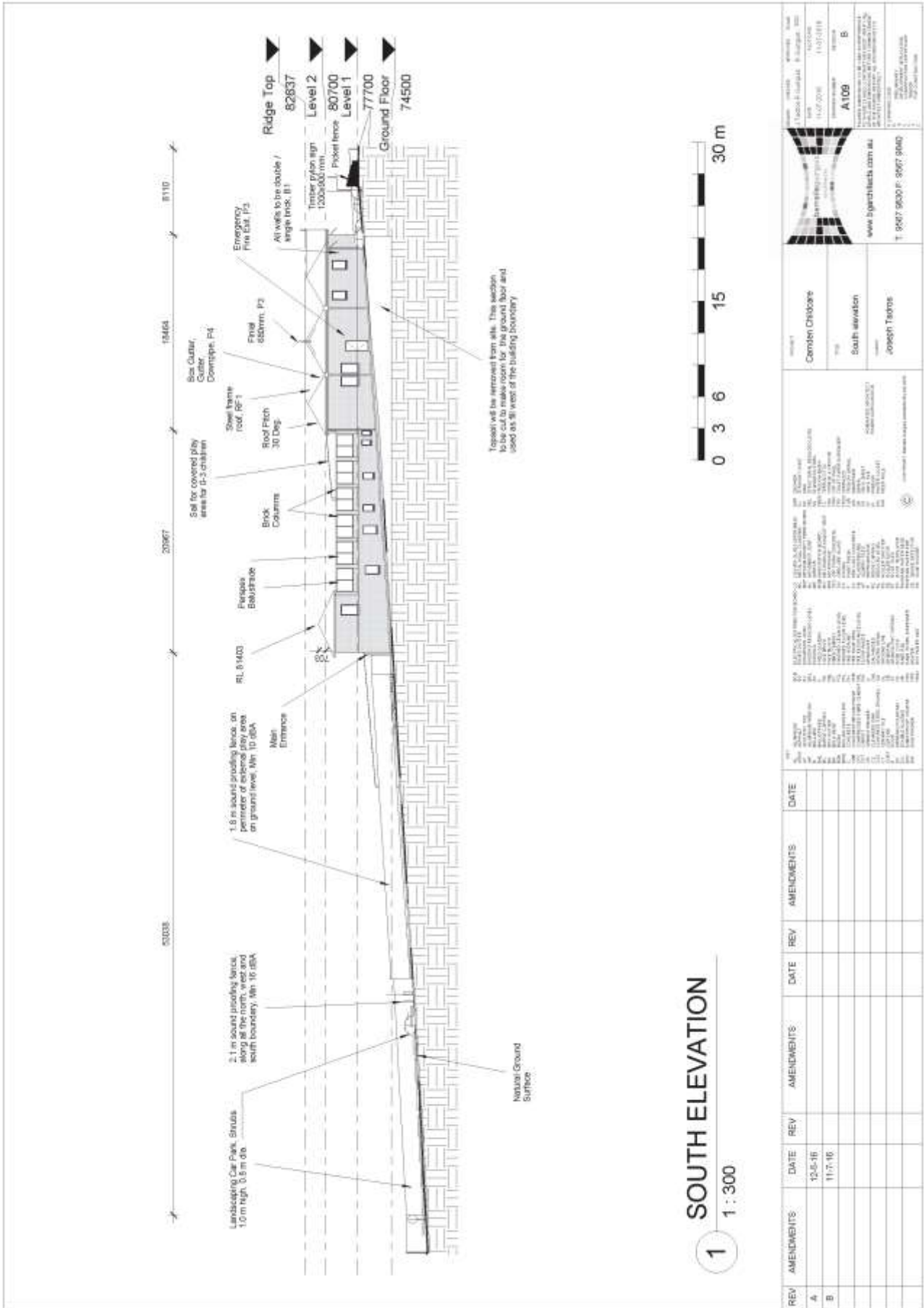


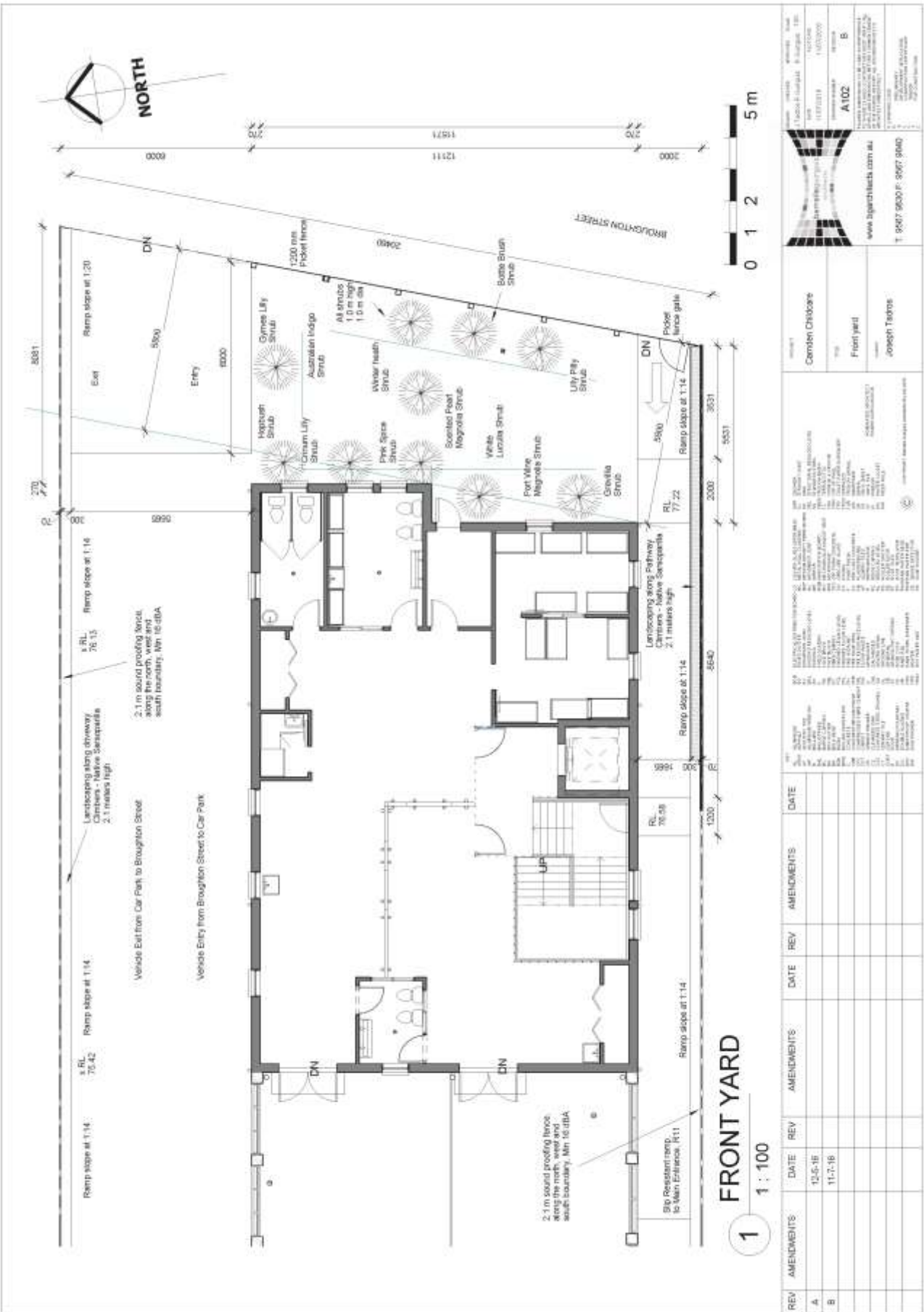
REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE
A		13-5-18						
B		11-7-18						

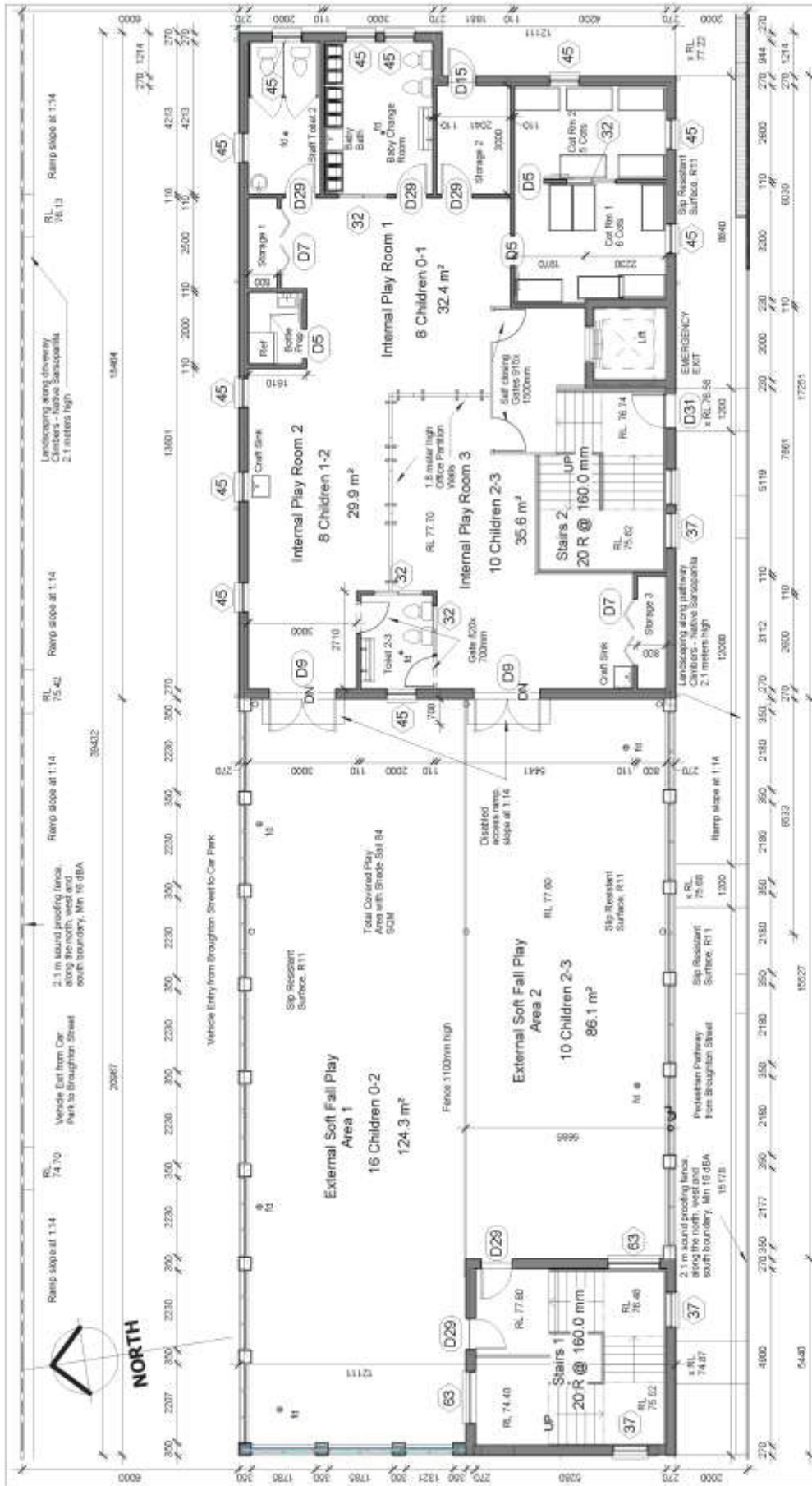
PROJECT	Camden Childcare
DESIGNER	Evel Elevation
CLIENT	Joseph Tapros

DATE	11-07-2018
PROJECT NUMBER	A107
REVISION	B
www.bjgarchitects.com.au T 9557 9530 F 9587 9540	







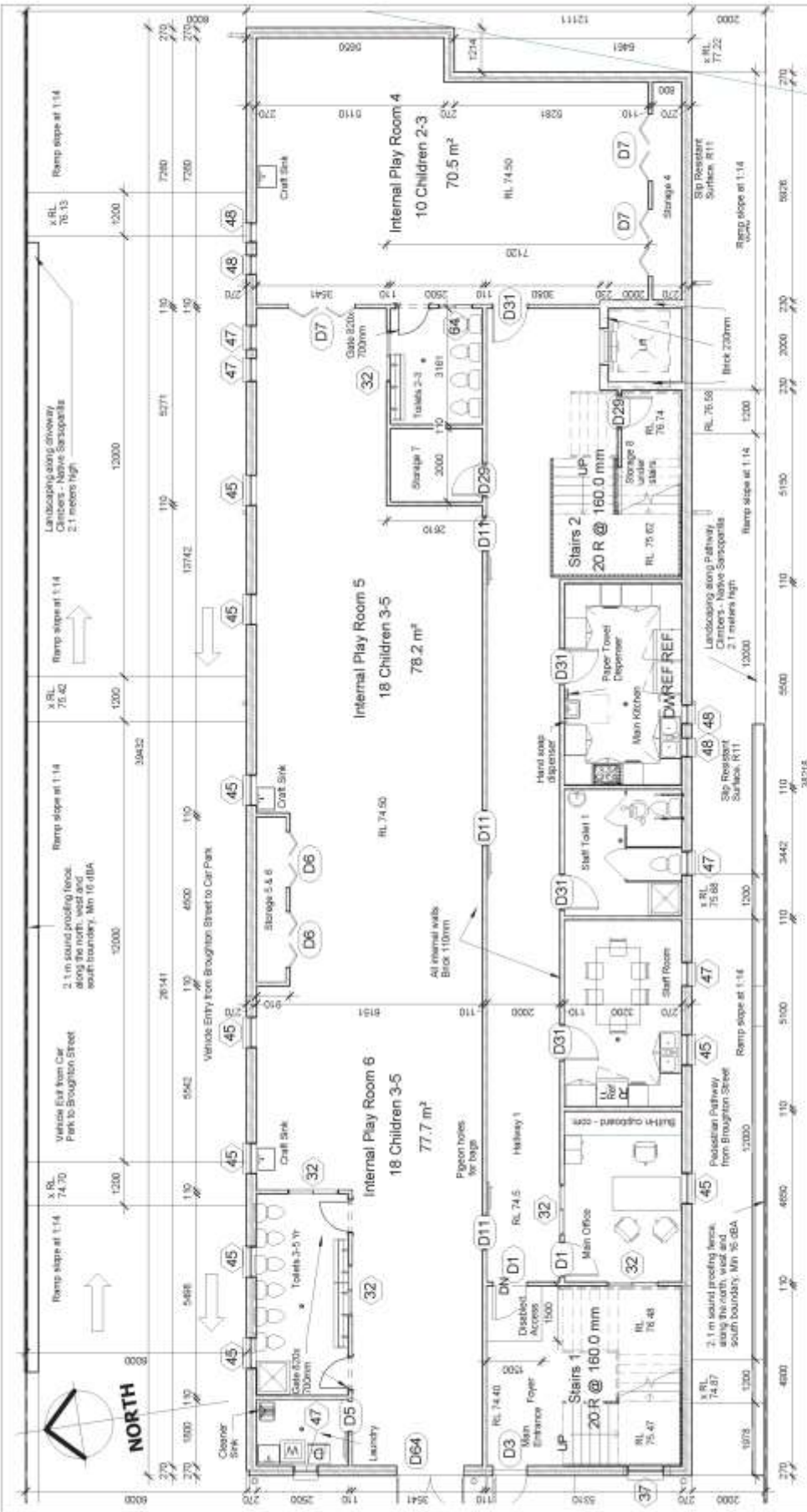


1 LEVEL 1 PLAY ROOMS
1 : 100



REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE
A		12.5.16						
B		11.7.16						

PROJECT	Camden Children's Centre
CLIENT	Camden Council
DATE	11/07/2016
SCALE	1:100
PROJECT NO.	11/07/2016
PROJECT NAME	Level 1 play rooms
PROJECT LOCATION	Camden Children's Centre
PROJECT DESCRIPTION	Level 1 play rooms
PROJECT CONTACT	Joseph Tappin
PROJECT CONTACT PHONE	02087 98301 / 9837 9840
PROJECT CONTACT EMAIL	www.bjprplans.com.au
PROJECT CONTACT WEBSITE	
PROJECT CONTACT ADDRESS	
PROJECT CONTACT POSTCODE	
PROJECT CONTACT STATE	
PROJECT CONTACT COUNTRY	
PROJECT CONTACT FAX	
PROJECT CONTACT MOBILE	
PROJECT CONTACT PAGER	
PROJECT CONTACT SOCIAL MEDIA	
PROJECT CONTACT OTHER	

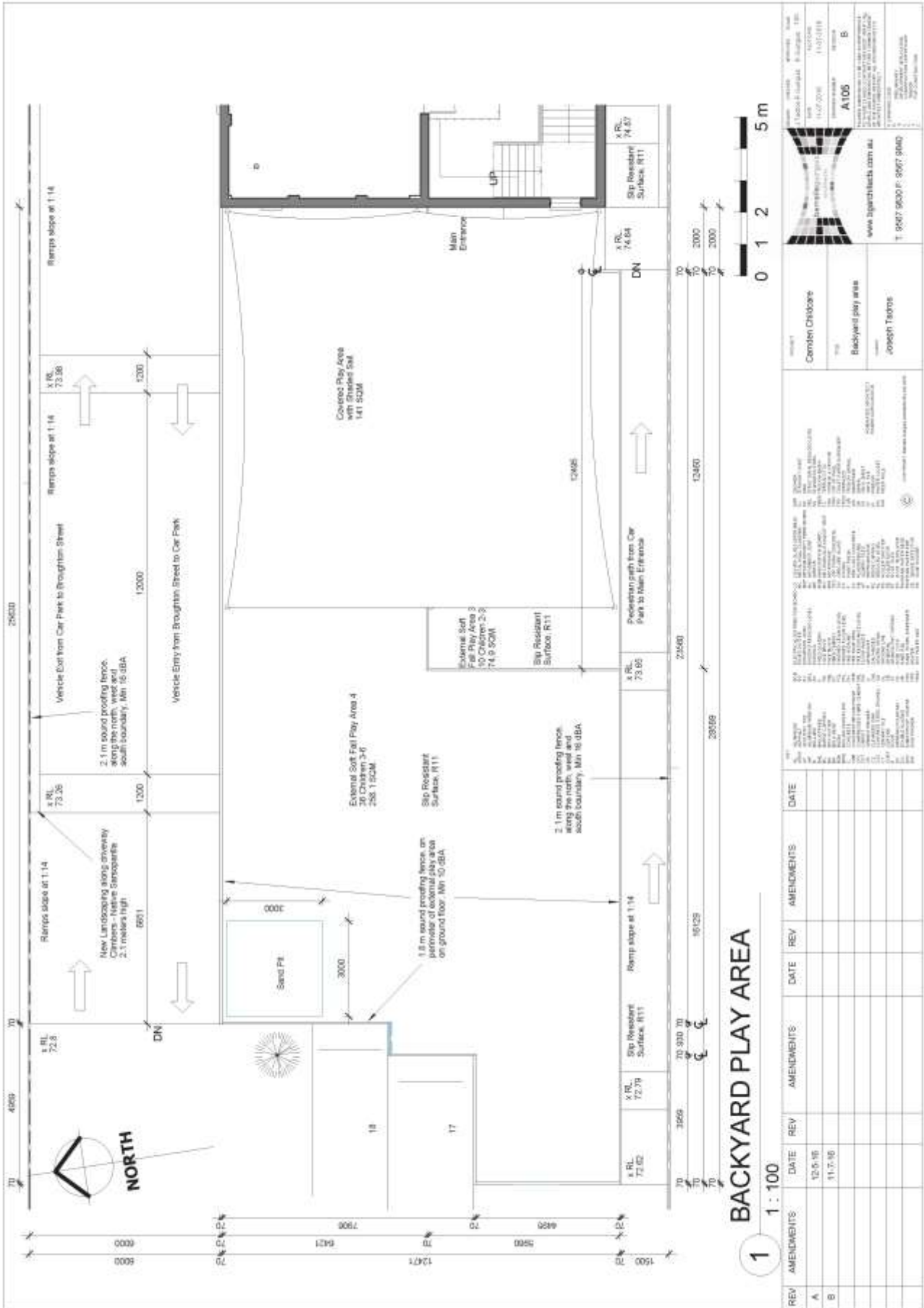


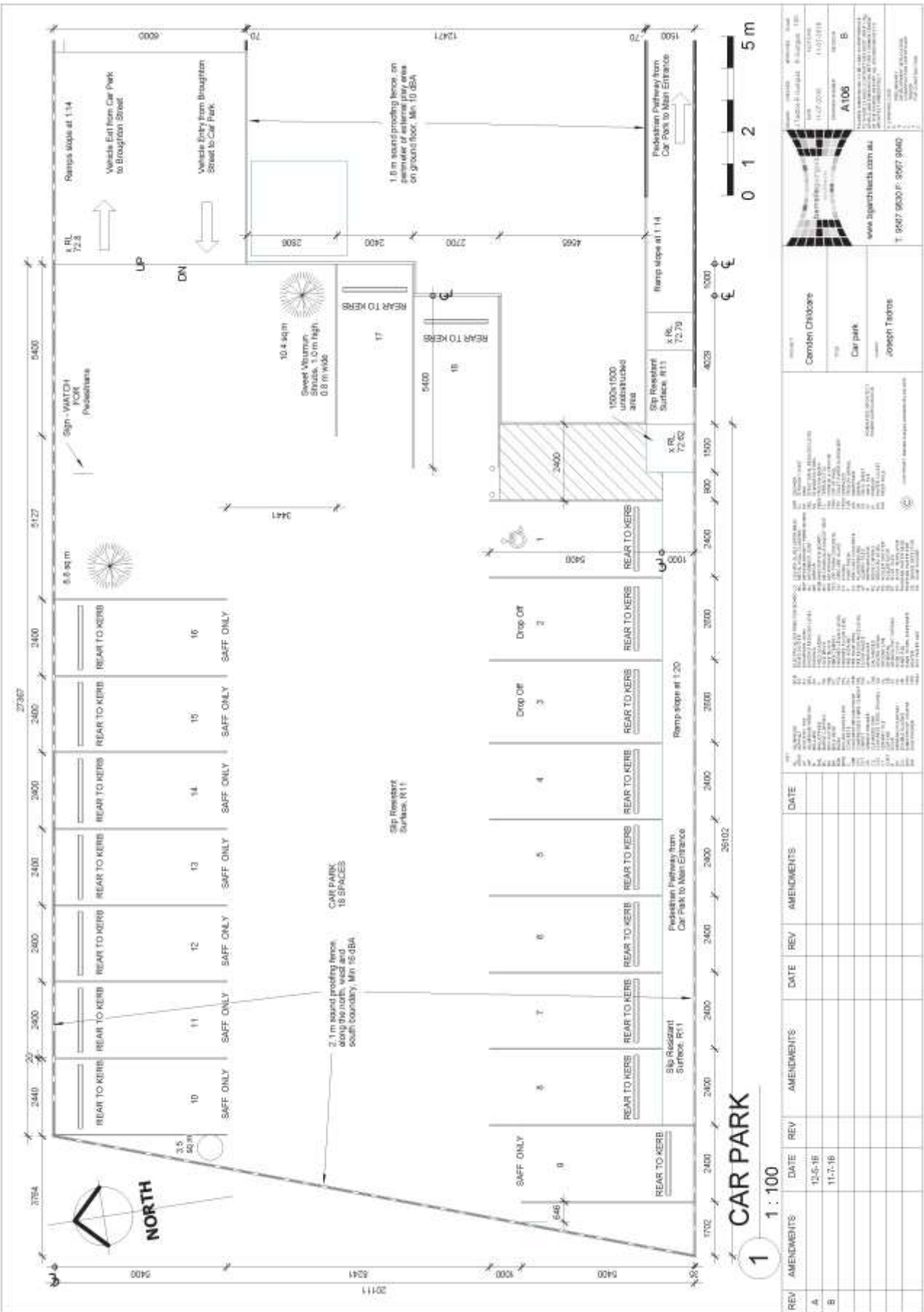
GROUND FLOOR PLAY ROOMS

1 : 100

REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE
A		12-5-16						
B		11-1-16						

PROJECT	Camden Childcare
PREP	Ground floor play rooms
DESIGNER	Joseph Tetros
www.jtarchitects.com.au T: 9587 9900 F: 9587 9480	

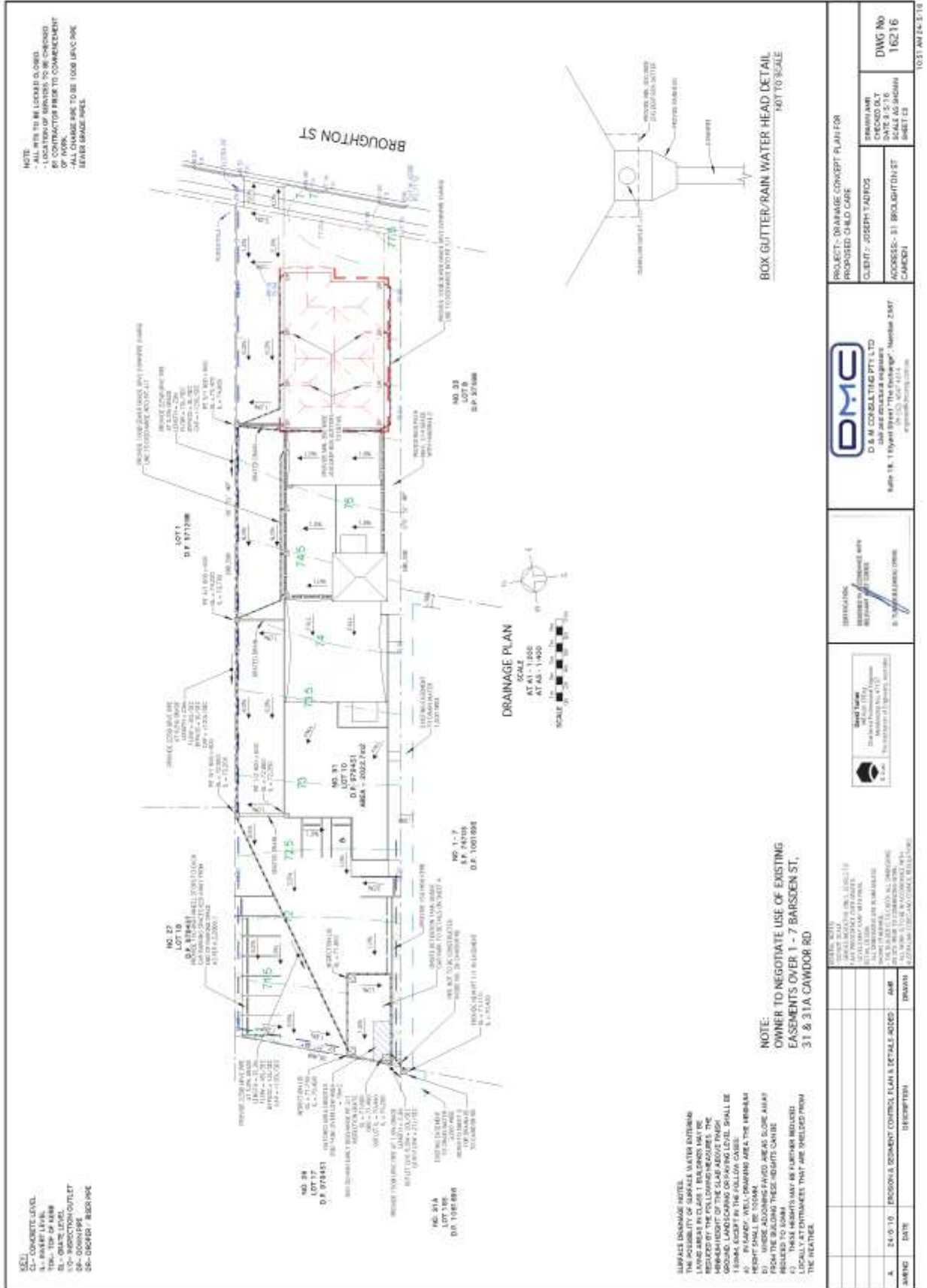


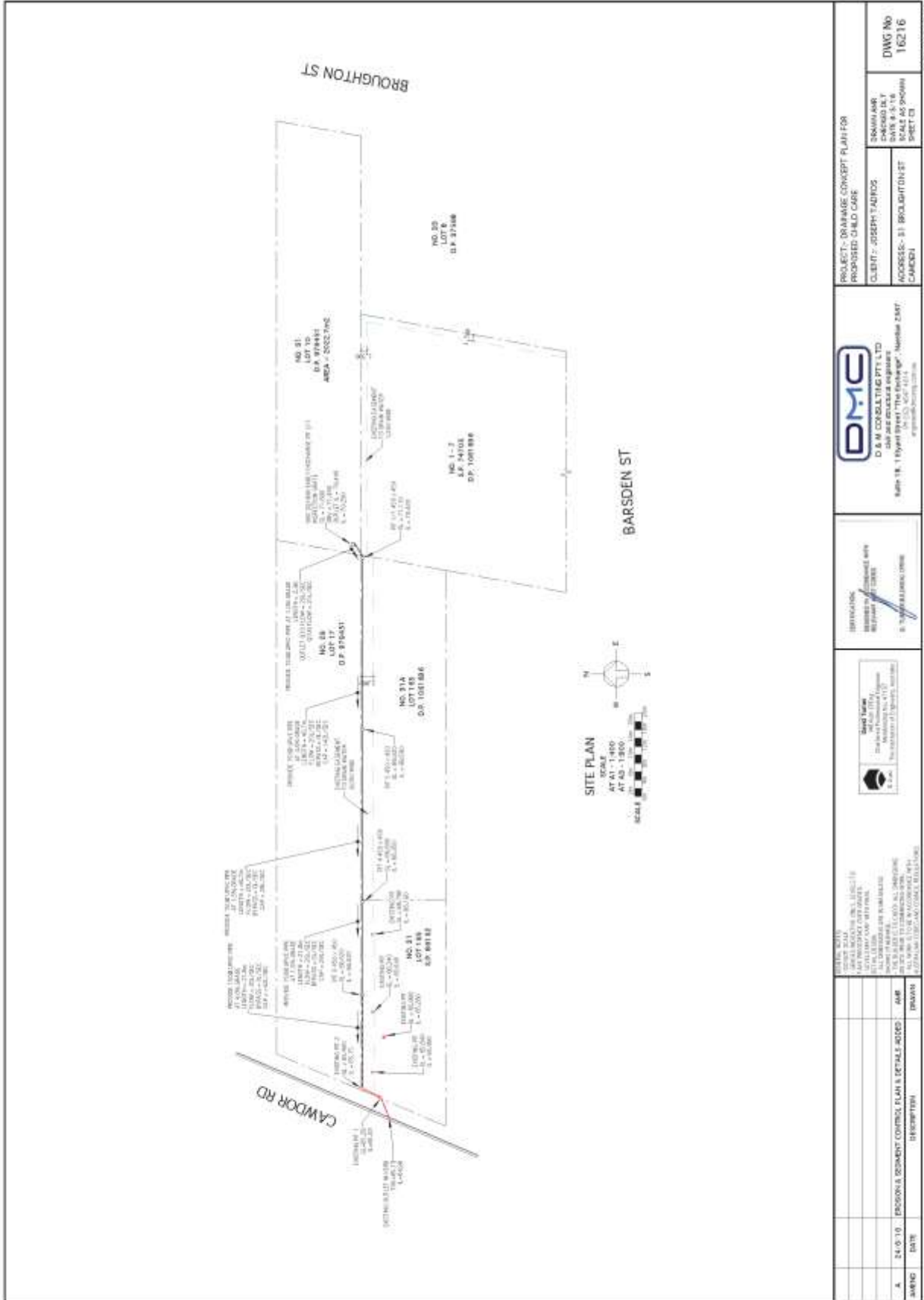


1
CAR PARK
1 : 100

REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE
A		13-5-16						
B		11-7-16						

PROJECT	Camden Oldshore
PROJ	Car park
DESIGNER	Joseph Tetros
DATE	11-07-2016
SCALE	A 105 B
ISSUED FOR	www.bjprchitects.com.au
CONTACT	T: 9587 9500 F: 9587 9400







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Our Reference: 4160-2016

Camden Council
37 John Street
Camden NSW 2570

17th May, 2016

Dear Sir/Madam,

Re: Heritage Impact Statement for the Proposed Development at 31 Broughton Street, Camden

Kayandel Archaeological Services (KAS) has been commissioned by Joseph Tadros to prepare a Heritage Impact Statement for the proposed development at 31 Broughton Street, Camden.

This Heritage Impact Statement was undertaken as a desktop study, with consideration of development plans by Barrelle Guirguis Architects and of the appropriate Local Government Legislation. A site visit was undertaken on the 16th March and 12th of April 2016 and included the photographic documentation of the building's frontage as contained in Attachment 3.

Location of the Subject Area

The Subject Area is located in Camden, NSW, at 31 Broughton Street. It is situated on the western alignment of Broughton Street nearly opposite the intersection of Broughton and Park Streets.

The Subject Area is identified as Lot 10 DP979451 (see Attachment 1). It encompasses an area of approximately 2000sqm. It is located within the Camden Town Centre Conservation Area, identified under Schedule 5 Part 2 of the *Camden Local Environmental Plan 2010* (See Attachment 2).

Proposed Development

The proposed development involves the demolition of an existing dwelling at 31a Broughton Street and the construction of a two-storeyed 72 place child care centre. The proposed development includes the construction of an 18 space car park, landscaping, signage and associated site works. Detailed site plans for the development are contained in Attachment 4.

Relevant Heritage Controls

The *Camden Local Environment Plan 2010* identifies the following:

- No Heritage Item listing applies
- The site is protected by the Camden Town Centre Conservation Area (also referred to as the Camden Heritage Conservation Area)

Under Clause 5.10 Part 2a of the *Camden Local Environment Plan 2010* development consent is required for any proposed demolition or alteration of the exterior of a building within a heritage conservation area. Consent is furthermore required under Part 2e for the construction of a building on land within the Conservation Area.

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Melbourne

Brisbane

Perth



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The Camden Development Control Plan 2011 identifies the Camden Heritage Conservation Area (figure B4). The Plan details general and unique controls that apply to the Conservation Area, as well as information regarding the present character and future character aspirations.

As outlined in the Camden Town Centre Strategy document prepared by the Camden Council in 2008, buildings without individual heritage value may be redeveloped, however this development must take account of adjoining heritage items and the character of the streetscape (Camden Council, 2008:16).

Description of the Heritage Conservation Area

The *Camden Local Environmental Plan 2010* identifies the Camden Town Centre Conservation Area under Schedule 5 Part 2. This area is referred to as the Camden Heritage Conservation Area in the Development Control Plan 2011.

The Conservation Area comprises much of the Camden Town Centre, as well as land north, south, east and west of this area. The form of the Camden Town Centre was based on a grid pattern originally developed by the Macarthurs. In 1836 the town was surveyed by Surveyor General Mitchell who proposed a plan for Camden. In the same year, a private plan by the Macarthur family was developed. Construction of the town began in 1841 with the construction of the Court House and Police Station.

The heritage significance of the Conservation Area is noted for the development of urban centres in and beyond the Cumberland Plain. It is connected to the Macarthur Family, a prominent pioneer family who acted as landowners, political leaders and town planners in Camden.

Description of the Present Site

The existing residential structure is a single storey fibro and weatherboard clad cottage, with a hipped roof containing terracotta tiles and one brick chimney. It is believed to have been built in 1978. The front side of the building features a small brick verandah along the northern part of the Broughton Street frontage which is enclosed by a sheet metal roof over the southern section. The verandah does not contribute in any way to the heritage character of the streetscape.

The front door to both buildings feature modern paned glass windows with a metal screen door in front and are of no heritage significance.

An existing driveway on the southern side of the building provides access to a garage at the rear of the house located south-west of the main building. A concrete pathway extends from the front verandah to the public pathway along Broughton Street and beyond this to the road. A concrete ramp is located to the north of 31a Broughton Street and features a metal handrail and fence on the northern perimeter.

The garden at the front of the house mostly comprises lawn with some bushes, which together do not add or detract from the character of the property. The garden fronting 31 Broughton Street is

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raised and is edged by a brick perimeter. The street boundary is contained by a metal fence having no heritage significance.

Heritage Significance of Existing Structure

The present building does not contribute to the heritage character of the streetscape, nor does it embody some of the noted architectural elements or finishings of nearby buildings within the Conservation Area. The building was constructed in 1978 and contains no built fabric of heritage significance.

Impacts of the Proposed Development

The design of the new building and associated structures are considered appropriate for the location, and is considered to respect the Conservation Area in which the Lot is located. The sympathetic design of the new structure will allow it to blend into the property with ease, and will not detract from the significance or character of the streetscape. No development activity is being undertaken within, or directly adjacent to, an existing Heritage Item.

The proposed development consists of the construction of a new two-storeyed structure, designed to be a sympathetic addition to the streetscape of the conservation area. The exterior of the structure will feature a double brick construction, with the roof being colourbond. Brick columns which are presently a feature of the building will be continued in the proposed structure, and are presently replicated by other buildings throughout the Conservation Area.

The proposed structure to the west of the property will not adversely affect the streetscape as they will be hidden behind the proposed building fronting Broughton Street, which is sympathetic to the heritage character of the conservation area. As detailed in plans A110 and A111 in Appendix 4, the structures to the rear of the main building will be set at a lower level and will blend into the landscape of the property. A minor slope towards the rear of the property has enabled these elements to be built at a lower level, and will therefore not impact the historic streetscape.

The proposed development of the driveway on the northern side will require the demolition of the fibro structure, however as this building is of modern construction with no noted elements of heritage significance it is an appropriate alteration to the present structure.

The change in use of the site is also in keeping with its location within a B4 Mixed Use Zone.

As the design of the structure is considerate of the heritage concerns, and addresses these concerns in an appropriate stylistic manner, KAS believes that the development will have a positive impact on the heritage significance of the property, and will enhance the significance and image of the 'Camden Town Centre Conservation Area'.

Should you have any further questions regarding this matter, please do not hesitate to contact me on (02) 4637 8622.

Sydney

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Yours sincerely,

Lance Syme
Principal

Full Member International Council on Monuments and Sites (M.ICOMOS)
Expert Member International Committee on Archaeological Heritage Management
Registered Cultural Heritage Advisor

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Melbourne

Brisbane

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ORD04



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Attachment 5

Attachment 1
Map of Subject Area

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Attachment 5



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Attachment 5

Attachment 2

Camden Council Heritage Map (Map HER_010)

Location of Camden Town Centre Conservation Area

(Subject Area indicated in Red)

Sydney

Melbourne

Brisbane

Perth



ORD04



P.O. Box 440,
Picton NSW 2571
T. +61 (0)2 4627 8622
F. +61 (0)2 4605 0815
W. www.kayandel.com

Attachment 5

Attachment 3

Photographic Record of 31 Broughton Street Camden

Sydney

Melbourne

Brisbane

Perth



P.O. Box 440,
Picton NSW 2571
T. +61 (0)2 4627 8622
F. +61 (0)2 4605 0815
W. www.kayandel.com

ORD04

Image 1- Dwelling at 31 Broughton Street, Camden



Image 2- Side view, with carport at rear of property



Attachment 5

Sydney

Melbourne

Brisbane

Perth

ORD04



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 Picton NSW 2571
 T. +61 (0)2 4627 8622
 F. +61 (0)2 4605 0815
 W. www.kayandel.com

Image 3- Attached fibro dwelling at northern side, at 31a Broughton Street, Camden



Image 4- Existing streetscape



Attachment 5

Sydney

Melbourne

Brisbane

Perth



P.O. Box 440,
Picton NSW 2571

T. +61 (0)2 4627 8622
F. +61 (0)2 4605 0815

W. www.kayandel.com

ORD04

Attachment 5

Attachment 4

Plans as provided by Barrelle Guirguis Architects

Sydney

Melbourne

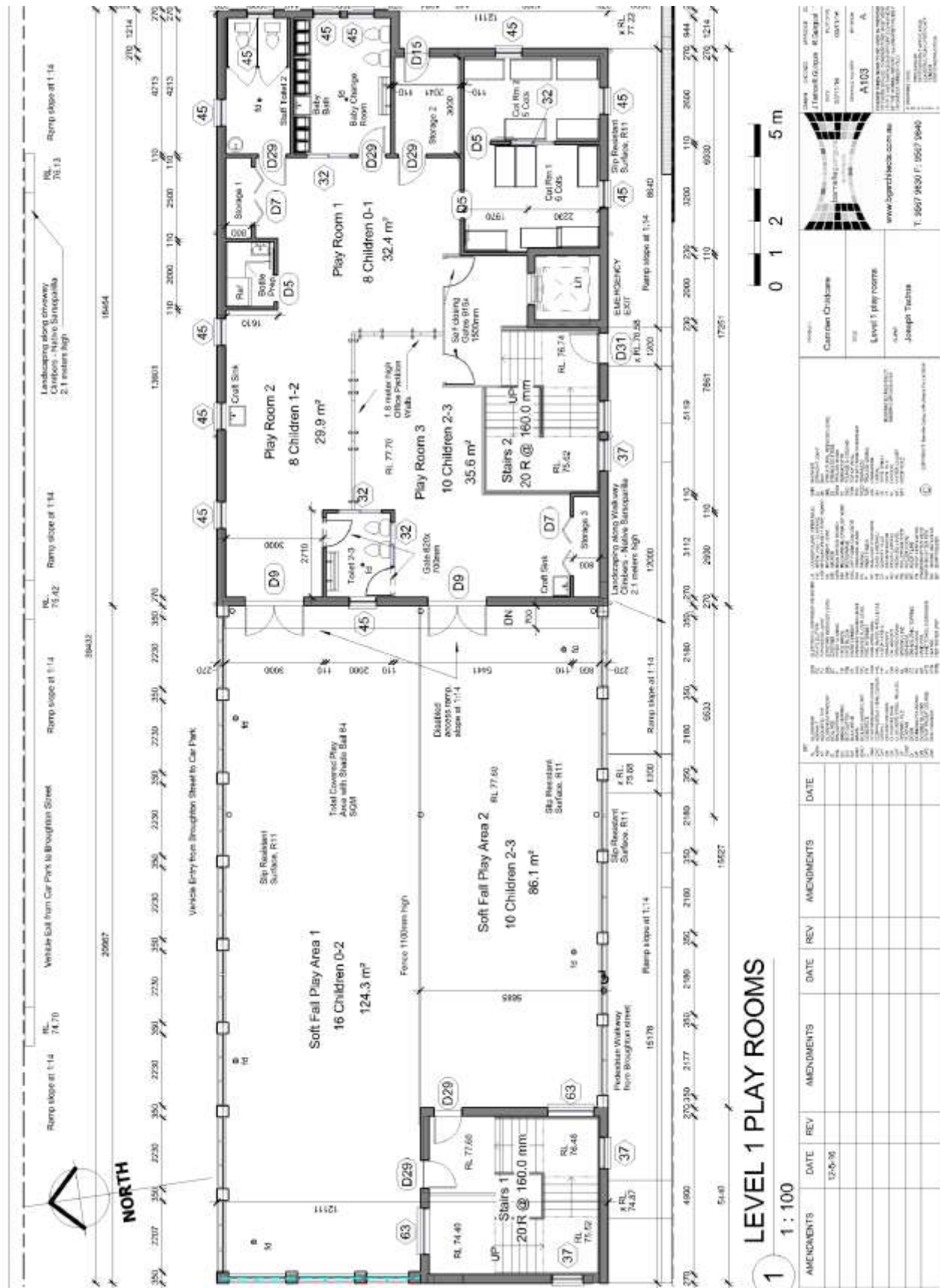
Brisbane

Perth



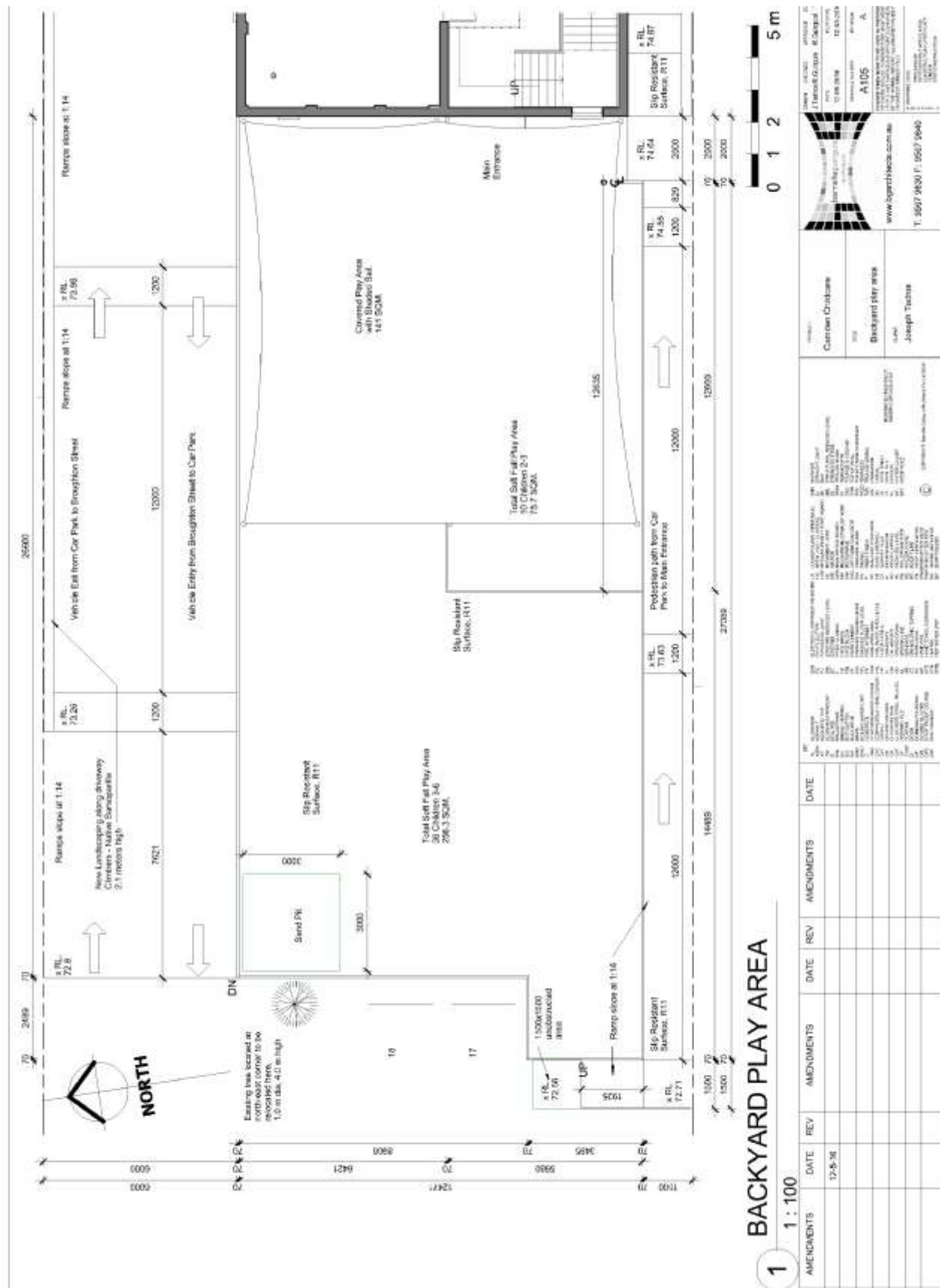
1 Site
1:300

AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE
	12.8.16						
<p>Project Name: Site 1</p> <p>Client: Curran Christie</p> <p>Site Name: Site 1</p> <p>Location: Joseph Trench</p> <p>Scale: A101</p> <p>Project No: 10101000</p> <p>Issue Date: 12.08.2016</p> <p>Project Manager: Joseph Trench</p> <p>Project Engineer: Joseph Trench</p> <p>Project Designer: Joseph Trench</p> <p>Project Checker: Joseph Trench</p> <p>Project Approver: Joseph Trench</p> <p>Project Status: Final</p> <p>Project Reference: 10101000</p> <p>Project Location: Joseph Trench</p> <p>Project Contact: Joseph Trench</p> <p>Project Phone: T. 0507 4830 F. 0507 9840</p> <p>Project Website: www.jogarthitect.com.au</p>							



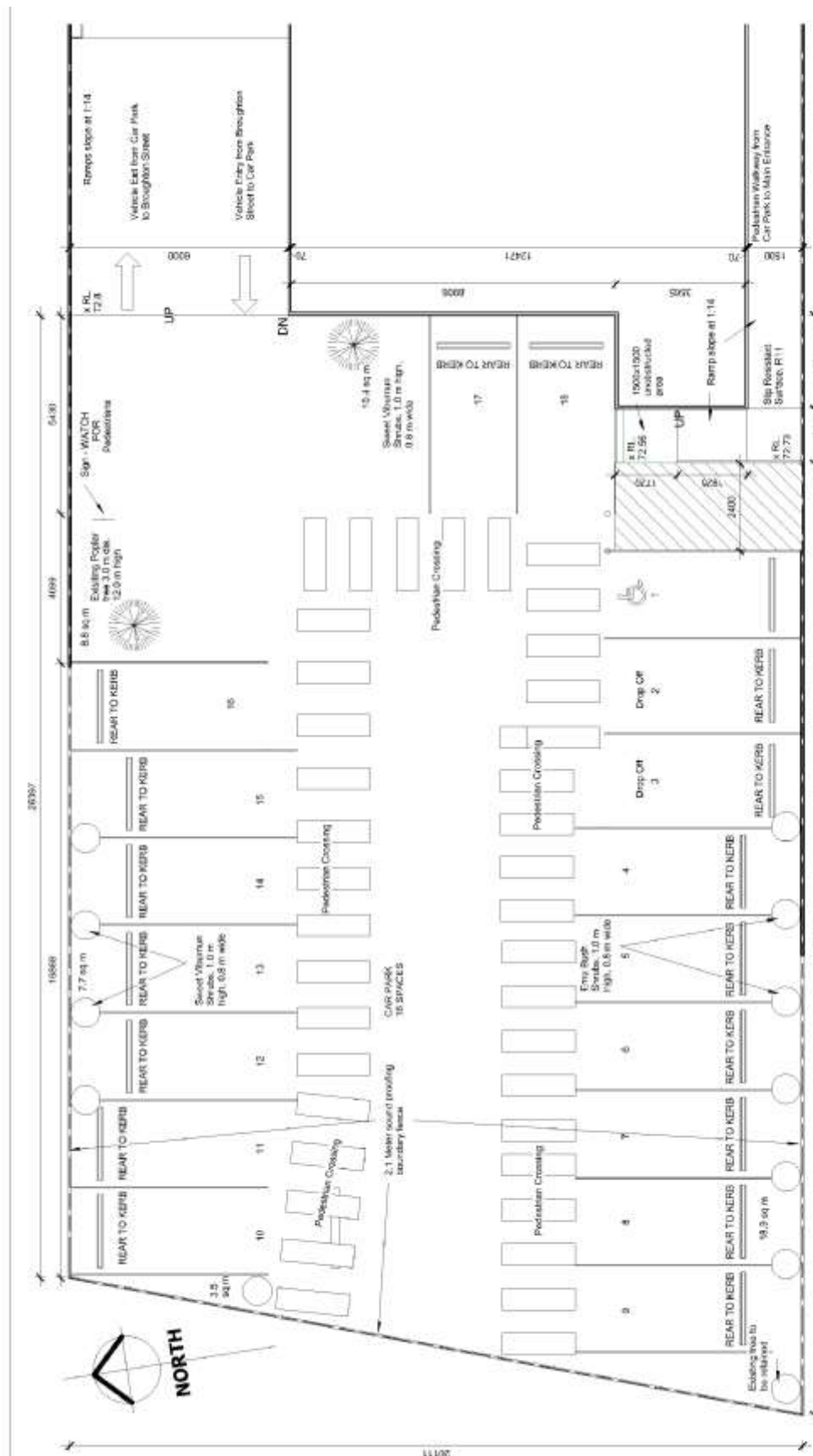
Attachment 5

ORD04



ORD04

Attachment 5

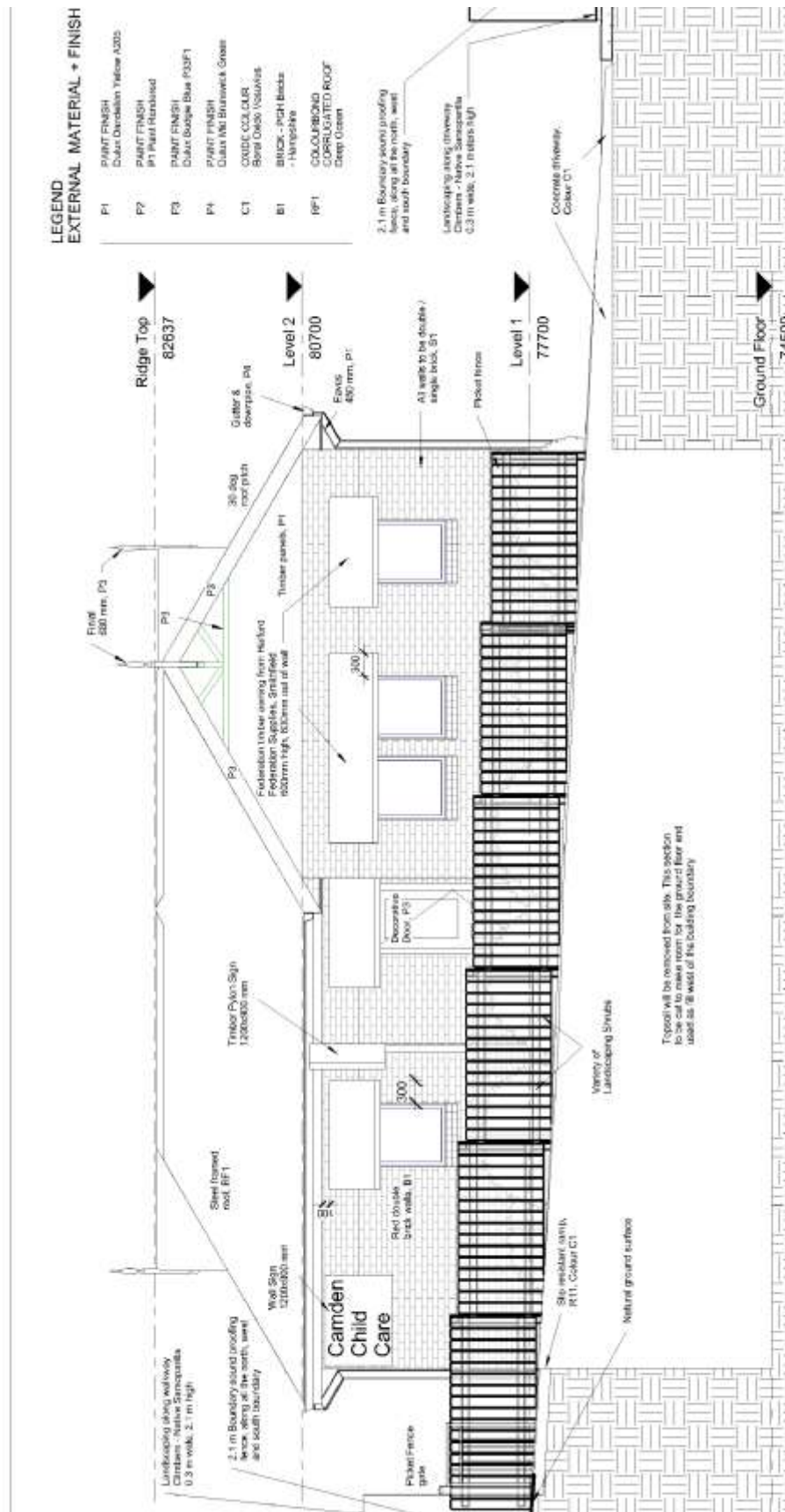


1 CAR PARK
1 : 100

0 1 2 5 m

AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE
	12/5/16						

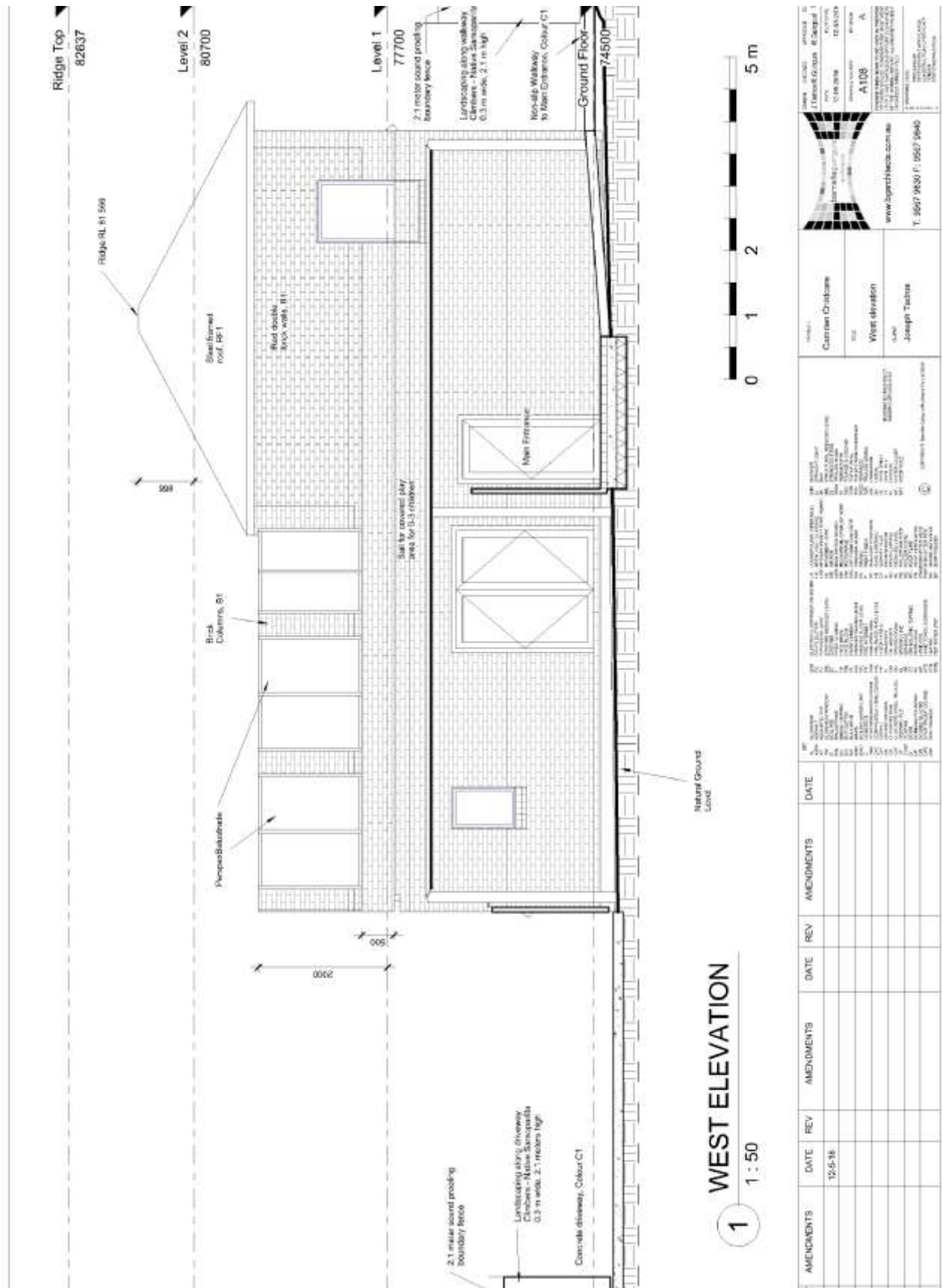
Author	James & Gordon
Designer	James & Gordon
Checker	James & Gordon
Project No.	A106
Client	www.bignorth.co.uk
Project Name	Car park
Project Address	Joseph Terrace
Project Contact	T. 0567 4830 F. 0567 9840

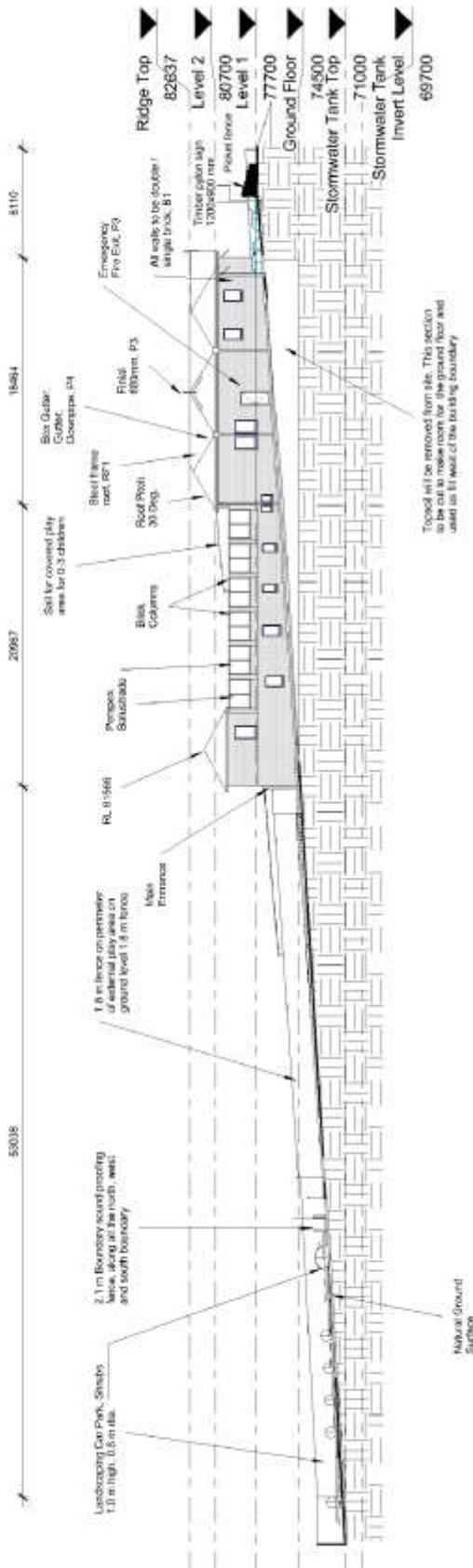


1 EAST ELEVATION
1 : 50

AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE
	12-5-16						

PROJECT NO:	A107
PROJECT NAME:	
CLIENT:	Camden Council
DATE:	12-5-16
DRAWN BY:	Joseph Tuzi
CHECKED BY:	Evel deVries
APPROVED BY:	Camden Council
SCALE:	1:50
PROJECT LOCATION:	
PROJECT ADDRESS:	
PROJECT CONTACT:	
PROJECT PHONE:	
PROJECT FAX:	
PROJECT EMAIL:	
PROJECT WEBSITE:	



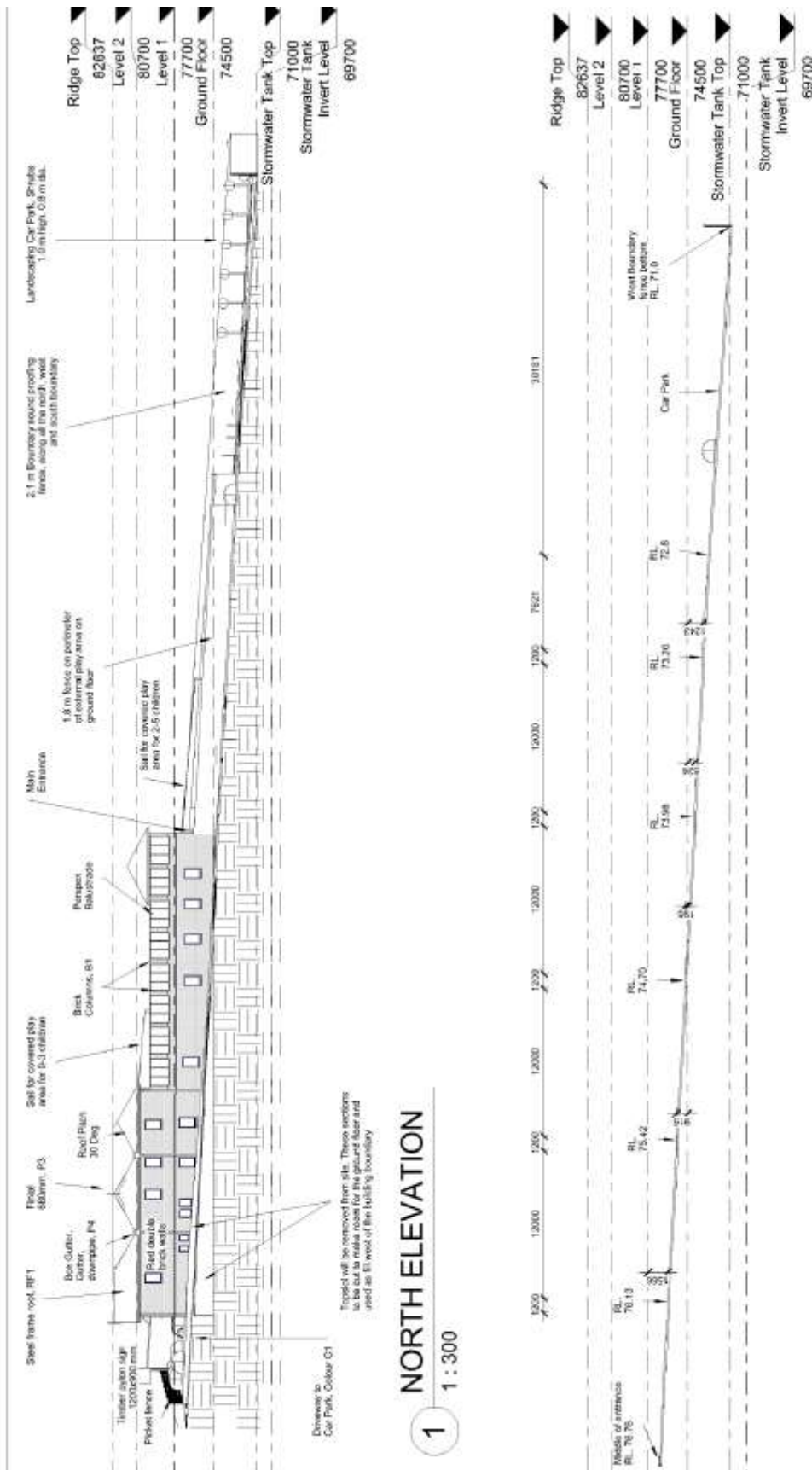


1 SOUTH ELEVATION
1 : 300



AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE
	12-05-16						

Project Name	Heritage Impact Statement
Client	Current Crusade
Site	South elevation
Author	Joseph Tuzi
Check	
Drawn	
Scale	1:300
Project Number	A109
Date	12/05/2016
Time	12:43:29
Version	A
Project Location	
Project Description	
Project Status	
Project Manager	
Project Engineer	
Project Designer	
Project Checker	
Project Approver	
Project Client	
Project Contact	
Project Phone	
Project Email	
Project Website	
Project Logo	
Project Footer	

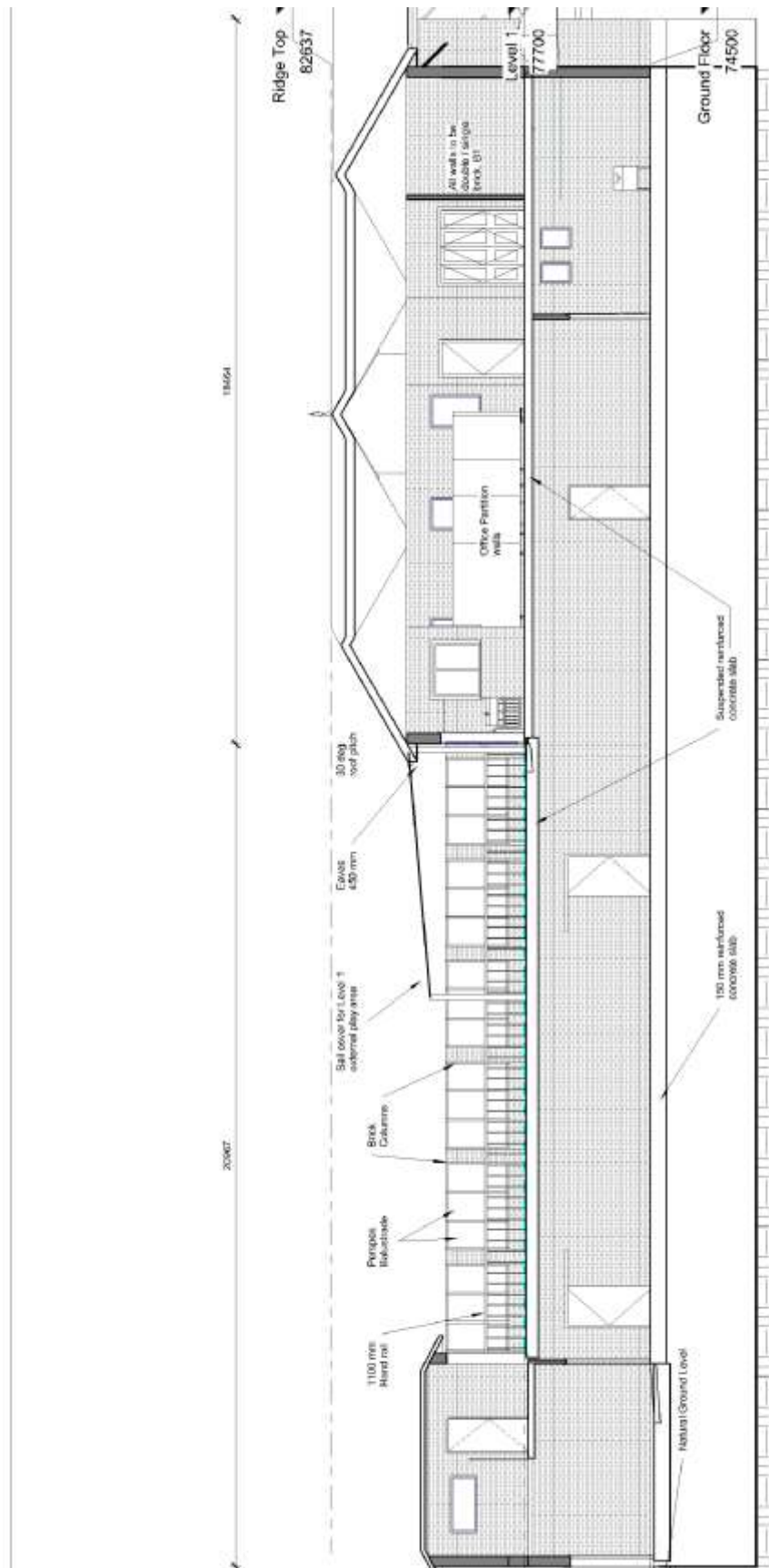


LONGITUDINAL DRIVEWAY



AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE
	12-05-16						

<p>PROJECT NO: A110</p> <p>DATE: 12-05-16</p> <p>SCALE: A</p> <p>PROJECT: NORTH ELEVATION</p> <p>CLIENT: NORTH ELEVATIONS</p> <p>DESIGNER: JOSEPH TRICHA</p> <p>CONTACT: T. 8657 9830 F. 9567 9840</p>		<p>PROJECT NO: A110</p> <p>DATE: 12-05-16</p> <p>SCALE: A</p> <p>PROJECT: NORTH ELEVATION</p> <p>CLIENT: NORTH ELEVATIONS</p> <p>DESIGNER: JOSEPH TRICHA</p> <p>CONTACT: T. 8657 9830 F. 9567 9840</p>
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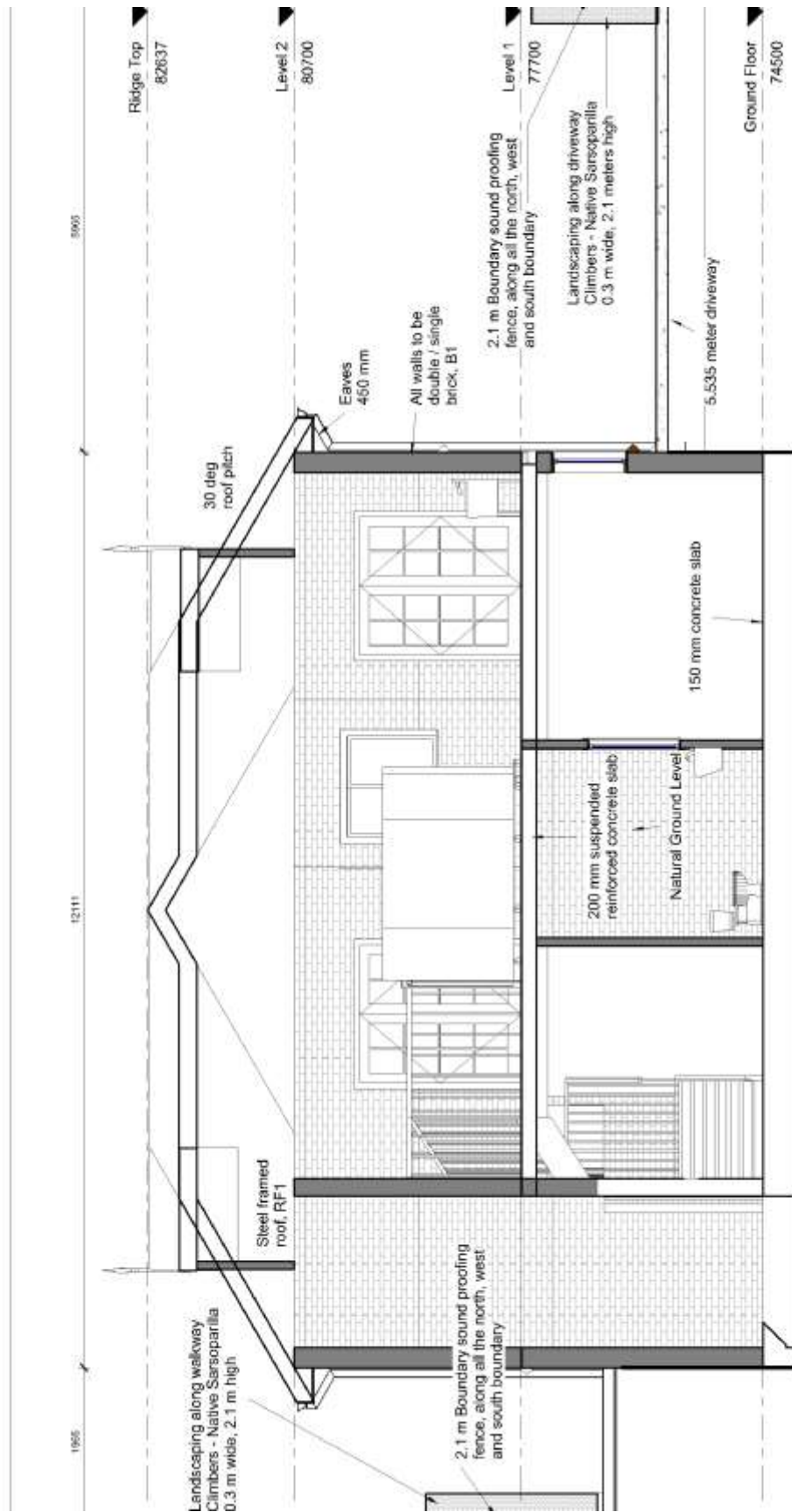


SECTION AA
 1 1 : 100



AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE
	17-5-16									

<p>www.cairnchristie.com.au T: 9057 9830 F: 9057 9840</p>	<p>Project: Cairn Christie Title: Section AA Author: Joseph Tuzza</p>	<p>Issue: A111 Date: 12/05/2016 Drawn: Joseph Tuzza Checked: Joseph Tuzza Approved: Joseph Tuzza</p>
--	---	--



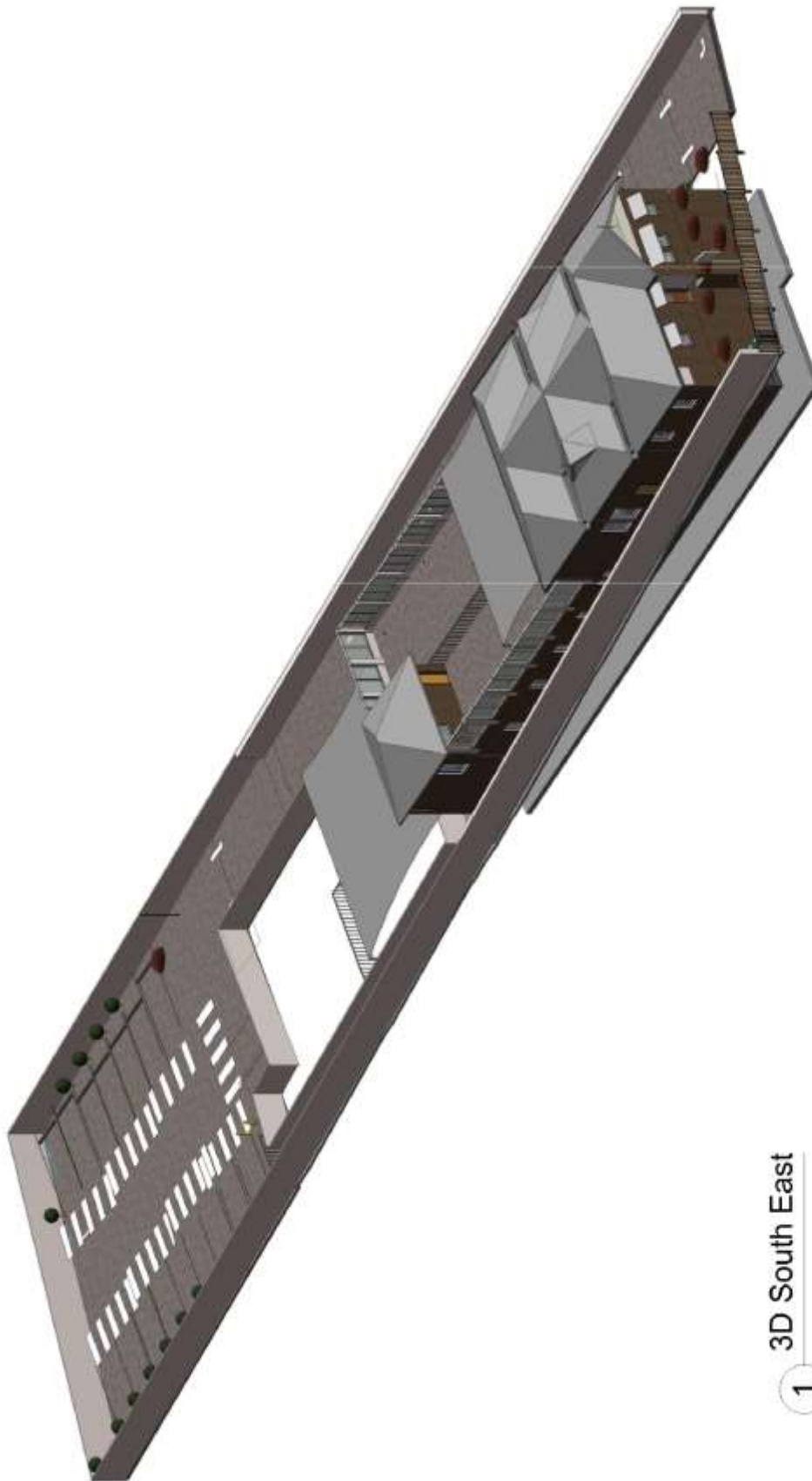
SECTION BB
1 1:50



AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV
	12-3-16							

DESIGNER
J. Farrell Architects
100 Stirling Street
Christchurch, NZ
T: 03 338 5228

PROJECT
Curlew Crickane
Section BB
Client: Joseph Tschira
www.jfarrell.co.nz
T: 03 338 5228



1 3D South East

AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE
	13-5-18						

Author: Cameron Christie
Date: 3D South East
Author: Joseph Tishie

Project: A113
Client: [illegible]
Address: [illegible]
City: [illegible]
Country: [illegible]

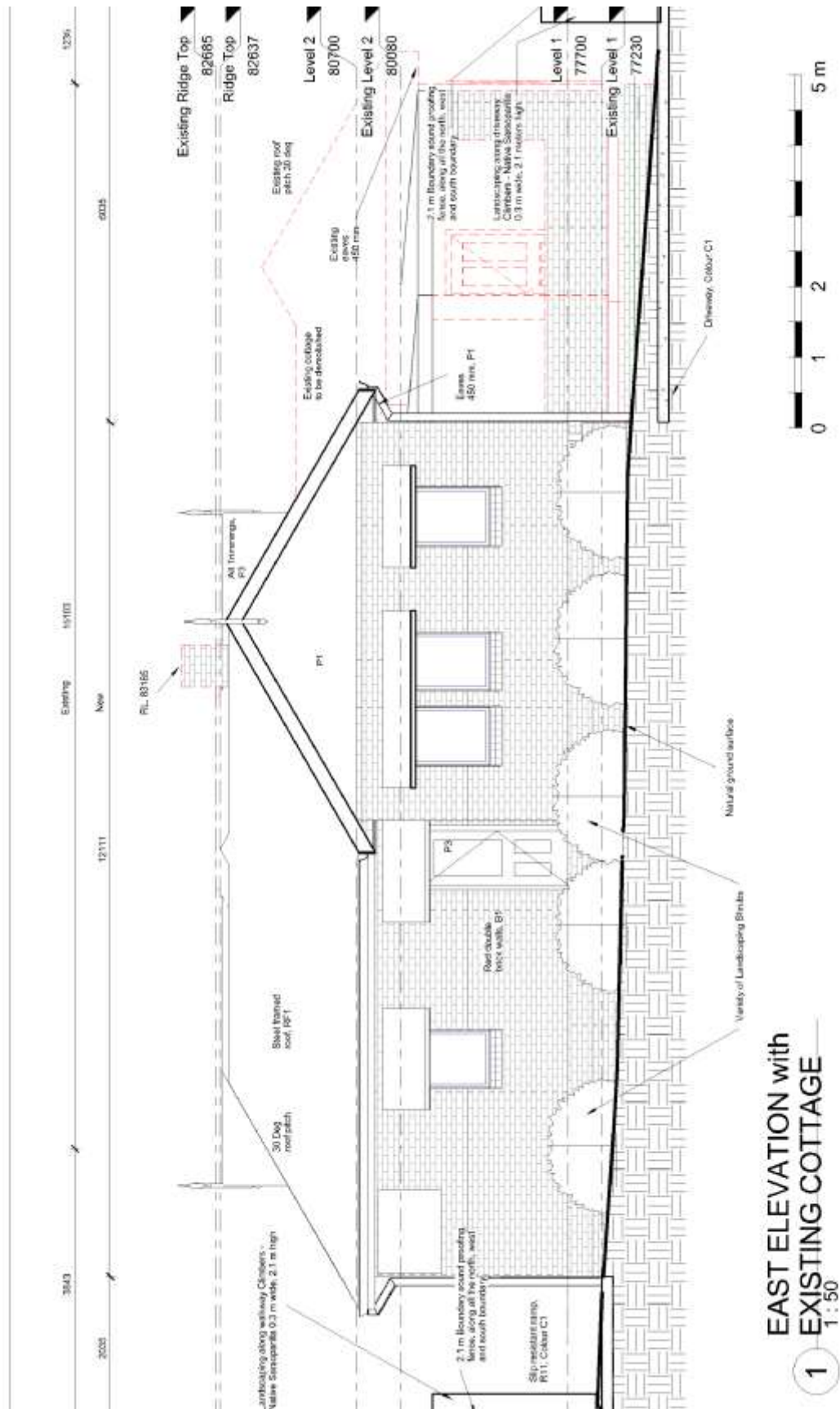
Website: www.bgarthitects.co.nz
Phone: T: 09 977 9630 F: 09 977 9640
Address: [illegible]
City: [illegible]
Country: [illegible]



1 3D North West

AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV
	12-5-16							

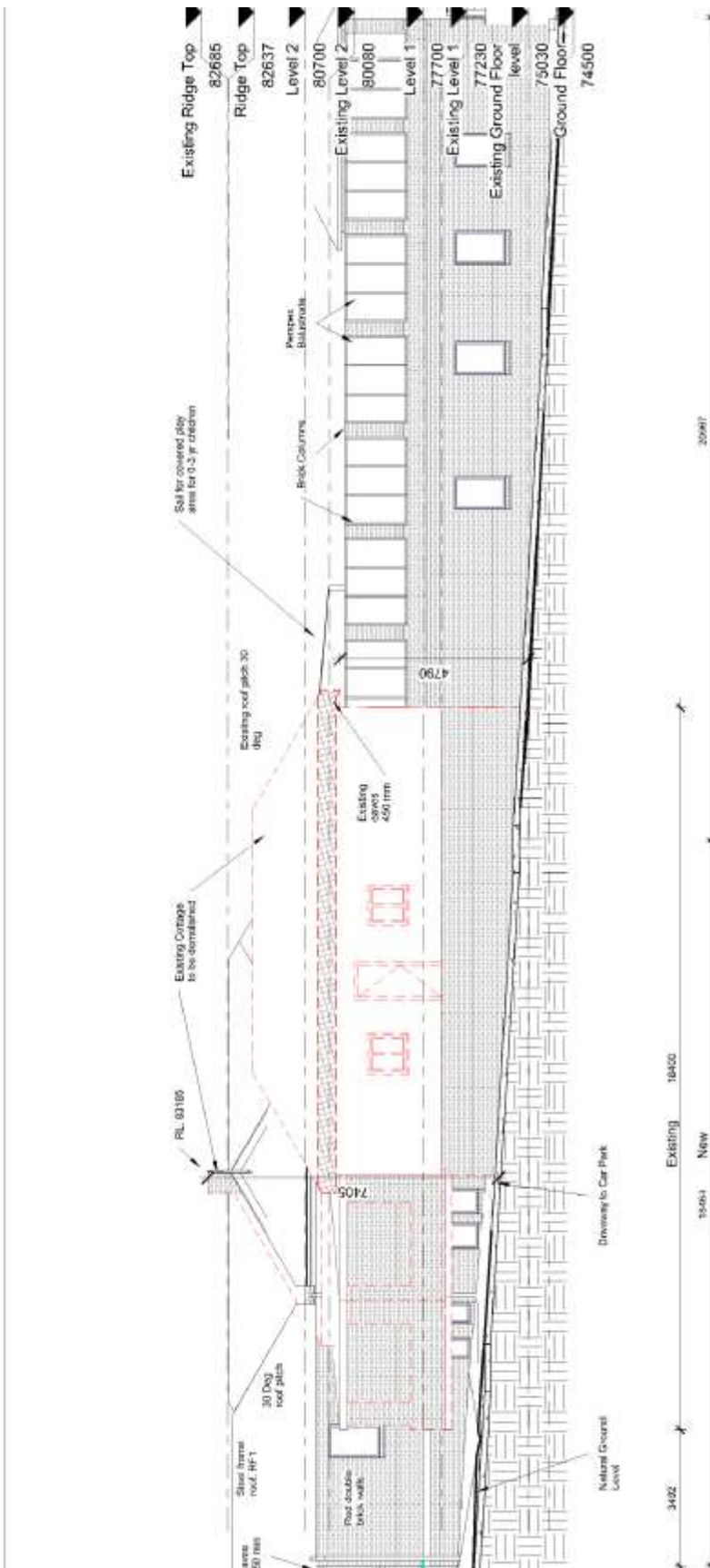
<p>PREPARED BY: GARDNER CHRISTIAN www.gardnerchristian.co.uk T: 01607 95300 F: 01607 95440</p>	<p>PROJECT: 3P North West site: Joseph Tishon</p>	<p>DATE: 12/05/16</p>
--	---	---



AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE
	12-05-16						

<p>PROJECT NO: 161000 PROJECT NAME: 161000 PROJECT LOCATION: 161000 PROJECT CLIENT: 161000 PROJECT DATE: 12-05-16 PROJECT STATUS: A</p>	<p>PROJECT NO: 161000 PROJECT NAME: 161000 PROJECT LOCATION: 161000 PROJECT CLIENT: 161000 PROJECT DATE: 12-05-16 PROJECT STATUS: A</p>
<p>PROJECT NO: 161000 PROJECT NAME: 161000 PROJECT LOCATION: 161000 PROJECT CLIENT: 161000 PROJECT DATE: 12-05-16 PROJECT STATUS: A</p>	<p>PROJECT NO: 161000 PROJECT NAME: 161000 PROJECT LOCATION: 161000 PROJECT CLIENT: 161000 PROJECT DATE: 12-05-16 PROJECT STATUS: A</p>
<p>PROJECT NO: 161000 PROJECT NAME: 161000 PROJECT LOCATION: 161000 PROJECT CLIENT: 161000 PROJECT DATE: 12-05-16 PROJECT STATUS: A</p>	<p>PROJECT NO: 161000 PROJECT NAME: 161000 PROJECT LOCATION: 161000 PROJECT CLIENT: 161000 PROJECT DATE: 12-05-16 PROJECT STATUS: A</p>

<p>PROJECT NO: 161000 PROJECT NAME: 161000 PROJECT LOCATION: 161000 PROJECT CLIENT: 161000 PROJECT DATE: 12-05-16 PROJECT STATUS: A</p>	<p>PROJECT NO: 161000 PROJECT NAME: 161000 PROJECT LOCATION: 161000 PROJECT CLIENT: 161000 PROJECT DATE: 12-05-16 PROJECT STATUS: A</p>
<p>PROJECT NO: 161000 PROJECT NAME: 161000 PROJECT LOCATION: 161000 PROJECT CLIENT: 161000 PROJECT DATE: 12-05-16 PROJECT STATUS: A</p>	<p>PROJECT NO: 161000 PROJECT NAME: 161000 PROJECT LOCATION: 161000 PROJECT CLIENT: 161000 PROJECT DATE: 12-05-16 PROJECT STATUS: A</p>



1 NORTH ELEVATION with EXISTING COTTAGE
1:100

AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE
	12-5-18						

LEGEND

P1	PAINT FINISH Duke Denbigh Yellow A005
P2	PAINT FINISH P1 Pure Hummel
P3	PAINT FINISH Duke Studys Blue
P4	PAINT FINISH Duke Mid Brunwick Green
C1	COAT OF COLOUR Royal Ovals Venetian
B1	BRICK - High Bricks - Hampshire
RF1	COLORBOND CORRUGATED ROOF Deep Ocean

External Materials and Finishes

1 : 50



C1



B1



RF1

BULK



27-28 Broughton St. - Existing house BK with side setback 300 mm to 3 ft



1-7 Bardon St. - Adjoining town houses with block of white, side setbacks 2 M



31 Broughton St. - Existing house BK setback 1235 mm



41 Broughton St. - 1 setbacks 500mm



55 Broughton St. - 1 setbacks 500mm



62-64 Broughton St. - Two storey terrace houses - 500 mm side setback



68-69 Broughton St. - Two storey terrace houses - 500 mm side setback



83 Broughton St. - Two storey terrace houses - 500 mm side setbacks



90 and 92-94 Broughton St. - 500 setbacks



74 Broughton St. - Scully Whigge Chinese Centre - car park M Foot



3 Broughton St. - Yellow walls, Mid Brunwick green door and garage, corrugated roof



34 Broughton St. - Yellow walls, Mid Brunwick green door and garage, corrugated roof



38 Morningside Rd. - Cement treatment brick walls



31 Park St. - yellow walls, corrugated roof



34 Morningside Rd. - Palisade cement treatment brick walls



4 Broughton St. - Light blue walls, art terraces, corrugated roof



34 Broughton St. - Cement render wall below with brick wall above



35 Broughton St. - Light blue walls, terracotta brick parapet



36 Broughton St. - Red brick



32 Morningside Rd. - Grey stucco, concrete driveway, Cement rendered brick walls



66-68 Broughton St. - Red brick



64-66 Broughton St. - Red brick



62-64 Broughton St. - Red brick



81 Broughton St. - Red brick



83 Broughton St. - Dark blue, yellow terracing, Mid-Brunwick green gutter and downpipes



83 Broughton St. - Dark yellow walls, Corrugated Burgundy roof



85 Broughton St. - Light green, corrugated roof



Corporate logo

AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV

Room Schedule				
Level	Number	Name	Area	Floor Finish / Slip Resistance
Not Placed:	33	Room	Not Placed	
Not Placed: 1			0.0 m ²	

Ground Floor	1	Foyer	19.9 m ²	Paint	Timber, R10
Ground Floor	2	Halfway 1	57.8 m ²	Paint	Timber, R10
Ground Floor	3	Laundry	4.5 m ²	Tiles	Tile, R10
Ground Floor	4	Main Kitchen	14.1 m ²	Paint	Tile, R10
Ground Floor	5	Main Office	14.9 m ²	Paint	Timber, R10
Ground Floor	6	Play Room 4	70.0 m ²	Paint	Timber, R10
Ground Floor	7	Play Room 5	78.2 m ²	Paint	Timber, R10
Ground Floor	8	Play Room 6	77.7 m ²	Paint	Timber, R10
Ground Floor	9	Staff Room	19.8 m ²	Paint	Timber, R10
Ground Floor	10	Staff Toilet 1	11.0 m ²	Tiles	Tile, R10
Ground Floor	11	Storage 4	4.7 m ²	Paint	Timber, R10
Ground Floor	12	Storage 5 & 6	3.5 m ²	Paint	Timber, R10
Ground Floor	13	Storage 7	5.0 m ²	Paint	Timber, R10
Ground Floor	14	Storage 8	4.3 m ²	Paint	Timber, R10
Ground Floor	15	Toilets 2-3 Yr	7.9 m ²	Tiles	Tile, R10
Ground Floor	16	Toilets 3-5 Yr	13.7 m ²	Tiles	Tile, R10
Ground Floor: 16			407.6 m ²		

Level 1	17	Baby Change Room	12.6 m ²	Tiles	Tile, R10
Level 1	18	Bottle Prep	3.0 m ²	Paint	Tile, R10
Level 1	19	Col Rim 1	13.7 m ²	Paint	Timber, R10
Level 1	20	Col Rim 2	10.9 m ²	Paint	Timber, R10
Level 1	21	Play Room 1	32.4 m ²	Paint	Timber, R10
Level 1	22	Play Room 2	28.9 m ²	Paint	Timber, R10
Level 1	23	Play Room 3	35.6 m ²	Paint	Timber, R10
Level 1	24	Staff Toilet 2	8.4 m ²	Tiles	Tile, R10
Level 1	26	Storage 1	2.0 m ²	Paint	Timber, R10
Level 1	25	Storage 2	6.1 m ²	Paint	Tile, R10
Level 1	27	Storage 3	2.5 m ²	Paint	Tile, R10
Level 1: 12	28	Toilet 2-3	5.2 m ²	Tiles	Tile, R10
Level 1: 12			162.3 m ²		
Grand total: 29			570.1 m ²		

Landscaping

Car Park 49.3 sq m
 Driveway 20.0 sq m
 Walkway from Brougham St 13.1 sq m
 Front Yard 82.4 sq m
 Total 164.8 sq m

Play Room Sizes

Internal for Children 0-2 Yrs 62.3 sq m
 External for Children 0-2 Yrs 124.3 sq m
 Internal for Children 2-3 Yrs 106.1 sq m
 External for Children 2-3 Yrs 161.8 sq m
 Internal for Children 3-6 Yrs 155.9 sq m
 External for Children 3-6 Yrs 254.5 sq m

Stair Schedule						
Mark	Actual Number of Risers	Actual Riser Height	Actual Tread Depth	Stair Width	Base Level	Top Level
Stair 1	20	160	250	1700	Ground Floor	Level 1
Stair 2	20	160	250	1700	Ground Floor	Level 1

Comments	
Level 1	Reinforced Concrete, Slip Resistance R11
Level 1	Reinforced Concrete, Slip Resistance R11

AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE
	12.5.16						

Project: Curran Crustace
 Title: Schedule 1
 Date: 12/05/2016
 Author: Joseph Trueta
 T: 9597 9830 F: 9597 9840

Window Schedule

Level	Type Mark	Mark	Location	Width	Height	Sill Height	Material	Glazing	Remarks
Ground Floor	32	1	Office	1372	1220	1200	Perspex 6mm	Double	Sliding
Ground Floor	32	2	Toilets 2-5	1372	1220	1100	Perspex 6mm	Double	Sliding
Ground Floor	32	3	Office	1372	1220	1200	Perspex 6mm	Double	Sliding
Ground Floor	32	4	Toilets 2-3	1372	1220	1100	Perspex 6mm	Double	Sliding
Ground Floor	32	5	Toilets 3-5	1372	1220	1100	Perspex 6mm	Double	Sliding
Ground Floor	45	6	Play Rm 5	762	1220	1500	Perspex 6mm	Double	Sliding
Ground Floor	45	7	Toilets 3-5	762	1220	1100	Perspex 6mm	Double	Sliding
Ground Floor	45	8	Staff Rm	762	1220	1400	Perspex 6mm	Double	Sliding
Ground Floor	45	9	Office	762	1220	1200	Perspex 6mm	Double	Sliding
Ground Floor	45	10	Play Rm 5	762	1220	1200	Perspex 6mm	Double	Sliding
Ground Floor	45	11	Toilets 3-5	762	1220	1100	Perspex 6mm	Double	Sliding
Ground Floor	45	12	Play Rm 6	762	1220	1100	Perspex 6mm	Double	Sliding
Ground Floor	45	13	Play Rm 5	762	1220	1500	Perspex 6mm	Double	Sliding
Ground Floor	45	14	Play Rm 5	762	1220	1100	Perspex 6mm	Double	Sliding
Ground Floor	47	15	Laundry	572	915	1200	Perspex 6mm	Double	Sliding
Ground Floor	47	16	Play Rm 5	572	915	1600	Perspex 6mm	Double	Sliding
Ground Floor	47	17	Staff Toilet 1	572	915	1700	Frosted	Double	Sliding
Ground Floor	47	18	Staff Rm	572	915	1700	Perspex 6mm	Double	Sliding
Ground Floor	47	19	Play Rm 5	572	915	1800	Perspex 6mm	Double	Sliding
Ground Floor	48	20	Play Rm 4	450	720	2000	Perspex 6mm	Double	Sliding
Ground Floor	46	21	Play Rm 4	450	720	2000	Perspex 6mm	Double	Sliding
Ground Floor	48	22	Kitchen	450	720	2000	Perspex 6mm	Double	Sliding
Ground Floor	48	23	Kitchen	450	720	2000	Perspex 6mm	Double	Sliding
Ground Floor	64	24	Toilets 2-3	915	1220	915	Perspex 6mm	Double	Sliding

Door Schedule

Level	Type Mark	Mark	Location	Width	Height	Thick-ness	Family and Type
Ground Floor	D1	1	Office	915	2134	51	M. Single-Flush, 0915 x 2134mm
Ground Floor	D1	2	Halfway 1	915	2134	51	M. Single-Flush, 0915 x 2134mm
Ground Floor	D3	3	Main Entrance	915	2134	51	M. Single-Glass 1, 0915 x 2134mm
Ground Floor	D6	4	Laundry	820	2100	50	One-Pane Timber Sliding Door, 0820 x 2100mm
Ground Floor	D6	5	Storage 5&6	1525	2134	44	M. BiFold-4 Panel, 1525 x 2134mm
Ground Floor	D6	6	Storage 5&6	1525	2134	44	M. BiFold-4 Panel, 1525 x 2134mm
Ground Floor	D7	7	Storage 4	1830	2134	44	M. BiFold-4 Panel, 1830 x 2134mm
Ground Floor	D7	8	Storage 4	1830	2134	44	M. BiFold-4 Panel, 1830 x 2134mm
Ground Floor	D7	9	Play Rm 4	1830	2134	44	M. BiFold-4 Panel, 1830 x 2134mm
Ground Floor	D11	10	Play Rm 6	920	2100	50	One-Pane Timber Sliding Door, 0920 x 2100mm
Ground Floor	D11	11	Play Rm 5	920	2100	50	One-Pane Timber Sliding Door, 0920 x 2100mm
Ground Floor	D29	12	Storage 7	820	2040		Single - Steel Frame (AUS); 820
Ground Floor	D29	13	Storage Stairs 2	820	2040		Single - Steel Frame (AUS); 820
Ground Floor	D31	14	Staff Toilet 1	920	2040		Single - Steel Frame (AUS); 920
Ground Floor	D31	15	Kitchen	920	2040		Single - Steel Frame (AUS); 920
Ground Floor	D31	16	Play Rm 4	920	2040		Single - Steel Frame (AUS); 920
Ground Floor	D31	17	Staff Rm	920	2040		Single - Steel Frame (AUS); 920
Ground Floor	D64	18	External Play	1830	2134	51	Double-Glass 1; 1830 x 2134mm

Level 1	32	25	Toilets 2-3	1372	1220	1100	Perspex 6mm	Double	Sliding
Level 1	32	26	Baby Change	1372	1220	1100	Perspex 6mm	Double	Sliding
Level 1	32	27	Col Rms	1372	1220	1100	Perspex 6mm	Double	Sliding
Level 1	32	28	Toilets 2-3	1372	1220	1100	Perspex 6mm	Double	Sliding
Level 1	37	29	Stairs 1	900	1500	-500	Perspex 6mm	Double	Sliding
Level 1	37	30	Stairs 1	900	1500	0	Perspex 6mm	Double	Sliding
Level 1	37	31	Stairs 2	900	1500	0	Perspex 6mm	Double	Sliding
Level 1	37	32	Stairs 2	900	1500	0	Perspex 6mm	Double	Sliding
Level 1	45	33	Play Rm 2	762	1220	1100	Perspex 6mm	Double	Sliding
Level 1	45	34	Play Rm 1	762	1220	1100	Perspex 6mm	Double	Sliding
Level 1	45	35	Col Rm 2	762	1220	1100	Perspex 6mm	Double	Sliding
Level 1	45	36	Col Rm 1	762	1220	1100	Perspex 6mm	Double	Sliding
Level 1	45	37	Baby Change	762	1220	1100	Perspex 6mm	Double	Sliding
Level 1	45	38	Col Rm 2	762	1220	1100	Perspex 6mm	Double	Sliding
Level 1	45	39	Staff Toilet 2	762	1220	1100	Perspex 6mm	Double	Sliding
Level 1	45	40	Toilets 2-3	762	1220	1100	Perspex 6mm	Double	Sliding
Level 1	45	41	Baby Change	762	1220	1100	Perspex 6mm	Double	Sliding
Level 1	45	42	Play Rm 2	762	1220	1100	Perspex 6mm	Double	Sliding
Level 1	45	43	Staff Toilet 2	762	1220	1100	Perspex 6mm	Double	Sliding
Level 1	63	44	Foyer	1372	610	1200	Perspex 6mm	Double	Sliding
Level 1	63	45	Stairs 1	1372	610	1200	Perspex 6mm	Double	Sliding

Level 1	19	Col Rm 2	820	2100	50	One-Pane Timber Sliding Door, 0820 x 2100mm	
Level 1	20	Bt Prep	820	2100	50	One-Pane Timber Sliding Door, 0820 x 2100mm	
Level 1	21	Col Rm 1	820	2100	50	One-Pane Timber Sliding Door, 0820 x 2100mm	
Level 1	22	Storage 3	1830	2134	44	M. BiFold-4 Panel, 1830 x 2134mm	
Level 1	23	Storage 1	1830	2134	44	M. BiFold-4 Panel, 1830 x 2134mm	
Level 1	24	Play Rm 2	1830	2134	51	M. Double-Glass 2, 1830 x 2134mm	
Level 1	25	Play Rm 3	1830	2134	51	M. Double-Glass 2, 1830 x 2134mm	
Level 1	D15	Storage 2	762	2032	51	Single-Decorative 1; 0762 x 2032mm	
Level 1	D29	27	Baby Change	820	2040		Single - Steel Frame (AUS); 820
Level 1	D29	28	Staff Toilet 2	820	2040		Single - Steel Frame (AUS); 820
Level 1	D29	29	Storage 2	820	2040		Single - Steel Frame (AUS); 820
Level 1	D29	30	Play Area 1	820	2040		Single - Steel Frame (AUS); 820
Level 1	D29	31	Play Area 2	820	2040		Single - Steel Frame (AUS); 820
Level 1	D31	32	Emergency Exit	920	2040		Single - Steel Frame (AUS); 920

Level 1: 14
Grand total: 32

AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV	AMENDMENTS	DATE	REV
	12-5-18							

PROJECT: Heritage Impact Statement

CLIENT: [Name]

DATE: 12/05/2018

BY: [Name]

FOR: [Name]

PROJECT NO.: A121

SCALE: A

DATE: 12/05/2018

BY: [Name]

FOR: [Name]

PROJECT MANAGER: Joseph Tuzza

CONTACT: T. 9597 9830 F. 9597 9840

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HEMANOTE CONSULTANTS

31 BROUGHTON STREET, CAMDEN
PROPOSED CHILDCARE CENTRE

**TRAFFIC & PARKING
IMPACT ASSESSMENT**

APRIL 2016

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**TRAFFIC & PARKING IMPACT ASSESSMENT
31 BROUGHTON STREET, CAMDEN
PROPOSED CHILDCARE CENTRE
DATE: 28 APRIL 2016**

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1 INTRODUCTION

This report has been prepared by Hemanote Consultants to assess the traffic and parking implications of the proposed childcare centre to be located at 31 Broughton Street, Camden for 72 children between the ages of 0 to 6 years old.

This report is to be read in conjunction with the architectural plans prepared by Barrelle Guirguis Architects and submitted to Camden Council as part of a Development Application.

This report is set as follows:

- *Section 2:* Description of the existing site location and its use;
- *Section 3:* Description of existing traffic conditions near the subject site;
- *Section 4:* Description of the proposal, vehicular access and on-site parking provision, layout and circulation;
- *Section 5:* Assessment of Impacts on traffic near the subject site; and
- *Section 6:* Outlines Conclusions.

2 EXISTING SITE DESCRIPTION

➤ *Site Location*

The subject site is located on the western side of Broughton Street, at property No. 31 and within the suburb of Camden. The site has a frontage of approximately 20.4 metres to Broughton Street from the east. Refer to Figure 1 for a site locality map.

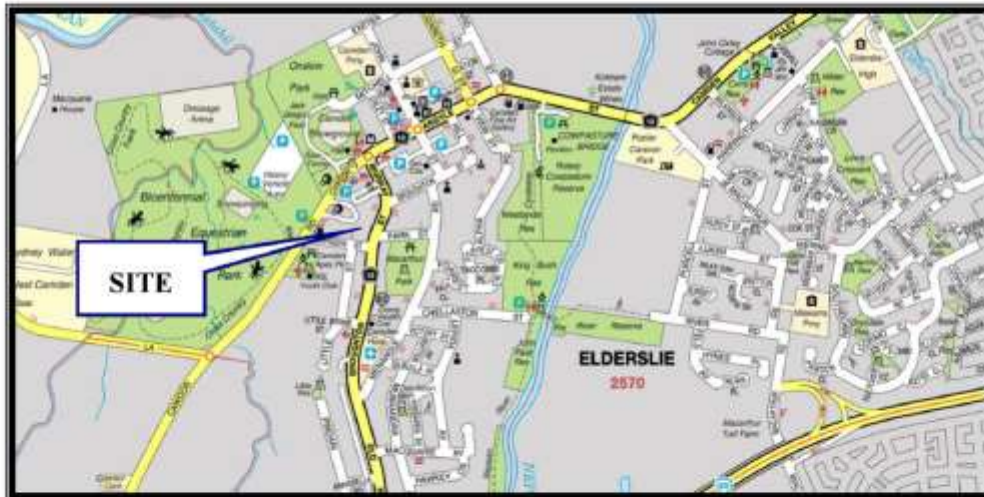


Figure 1: Site Locality Map

➤ *Existing Site Land Use*

The subject site is zoned B4 Mixed Use and has an area of approximately 2,022 m² and currently has a single-storey residential dwelling with a vehicular access driveway from Broughton Street.

The site is located in a mixed residential and commercial area characterised by a mixture of residential dwelling houses and a retail/commercial shopping area. It is located in close proximity to Macarthur Park, RSL club and Camden Showground.



Photo 1: The subject site frontage to Broughton Street

3 EXISTING TRAFFIC CONDITIONS

3.1 Road Network and Classification

Broughton Street is a local road (non-classified road) running north-south between Camden Bypass (state road) in the south and Cawdor Road (regional road) and Argyle Street (regional road) in the north. It intersects with a number of local streets along its length including Park Street and Broughton Street in the vicinity of the subject site.

3.2 Road Description and Traffic Control

Broughton Street in the vicinity of the subject site is a two-way undivided carriageway, with a width between kerbs of approximately 12 metres. It generally provides one travel lane per direction, with kerbside parking lanes on both sides of the street, where unrestricted parking is permitted, with the exception of the signposted 'No Stopping' zones. At present, there are 'No Stopping' restrictions along the frontage of the subject site on the western side of Broughton Street, while parking is permitted on the opposite side of the street.

The legal speed limit on Broughton Street is 50 km/h and traffic calming measures are in place along the street, including line markings, turning lanes and pedestrian refuge islands. Park Street forms a 'T' intersection with Broughton Street near the subject site and is controlled by 'Stop' controls with priority given to traffic travelling along Broughton Street.



Figure 2: Aerial photograph of the subject site and surrounding road network



Photo 2: Broughton Street – facing north



Photo 3: Park Street at its T-intersection with Broughton Street – facing west

3.3 Current Traffic Flows

Traffic volume/intersection counts were undertaken by Engdata Services on behalf of Hemanote Consultants at the intersections of Broughton Street / Park Street and Broughton Street / Murray Street in the vicinity of the subject site on Wednesday 6 April 2016 during morning peak periods (7.00am to 10.00am) and afternoon peak periods (3.00pm to 6.00pm) considering the childcare centre proposed hours of operation and traffic peak periods.

The traffic flows in the morning & afternoon peak hours are shown below and in Table 1 on the next page and in Appendix 'B'.

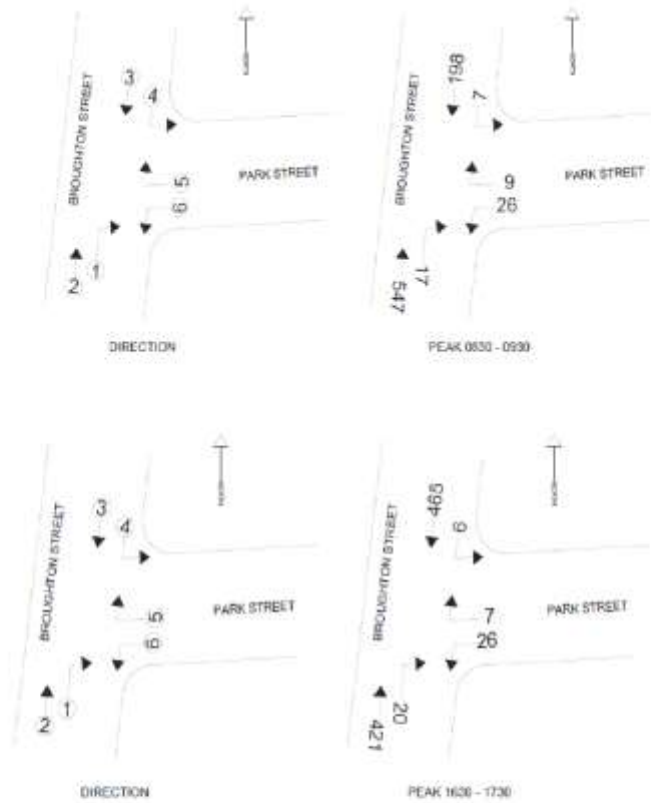


Diagram 1: Subject Intersection – Broughton Street / Park Street

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Traffic movement	Morning Peak Hour (Vehicles Per Hour)	Afternoon Peak Hour (Vehicles Per Hour)
	8.30am – 9.30am	4.30pm – 5.30pm
Broughton Street		
Northbound	573	448
Southbound	231	497
Park Street		
Eastbound	24	26
Westbound	35	33

Table 1: Current traffic flows on Broughton & Park St near subject site (on a typical weekday)

The results of the current traffic volume counts undertaken determined that the traffic morning peak period on Broughton and Park Streets was between 8.30am to 9.30am and the afternoon peak period was between 4.30pm to 5.30pm on a typical weekday.

The traffic flows on Broughton Street are considered to be appropriate for local road in a mixed residential and commercial area. Traffic on Broughton Street is free flowing without any major queuing or delays in peak traffic periods, apart from the occasional queuing at the Enmore Road traffic signals.

It is determined that the existing Level of Service on Broughton Street is identified as level 'B', in accordance with Table 4.4 of the Roads & Maritime Services' "Guide to Traffic Generating Developments - 2002" (attached below) with peak hour flow being less than 600 vehicles/hr per direction.

Level of Service	One Lane (veh/hr)	Two Lanes (veh/hr)
A	200	900
B	380	1400
C	600	1800
D	900	2200
E	1400	2800

Table 4.4: Urban road peak hour flows per direction (RMS Guide)

3.4 Existing Transportation Services

The subject site is well served by public transport services in the form of regular bus services that operate along Broughton Street and adjacent streets (i.e. bus routes 47, 49, 894, 895 and 900) with bus stops being located within 150 metres walking distance from the subject site.

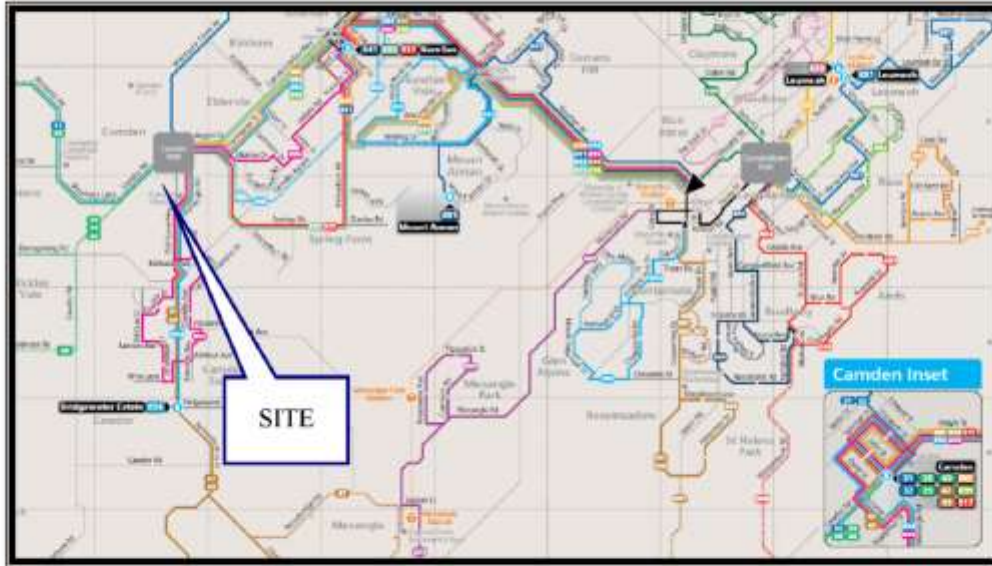


Figure 3: Bus services near the subject site

4 PROPOSED DEVELOPMENT

4.1 Description

The proposal is for the construction of a new two-storey building with on-site car parking at the rear of the site located at 31 Broughton Street, Camden to be used as a childcare centre for 72 children between the ages of 0-6 years old.

The proposed development would consist of the following elements:

1. Childcare centre building accommodating a total of 72 children:
 - 16 children between the ages of 0 to 2 years old (4 staff members);
 - 20 children between the ages of 2 to 3 years old (4 staff members); and
 - 36 children between the ages of 3 to 6 years old (4 staff members).
2. Eighteen (18) off-street car parking spaces on ground level at the rear of the site for staff and visitor/parent parking, including one (1) accessible parking space for people with a disability and two drop-off and pick-up spaces.

There will be a maximum of twelve (12) staff members at any given time. The proposed hours of operation of the centre will be from 7.00am to 7.00pm on weekdays only.

Refer to **Appendix 'A'** for the proposed development plans.

4.2 Vehicular Access & Sight Lines

The vehicular access to and from the proposed on-site car parking area will be via a new driveway crossing in Broughton Street to be constructed near the north eastern corner of the site.

The new driveway crossing is to be 5.5 metres in width to allow for two-way vehicular movements where two vehicles can pass each other in a forward direction without causing any delays or congestion.

The existing driveway crossing currently located in Broughton Street near the south eastern corner of the site will be removed and replaced with footpath, kerb and gutter.

Traffic island on Broughton Street

It is recommended to restrict vehicular access to and from the subject site to left-in and left-out only, in order to reduce any impacts on current traffic flows on Broughton Street by avoiding any right turns into and out of the site. Therefore, increase the general safety around the proposed childcare centre site.

In order to achieve the recommended left-in and left-out turning movements into and out of the subject site, it is also recommended to extend the existing pedestrian refuge island on Broughton Street located directly outside the site by approximately 3 metres towards the north (as shown in the diagram below), subject to Council approval.

This will not interfere with traffic movements for adjacent driveways and will ensure that vehicle movements into and out of the site are controlled and restricted to left-in and left-out.



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All vehicular access to be located in accordance with the requirements of AS2890.1:2004, where adequate sight lines are provided.

Sight lines at driveway crossing

The proposed location of the new driveway crossing provides adequate sight lines to approaching traffic along Broughton Street, in accordance with Figure 3.2 of AS2890.1:2004. This has been demonstrated in the sight lines diagram attached in Appendix D.

The diagram indicates clear sight lines are achieved for the desirable distance of 69 metres from either side of the proposed access driveway and are not affected by the crest in the road located directly north of Barsden Street.

4.3 On-site Parking Provision

Camden Council's Development Control Plan Part B 'General Land Use Controls' updated in January 2016 requires off-street parking for childcare centres to be provided at a rate of 1 car space per 4 children, including 1 accessible space for people with a disability.

The proposed childcare centre is to have a maximum of 72 children at any given time and on-site car parking is to be provided as shown in Table 2 below:

Age Group	0-2 years	2-3 years	3-6 years	Total
Number of children	16	20	36	72
Number of Staff	4	4	4	12
Off-street car parking required				18
Off-street car parking spaces provided				18
Compliance with on-site car parking				Yes

Table 2: on-site parking provision

The proposed development provides a total of eighteen (18) off-street car parking spaces on ground level towards the rear of the site, including one (1) accessible parking space for use by people with a disability.

Therefore, the on-site car parking provided is considered to be adequate for the proposed childcare centre and in accordance with Council's requirements.

It should also be noted that the process of dropping-off and picking-up a child takes an average of between 7 to 10 minutes.

It should also be noted that the site has good access to existing public transportation bus services in the area, which can be utilised by staff members or parents who may live locally.

4.4 On-site Parking Layout and Circulation

The proposed layout of the on-site car parking area and manoeuvring arrangements has been designed to enhance access and pedestrian safety. A dedicated and clearly defined pedestrian walkway is to be provided from the car park to the main entrance to the centre, in addition to painted pedestrian walkway markings within the car park, to highlight the presence of pedestrian and safely define their path of travel.

It is noted that the majority of staff members normally arrive at the childcare centre before the children and leave the centre at the closing time after the children have been picked-up by their parents/care takers.

AS2890.1:2004 Parking facilities Part 1: Off-street car parking requires a minimum parking space width of 2.4 meters and a minimum length of 5.4 meters for staff parking. The proposed off-street car parking spaces have a minimum width of 2.4 metres and 2.6 metres for drop-off & pick-up spaces and a minimum length of 5.4 meters each, which is adequate.

The accessible car parking space for people with a disability has a width of 2.4 metres, in addition to an adjacent 2.4 metres wide shared/no parking area, which is adequate in accordance with AS2890.6:2009. It should be noted that this space shall comprise a firm plane surface with a fall not exceeding 1:40 in any direction (i.e. 2.5%) or 1:33 if the surface is a bituminous seal and the parking space is out of doors.

Car parking spaces adjacent to walls/obstructions have been made wider than the minimum width, to accommodate full door opening in accordance with Clause 2.4.2 (d) of AS2890.1:2004.

Clause 2.4.2 of AS2890.1:2004 requires a minimum aisle width of 5.8 metres for two-way aisles, adjacent to 90° angle parking. The proposed aisle within the on-site parking area has a minimum width of 7.6 metres, which is adequate for manoeuvring into and out of parking spaces.

Circulation of vehicles to and from the on-site car parking level will be through a long two-way internal driveway/ramp. The proposed driveway/ramp has a minimum clear width of 5.5 metres, which is adequate in accordance with Clause 2.5.2 of AS2890.1:2004. The internal driveway provides for two-way traffic where two vehicles travelling in opposing directions can pass each other without causing delays

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Traffic & Parking Impact Assessment – 31 Broughton St, Camden

or congestion. The long length of internal driveway provided will ensure no congestion or queuing issues will occur at the front boundary or street frontage.

The proposed ramp grades are within the maximum grade of 1 in 4 (25%) in accordance with Clause 2.5.3 of AS2890.1:2004 and a change in grade of 1:8 (12.5%) to prevent vehicle scrapping. The first 6 metres of the ramp at the front boundary of the site is to have a grade of 1:20 (5%) in accordance with Clause 3.3 of AS2890.1:2004.

All vehicles' manoeuvring within the site has been designed and checked using the design car turning path from AS2890.1:2004 and Austroads. Refer to the attached vehicle swept path diagrams in Appendix 'C'.

Additional vehicle swept paths for temporary access for larger construction vehicles (during the proposed construction period for MRV and HRV) are also attached, to indicate that these trucks can enter and exit the site in a forward direction during the building works.

Therefore, the car parking layout and circulation are considered to be adequate in accordance with AS2890.1:2004 and AS2890.6:2009, where vehicles can enter and exit the site in a forward direction.

Waste collection

Waste is to be collected from the street kerb frontage in Broughton Street on weekly basis as per the current normal practice for the area (as shown in the figure below).



5 EXTERNAL TRAFFIC IMPACT

An indication of the potential traffic generation of the proposed development is provided by the *RMS Guide to Traffic Generating Development - 2002*.

The Guide specifies the following traffic generation rates for long-day care centres:

- 0.8 peak period vehicle trips per child (between 7.00am and 9.00am); and
- 0.7 peak period vehicle trips per child (between 4.00pm and 6.00pm).

Therefore, the proposed development site has an estimated peak hour traffic generation as shown on the following table:

Type of development on site	Peak hour vehicle trips	
	AM Peak Period	PM Peak Period
Childcare Centre accommodating 72 children	29	25

It should be noted that the rate used by the RMS Guide is based on surveys of childcare centres, where it was determined that the mean proportion of children transported to the centre by car was 93% for long-day care centres.

It should also be noted that the process of dropping-off and picking-up a child takes an average of between 7 to 10 minutes. With an average stay of 7 to 10 minutes during drop-off/pickup of children, each parking space has the potential to accommodate up to 6 parked cars per hour.

The estimated peak period traffic generation is considered to be of low impact on existing flows on Broughton Street and adjacent road network and intersections. The traffic generated by the operation of the proposed childcare centre will not alter the current Level of Service and additional traffic generated can be readily accommodated.

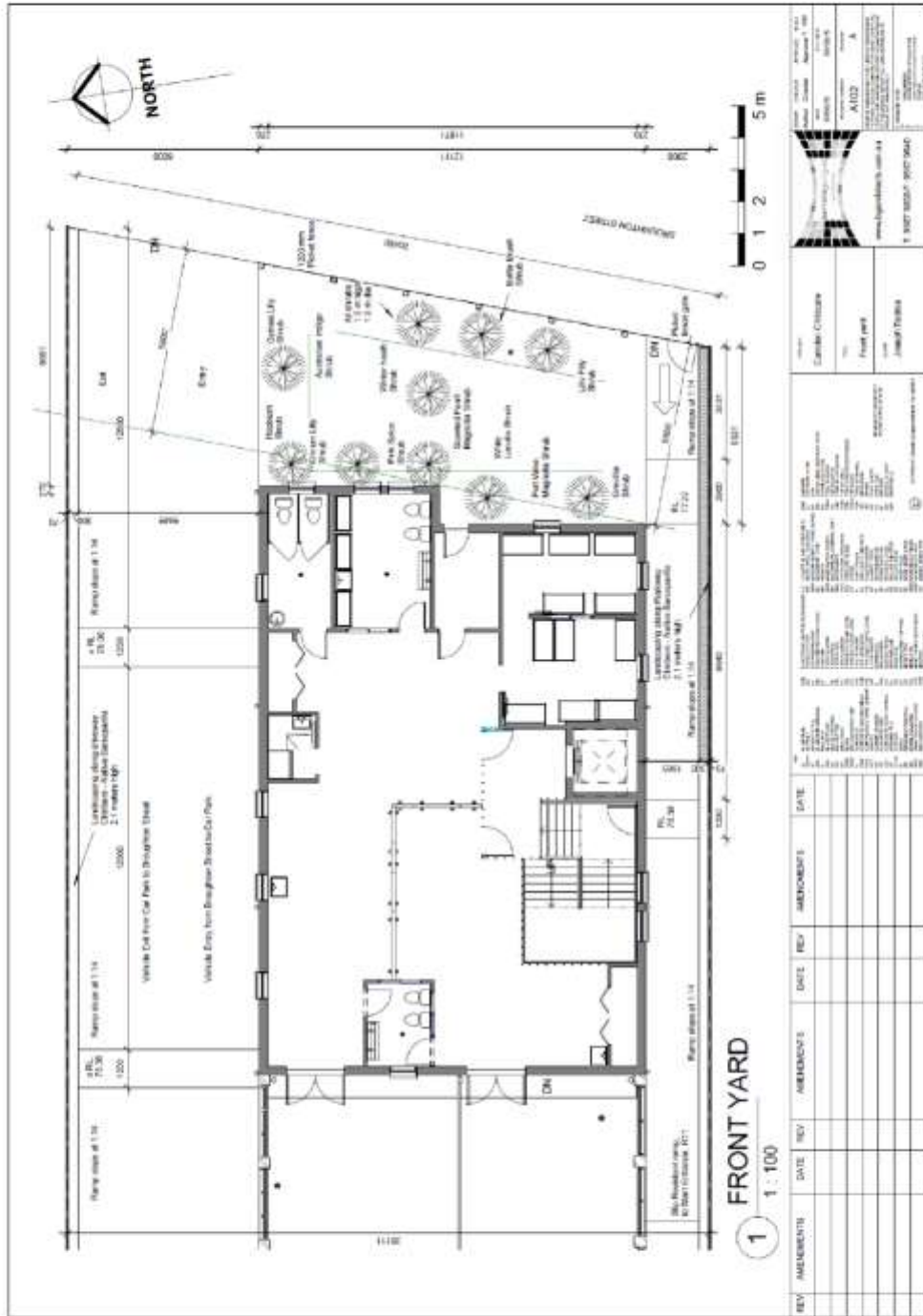
The potential increase in the number of vehicle movements in and about Broughton Street will remain well within the Environmental capacity of the street, with no adverse impacts on the amenity of the area.

6 CONCLUSION

It can be concluded from the traffic and parking impact assessment that the proposed childcare centre to be located at 31 Broughton Street, Camden is adequate and will have no major impacts on current traffic or parking conditions:

- The traffic flows on Broughton Street are considered to be appropriate for a local road in a mixed residential and commercial area, with free flowing traffic without any major queuing or delay in peak traffic periods.
- The external impact of the traffic generated by the proposal is considered to be satisfactory and will not result in an unacceptable peak hour traffic generation.
- The potential increase in the number of vehicle movements in and about Broughton Street will remain well within the Environmental capacity of the streets, with no adverse impacts on the amenity of the area.
- The subject site has good access to public transport services in the form of regular bus services along Broughton Street.
- The on-site car parking layout and circulation is adequate in accordance with Australian Standards AS2890.1:2004 and AS2890.6:2009.
- The level of on-site car parking provision is considered to be adequate for the proposed centre and in accordance with Council's requirements.
- The proposed development will have no major impact on parking or adjacent road network and intersections.

Appendix A – Proposed Development Plans



Appendix B – Traffic volume count results

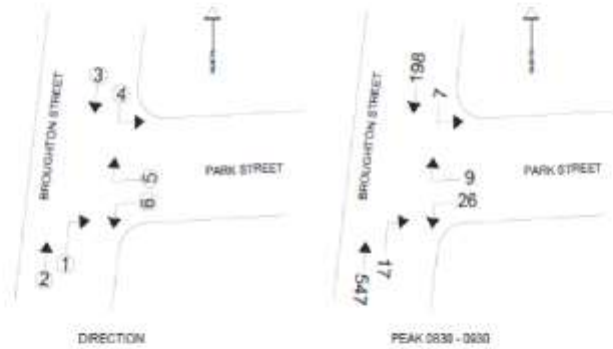
engdata services

engdata@iinet.net.au mob.0412625680

Traffic Count : Broughton St/Park St - Camden
 Wednesday 6.4.16
 Ref: 1051

Direction Location	NORTH Broughton St		SOUTH Broughton St		WEST Park St		TOTAL
	1	2	3	4	5	6	
0700 - 0715	3	74	31	0	2	1	111
0715 - 0730	4	76	30	2	0	9	121
0730 - 0745	5	73	31	2	3	2	116
0745 - 0800	1	110	29	3	2	3	148
0800 - 0815	1	97	42	0	2	5	147
0815 - 0830	5	119	33	3	2	8	170
0830 - 0845	3	149	47	2	3	5	209
0845 - 0900	4	154	50	2	1	10	221
0900 - 0915	9	130	47	3	4	5	198
0915 - 0930	1	114	54	0	1	6	176
0930 - 0945	2	103	49	2	2	4	162
0945 - 1000	5	88	60	0	2	5	160
total	43	1287	503	19	24	63	1939

PEAK HOUR	0830 - 0930
------------------	--------------------



Direction Location	NORTH		SOUTH		WEST		TOTAL
	Broughton St		Broughton St		Park St		
Time Per	1	2	3	4	5	6	
1500 - 1515	1	100	63	1	3	8	176
1515 - 1530	5	91	76	2	0	6	180
1530 - 1545	6	99	91	2	3	10	211
1545 - 1600	5	86	87	4	5	9	196
1600 - 1615	1	91	82	4	3	7	188
1615 - 1630	5	97	105	0	3	10	220
1630 - 1645	9	92	105	0	2	7	215
1645 - 1700	7	103	96	2	3	4	215
1700 - 1715	3	116	142	3	1	10	275
1715 - 1730	1	110	122	1	1	5	240
1730 - 1745	5	87	111	4	2	5	214
1745 - 1800	3	83	77	2	4	3	172
total	51	1155	1157	25	30	84	2502

PEAK HOUR	1630 - 1730
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engdata services

engdata@iinet.net.au mob.0412625680

Traffic Count : Broughton St/Murray St - Camden
 Wednesday 6.4.16
 Ref: 1050

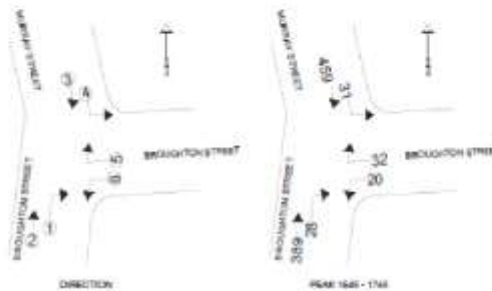
Direction Location	NORTH Broughton St		SOUTH Murray St		WEST Broughton St		TOTAL
	1	2	3	4	5	6	
Time Per							
0700 - 0715	4	72	29	7	3	2	117
0715 - 0730	1	75	30	10	5	2	123
0730 - 0745	7	69	32	2	4	1	115
0745 - 0800	8	104	28	3	4	4	151
0800 - 0815	7	92	40	3	4	2	148
0815 - 0830	17	104	36	7	6	0	170
0830 - 0845	12	139	48	7	5	1	212
0845 - 0900	25	129	50	8	6	2	221
0900 - 0915	14	130	47	12	11	3	217
0915 - 0930	10	105	51	5	2	3	176
0930 - 0945	6	99	50	9	5	1	170
0945 - 1000	15	75	56	15	6	3	170
total	127	1193	497	88	61	24	1990

PEAK HOUR	0830 - 0930
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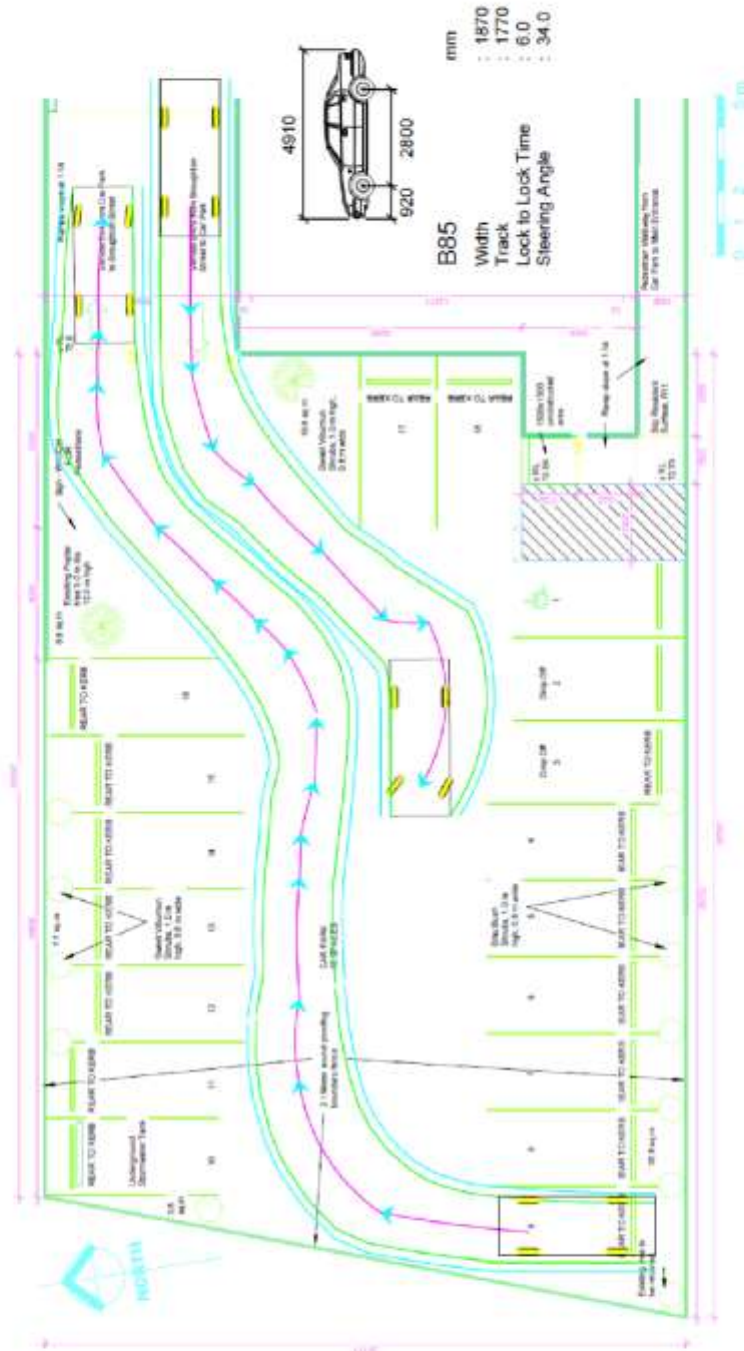


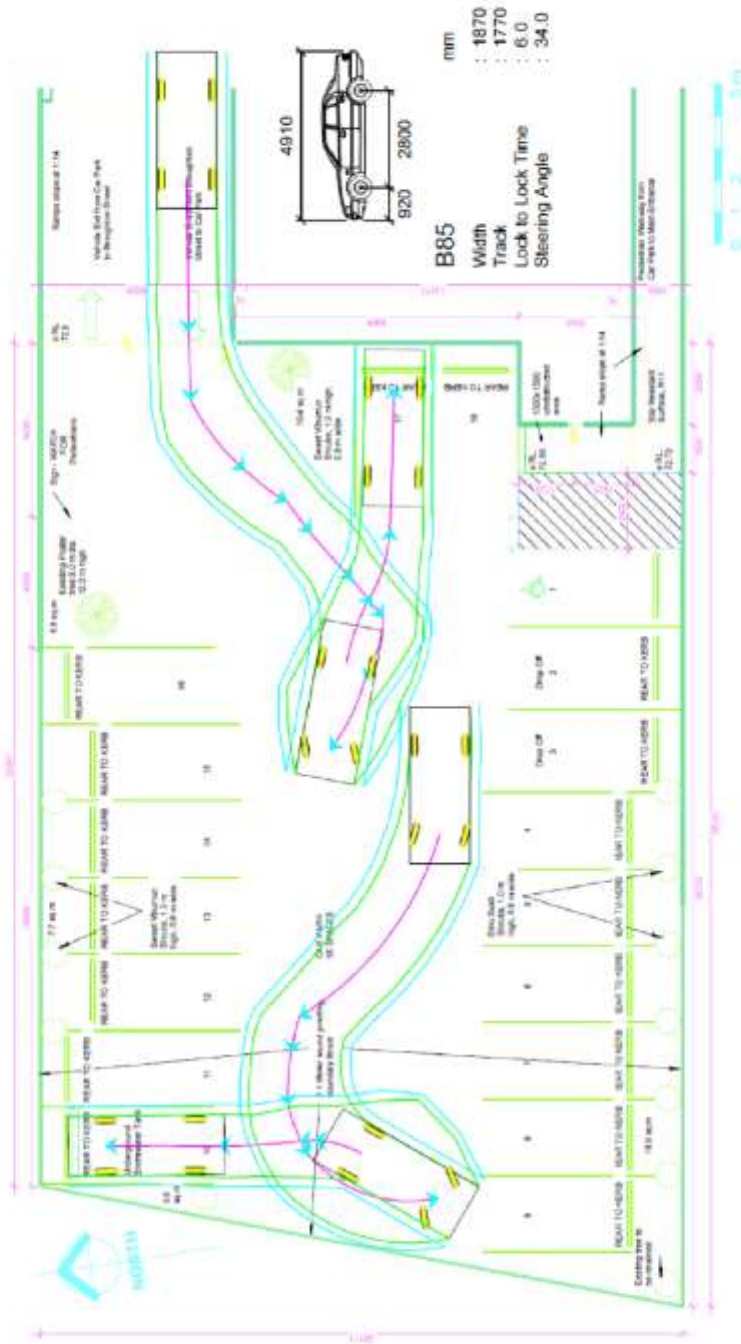
Direction Location	NORTH Broughton St		SOUTH Murray St		WEST Broughton St		TOTAL
	1	2	3	4	5	6	
1500 - 1515	3	100	59	7	3	5	177
1515 - 1530	8	83	75	9	5	3	183
1530 - 1545	7	96	92	11	9	1	215
1545 - 1600	8	83	85	11	6	6	199
1600 - 1615	5	89	83	8	6	3	194
1615 - 1630	3	97	97	10	10	8	225
1630 - 1645	11	83	104	8	6	1	213
1645 - 1700	9	97	97	4	6	1	214
1700 - 1715	5	112	135	9	10	10	281
1715 - 1730	4	107	118	3	7	5	244
1730 - 1745	8	81	109	16	3	6	223
1745 - 1800	6	81	77	8	7	2	181
total	77	1108	1131	104	78	51	2549

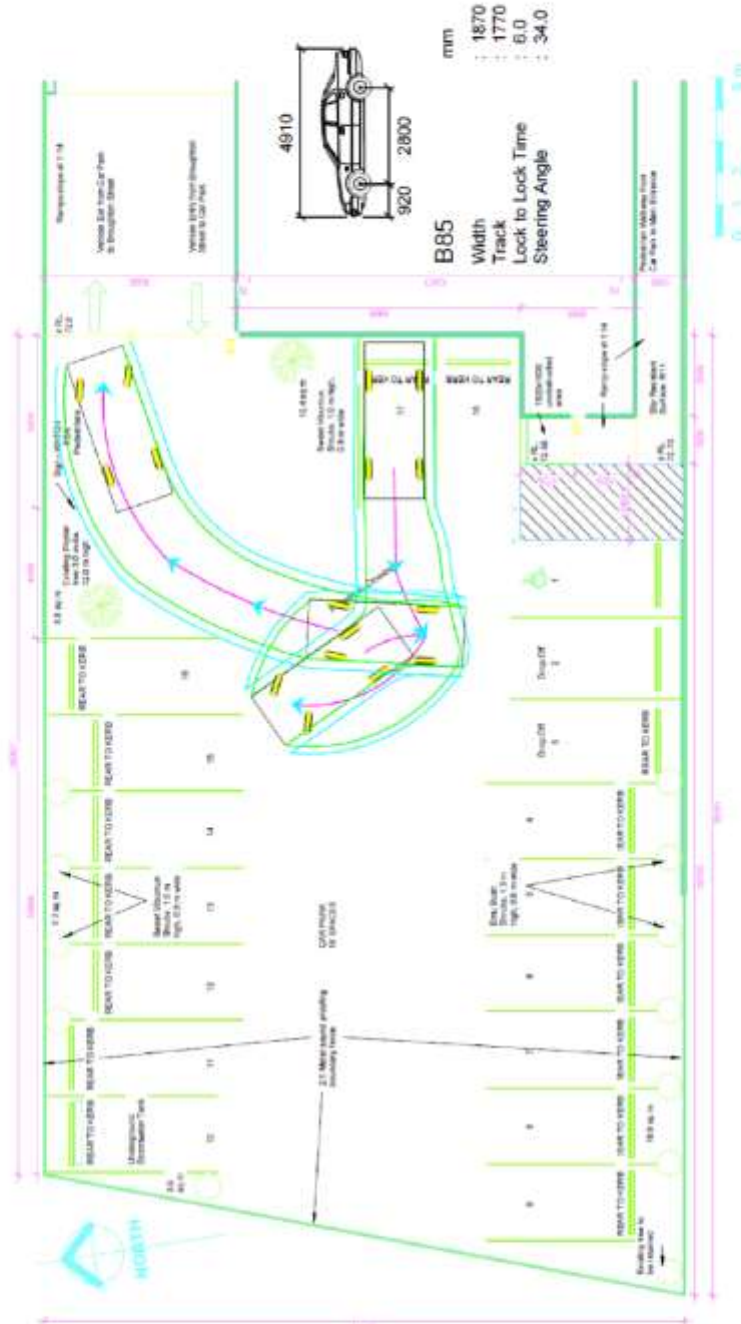
PEAK HOUR	1645 - 1745
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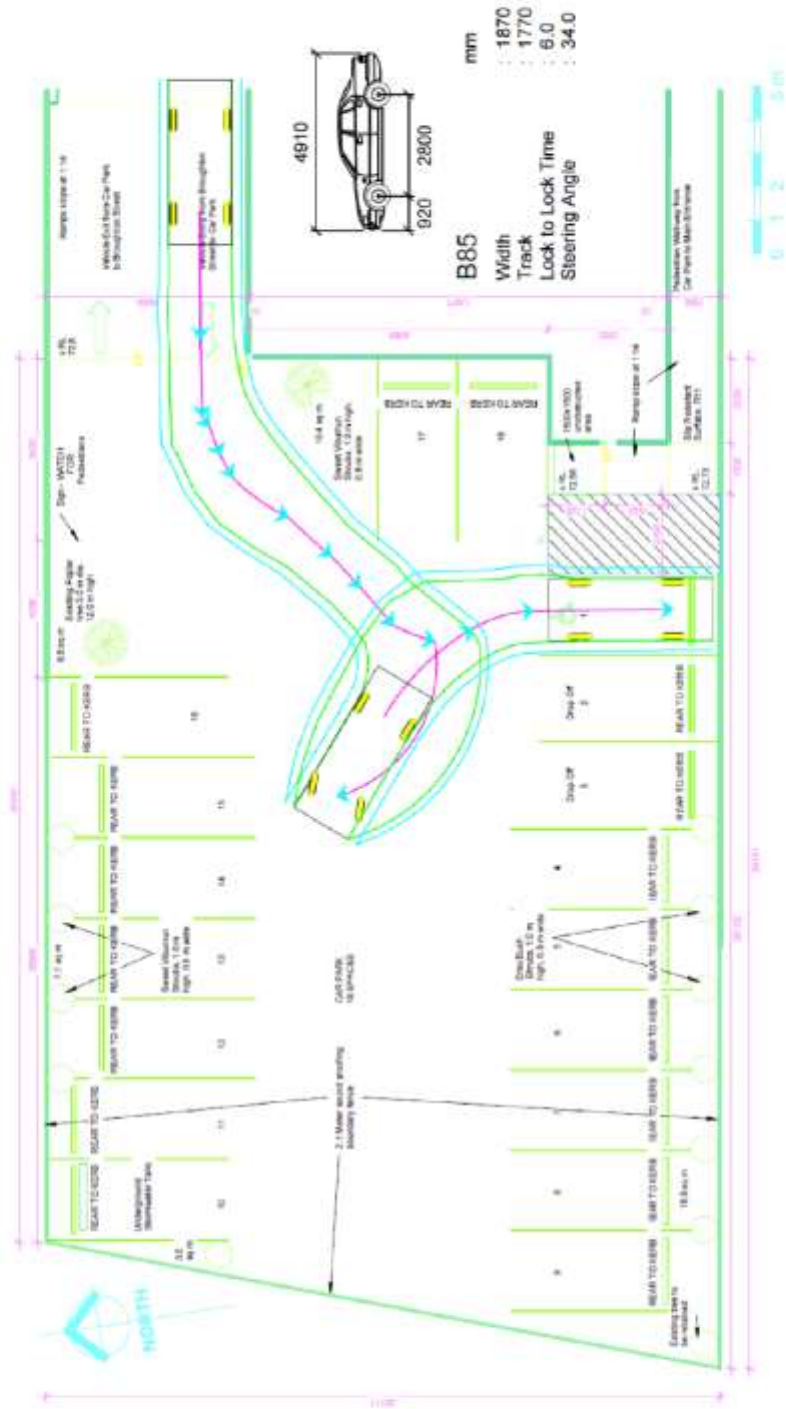


Appendix C – Vehicle Swept Path Diagrams











Vehicle swept path for construction vehicles – MRV
 (exiting the site in a forward direction)



Vehicle swept path for construction vehicles – HRV
 (entering the site in a forward direction)



Vehicle swept path for construction vehicles – HRV
(exiting the site in a forward direction)

Appendix D – Sight Lines Diagram

ORD04

Attachment 6

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Traffic & Parking Impact Assessment – 31 Broughton St, Camden



1.0 General Conditions of Consent

1. **Approved Plans and Documents** – Development shall be carried out in accordance with the following plans and documentation, and all recommendations made therein, except where amended by the conditions of this development consent:

Plan Reference/Drawing No.	Name of Plan	Prepared by	Date
Drawing No 16_14 Sheet No 01	Drawing List – Amendment A	jmh living design	24.06.2016
Drawing No 16_14 Sheet No 02	Site Plan – Amendment B	jmh living design	16.09.2016
Drawing No 16_14 Sheet No 03	Demolition Plan – Amendment A	jmh living design	24.06.2016
Drawing No 16_14 Sheet No 04 – Rev C	Lower Level – Amendment A	jmh living design	21.11.2016
Drawing No 16_14 Sheet No 05 – Rev C	Upper Floor Level – Amendment A	jmh living design	21.11.2016
Drawing No 16_14 Sheet No 06	Sections – Amendment A	jmh living design	24.06.2016
Drawing No 16_14 Sheet No 07	Area Plans – Amendment A	jmh living design	16.09.2016

Document Title	Prepared by	Date
Proposed Healthcare Centre 37 John Street Camden – Assessment of Traffic & Parking	Traffic Impact Services Pty. Ltd	May 2016
Additional Information and commentary to proposed Health Centre 37 John Street Camden	Traffic Impact Services Pty. Ltd	November 2016
Statement of Environmental Effects for Healthcare Centre at Lot 1 DP216189 37 John Street Camden 2015	Lee Environmental Planning	June 2016
DA/696/2016 – Council Chambers - 37 John Street, Camden – Additional information	Lee Environmental Planning	November 2016

2. **Modified Documents and Plans** – The development shall be modified as follows:
- The Waste Management Plan prepared by jmh living design dated 24.06.2016 shall be updated to demonstrate compliance with relevant Council policies outlined in "Appendix 1 – Waste Management Plan" pro-forma for development applications and shall be submitted to the Certifying Authority and Council prior to the issue of a Construction Certificate.
 - A revised traffic and parking report shall be submitted to the Certifying Authority and Council prior to the issue of a Construction Certificate, which demonstrates that the proposed/existing car parking serving the development complies with:
 - Australian Standards AS 2890.6 and the Commonwealth Disability Discrimination Act (1992) in terms of accessible car parking provision

- Australian Standards AS2890.1 (Off Street Parking) in terms of minimum car parking space dimensions and the provision of turning areas to meet with requirements for high turnover general parking.
3. **Separate Approval for Signs** – A separate development application for any proposed signage shall be provided to, and approved by, the Consent Authority prior to the erection or display of any such signs.
 4. **Building Code of Australia** – All building work shall be carried out in accordance with the BCA. In this clause, a reference to the BCA is a reference to that Code as in force on the date the application for the relevant Construction Certificate is made.
 5. **Engineering Specifications** – The entire development shall be designed and constructed in accordance with Council's Engineering Specifications and the relevant DCP.
 6. **Waste Bin Collection Points** – A waste bin collection point that is clear from the positioning of driveways, tree plantings (or tree canopies), street lighting or other fixtures must be provided for each approved lot. This area is to be 3 metres long x 0.9 metres wide and provide a 3.9 metre clear vertical space to allow for the truck-lifting arm.
 7. **General Requirements** – The use and operation of the premises shall comply with the requirements of:
 - a) The Medical Board of Australia
 - b) The NSW Department of Health
 - c) The Australian Health Practitioner Regulation Agency
 8. **Impacts on 'Macaria' Building** – There shall be no attachment of new work to any original fabric of the 'Macaria' building.

2.0 Prior to issuance of a Construction Certificate

1. **Construction Certificate** – The following information shall be provided to the Certifying Authority with the Construction Certificate application:
 - a) An updated Waste Management Plan which addresses the requirements outlined in the "Appendix 1 – Waste Management Plan" pro-forma for development applications.
2. **Upgrade with the BCA** - Pursuant to Clause 93 or 94 of the EP&A Regulation 2000, the existing building is to be upgraded in the following manner to bring the building into compliance with the BCA:
 - a) Prior to the issue of the Construction Certificate a Fire Safety Upgrade Report is to be completed by a A1 Accredited Certifier currently accredited with the NSW Building Professional Board that is to demonstrate compliance of the proposal with Section C, D & E of the National Construction Code - Building Code of Australia.

If this requires a Performance Based Alternative Building Solution this is to be designed and endorsed by a C10 - Fire Safety Engineer accredited with the NSW Building Professional Board and endorsed by the owner of the building.

Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.

3. **Hoarding Application** - A hoarding application for the erection of a class A (fence type) or class B (overhead type) hoarding along the street frontage complying with WorkCover requirements shall be provided to Council for approval with a footpath occupancy fee based on the area of footpath to be occupied.

A Public Risk Insurance Policy with a minimum cover of \$20 million in relation to the occupation of and works within Council's road reserve, for the full duration of the proposed works, shall be obtained with a copy also provided to the Roads Authority. The Policy is to note Council as an interested party and nominate the location of works. Hoardings shall not be erected until written approval has been received from Council. The copy of the Public Risk Insurance Policy is to be provided to the Roads Authority.

4. **Evacuation Plan Required** – A plan indicating that permanent, fail-safe, maintenance free measures are incorporated in the development to ensure that timely, orderly and safe evacuation of people and potential pollutant material from the buildings on-site should a flood occur. Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.
5. **Smoke Alarms** – In accordance with Clause 186A of the EP&A Regulation 2000, where not existing, smoke detectors complying with AS 3786 shall be installed. Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.
6. **Water Resisting Construction** – All external and internal partitions, framework, service and flooring must be constructed using flood compatible material. Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.
7. **Smoke Free Premises** – The construction and fit out of the premises shall comply with the Smoke-Free Environment Act 2000 and Smoke-Free Environment Regulation 2000. Details demonstrating compliance shall be provided to the Certifying Authority.
8. **Garbage Room** – Plans showing the location and details of garbage room(s) and room(s) used for the washing and storage of garbage receptacles shall be provided to the Certifying Authority for approval. Garbage room(s) are to be constructed of solid material, cement rendered and 3nauthor to a smooth even surface. Floors are to be impervious, coved, graded and drained to an appropriate floor waste connection. Walls are to be smooth impervious surfaces. Ventilation, pest proofing and a hose tap must be provided.
9. **Mechanical Exhaust Systems** – Mechanical exhaust system(s) shall comply with the BCA and AS 1668 Parts 1 and 2 (including exhaust air quantities and discharge location points). Details demonstrating compliance shall be provided to the Certifying Authority.
10. **Mechanical Ventilation** – Any room or area not provided with natural ventilation in accordance with the relevant requirements of the Building Code of Australia must be provided with a system of mechanical ventilation that complies with the requirements of Australian Standard 1668, Parts 1 & 2. Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.
11. **Submission of plans to Sydney Water** – The applicant must lodge a copy of the approved plans with the Sydney Water Tap-in program online service to determine whether the development will affect any Sydney Water sewer or water main,

stormwater drains and/or easement, and if further requirements need to be met. A link to the website is available here: <https://www.sydneywater.com.au/SW/plumbing-building-developing/building/sydney-water-tap-in/index.htm>

3.0 Prior to Commencement of Works

1. **Public Liability** – The owner or contractor shall take out a Public Liability Insurance Policy with a minimum cover of \$20 million in relation to the occupation of, and works within, public property (i.e. kerbs, gutters, footpaths, walkways, reserves, etc.) for the full duration of the proposed works. Evidence of this Policy shall be provided to Council and the Certifying Authority.
2. **Notice of PCA Appointment** – Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with Clause 103 of the EP&A Regulation 2000. The notice shall include:
 - a) a description of the work to be carried out;
 - b) the address of the land on which the work is to be carried out;
 - c) the registered number and date of issue of the relevant development consent;
 - d) the name and address of the PCA, and of the person by whom the PCA was appointed;
 - e) if the PCA is an accredited certifier, his, her or its accreditation number, and a statement signed by the accredited certifier consenting to being appointed as PCA; and
 - f) a telephone number on which the PCA may be contacted for business purposes.
3. **Notice Commencement of Work** – Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with Clause 104 of the EP&A Regulation 2000. The notice shall include:
 - a) the name and address of the person by whom the notice is being given;
 - b) a description of the work to be carried out;
 - c) the address of the land on which the work is to be carried out;
 - d) the registered number and date of issue of the relevant development consent and construction certificate;
 - e) a statement signed by or on behalf of the PCA to the effect that all conditions of the consent that are required to be satisfied prior to the work commencing have been satisfied; and
 - f) the date on which the work is intended to commence.
4. **Construction Certificate Required** – In accordance with the provisions of Section 81A of the EP&A Act 1979, construction or subdivision works approved by this consent shall not commence until the following has been satisfied:
 - a) a Construction Certificate has been issued by a Certifying Authority;
 - b) a Principal Certifying Authority (PCA) has been appointed by the person having benefit of the development consent in accordance with Section 109E of the EP&A Act 1979;
 - c) if Council is not the PCA, Council is notified of the appointed PCA at least two (2) days before building work commences;
 - d) the person having benefit of the development consent notifies Council of the intention to commence building work at least two (2) days before building work commences; and
 - e) the PCA is notified in writing of the name and contractor licence number of the owner/builder intending to carry out the approved works.
5. **Sign of PCA and Contact Details** – A sign shall be erected in a prominent position on the site stating the following:

- a) that unauthorized entry to the work site is prohibited;
- b) the name of the principal contractor (or person in charge of the site) and a telephone number on which that person can be contacted at any time for business purposes and outside working hours;
- c) the name, address and telephone number of the PCA.

The sign shall be maintained while the work is being carried out, and shall be removed upon the completion of works.

6. **Site is to be secured** - The site shall be secured and fenced to the satisfaction of the PCA. All hoarding, fencing or awnings (associated with securing the site during construction) is to be removed upon the completion of works.
7. **Soil erosion and Sediment control** - Soil erosion and sediment controls must be implemented prior to works commencing on the site in accordance with 'Managing Urban Stormwater – Soils and Construction ('the blue book') and any Sediment and Erosion plans approved with this development consent.

Soil erosion and sediment control measures shall be maintained during construction works and shall only be removed upon completion of the project when all landscaping and disturbed surfaces have been stabilised (for example, with site turfing, paving or re-vegetation).
8. **Sydney Water Approval** – The approved development plans shall be approved by Sydney Water.
9. **Construction Management Plan** – A construction management plan that includes construction waste, dust, soil and sediment and traffic management, prepared in accordance with Council's Engineering Design Specification, shall be provided to the PCA.
10. **Construction Waste Management Plan** – A construction waste management plan must be prepared for all construction work on the site. The plan must incorporate the concept of recycling and reuse where practicable and be kept on site for compliance until the completion of all construction works.
11. **Section 73 Certificate** – the applicant must obtain a certificate under Section 73 of the Sydney Water Act 1994 regarding the proposed development prior to the commencement of work.
12. **Site Management Plan** – The following practices are to be implemented during construction:
 - a) waste shall not be burnt or buried on site, nor shall wind-blown rubbish be allowed to leave the site. All waste shall be disposed of at an approved waste disposal facility.
 - b) a waste control container shall be located on the site

4.0 During Works

1. **Additional approvals required** – Where any works are proposed in the public road reservation, the following applications shall be made to Council, as applicable:
 - a) For installation or replacement of private stormwater drainage lines or utility services, including water supply, sewerage, gas, electricity, etc., an application shall be made for a Road Opening Permit and an approval under Section 138 of the Roads Act 1993;

- b) For construction / reconstruction of Council infrastructure, including vehicular crossings, footpath, kerb and gutter, stormwater drainage, an application shall be made for a Roadworks Permit under Section 138 of the Roads Act 1993.

Note: Private stormwater drainage is the pipeline(s) that provide the direct connection between the development site and Council's stormwater drainage system, or street kerb and gutter.

2. **Construction Hours** – All work (including delivery of materials) shall be restricted to the hours of 7.00am to 5.00pm Monday to Saturday inclusive. Work is not to be carried out on Sundays or Public Holidays.
3. **Compliance with BCA** – All building work shall be carried out in accordance with the requirements of the BCA.
4. **Site Management Plan** - The following practices are to be implemented during construction:
 - a) stockpiles of topsoil, sand, aggregate, spoil or other material shall be kept clear of any drainage path, easement, natural watercourse, kerb or road surface and shall have measures in place to prevent the movement of such material off site;
 - b) builder's operations such as brick cutting, washing tools, concreting and bricklaying shall be confined to the building allotment. All pollutants from these activities shall be contained on site and disposed of in an appropriate manner;
 - c) waste shall not be burnt or buried on site, nor shall wind blown rubbish be allowed to leave the site. All waste shall be disposed of at an approved waste disposal facility;
 - d) a waste control container shall be located on the site;
 - e) all building materials, plant, equipment and waste control containers shall be placed on the building site. Building materials, plant and equipment (including water closets), shall not to be placed on public property (footpaths, roadways, public reserves, etc);
 - f) toilet facilities shall be provided at, or in the vicinity of, the work site at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet shall:
 - i) be a standard flushing toilet connected to a public sewer; or
 - ii) have an on-site effluent disposal system approved under the Local Government Act 1993; or
 - iii) be a temporary chemical closet approved under the Local Government Act 1993.
5. **Removal of Waste Materials** – Where there is a need to remove any identified materials from the site that contain fill/rubbish/asbestos, the waste material shall be assessed and classified in accordance with the NSW EPA Waste Classification Guidelines (2008) (refer to: www.environment.nsw.gov.au/waste/envguidlins/index.htm)
Once assessed, the materials shall be disposed of to a licensed waste facility suitable for that particular classification of waste. Copies of tipping dockets shall be retained and supplied to Council upon request.
6. **Noise during work** – All work shall not give rise to an 'offensive noise' as defined in the Protection of the Environment Operations Act (1997). All work shall comply with the requirement of the NSW Industrial Noise Policy and the Environment Protection Authority's Environmental Noise Manual.

5.0 Prior to the issuance of a Occupational Certificate

1. **Occupation Certificate Required** – An Occupation Certificate shall be obtained prior to any use or occupation of the development.

2. **Compliance Certificate** – Once the installation of the mechanical ventilation system is completed, a Certificate of Compliance prepared by a suitably qualified mechanical engineer with details of tests carried out shall be provided to the PCA. Verification shall be provided that the air handling system as installed has been tested and complies with the approved plans and specifications, including ventilation requirements and fire precautions.
3. **Upgrade with the BCA** - All building upgrade measures required to be installed pursuant to Clause 94 of the EP&A Regulation 2000, shall be certified prior to use of the building for the purposes approved by this consent.
4. **Fire Safety Certificates** - A Fire Safety Certificate shall be provided to the PCA in accordance with the requirements of the EP&A Regulation 2000.
5. **Waste Management Plan** – The PCA shall ensure that all works have been completed in accordance with the approved waste management plan referred to in this development consent.
6. **Waste Disposal** – The building owner shall ensure that there is a contract with a licensed contractor for the removal of all waste. No garbage is to be placed on the public land (e.g. footpaths, roadways, plazas, reserves, etc.) at any time.

6.0 Ongoing Use

1. **Hours of Operation** – The property is only to be open for business and used for the purpose approved within the following hours:

Day	Hours of Operation
Monday – Friday	8am to 8pm
Saturday and Sunday	8am to 6pm
Public Holidays	8am to 6pm

2. **Storage of Hazardous Goods** - Dangerous and hazardous goods shall be stored in accordance with NSW Work Cover Authority requirements, dependant on the quantities stored. Any flammable or combustible liquids shall be stored in accordance with AS 1940 'The Storage and Handling of Flammable and Combustible Liquids'. Hazardous and/or industrial waste arising from the use shall be removed and/or transported in accordance with the requirements of the EPA and the NSW Work Cover Authority.
3. **Storage of Goods** - The storage of goods and materials shall be confined within the building. At no time shall goods, materials or advertising signs be displayed or placed within the designated car parking spaces, landscaped areas or road reserve.
4. **Amenity** - The business shall be conducted and customers controlled at all times so that no interference occurs to the amenity of the area, the footpath, adjoining occupations and residential or business premises.
5. **Offensive Noise** - The use and occupation of the premises including all plant and equipment shall not give rise to any offensive noise within the meaning of the *Protection of the Environment Operations Act 1997* and shall comply with the NSW Industrial Noise Policy 2000 (as amended).

6. **Medical Waste** - Dependent on the quantities stored. Any flammable or combustible liquids shall be stored in accordance with AS 1940 'The Storage and Handling of Flammable and Combustible Liquids'. Hazardous and/or industrial waste arising from the use shall be removed and/or transported in accordance with the requirements of the EPA and the NSW Work Cover Authority.
7. **Car-parking** – Car-parking shall comply with Australian Standard 2890.1 *Class 3 Off street car-parking*, Australian Standard AS 2890.6 *Off Street car-parking for people with disabilities* and *the Commonwealth Disability Discrimination Act (1992)*
8. **Car-parking** – Twenty (20) car parking spaces reserved for use of staff and visitors to the medical centre shall be clearly identified with appropriate signage and made available to staff and visitors during hours of operation. At least nine (9) of the car parking spaces shall be specifically identified and reserved for patient parking.

CONSTRUCTION MANAGEMENT DETAILS

TYPICAL SITEDOWN SECTION
1:200

ALTERNATIVE SECTION
1:200

TEMP BARRIERS CONCRETE FENCE
TEMP DROP IN/UP BARRIERS TRAP

TEMP BARRIERS CONCRETE FENCE
TEMP DROP IN/UP BARRIERS TRAP

1 00 SITE PLAN
1:200

2

1:200

1:400 @ A1
1:400 @ A3

1 00 SITE PLAN
1:200

2

16.09.2016

16_14

02

1:200

J5

JMH

16/09/2016 11:51:17 AM

1:200

1:400 @ A1
1:400 @ A3

16.09.2016

16_14

02

1:200

J5

JMH

16/09/2016 11:51:17 AM

1:200

1:400 @ A1
1:400 @ A3

TRAFFIC IMPACT SERVICES PTY. LTD. A.B.N 72 084 122907
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**PROPOSED HEALTHCARE CENTRE
37 JOHN STREET
CAMDEN**

Assessment of Traffic & Parking



May 2016

*Traffic, Parking, Occupancy, Speed, Pedestrian and Questionnaire Surveys - Town Centre Studies
Traffic Generating Developments Assessments*

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1.0 INTRODUCTION

This report has been prepared to accompany a development application to Camden Council for a proposed healthcare centre at 37 John Street, Camden.

The site is located in the centre of the Central Business District of Camden and is presently used by Camden Council as its administration centre. Council is to shortly relocate its services to another site leaving the existing building available for leasing purposes.

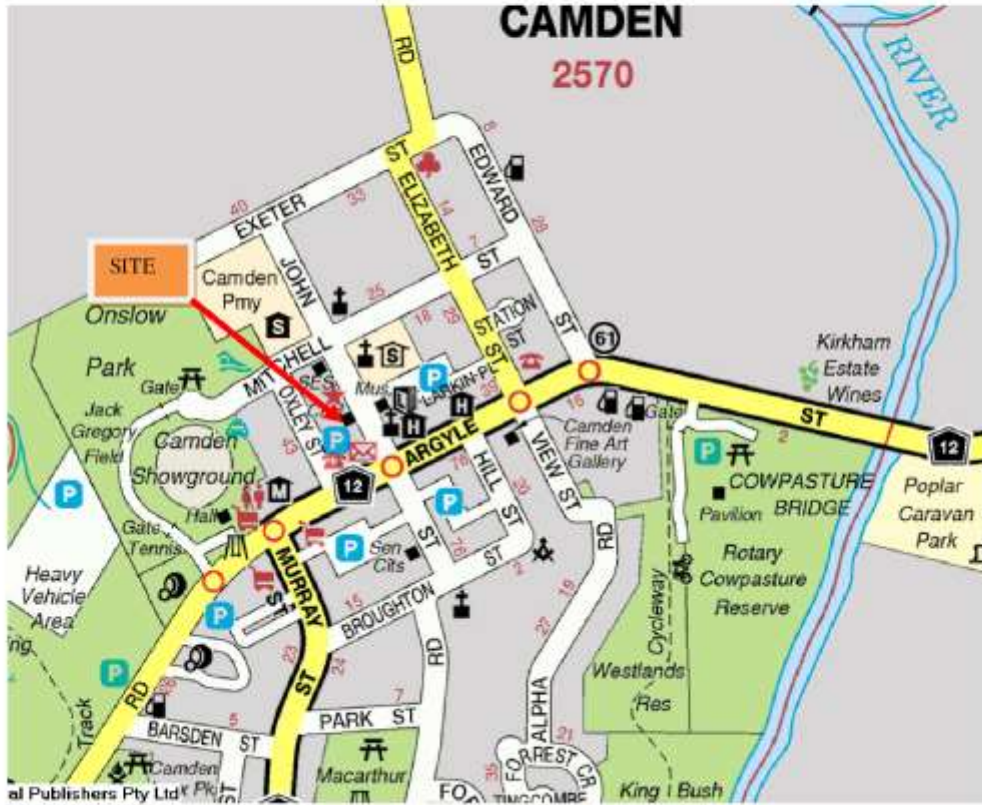
This proposal is therefore to lease the building and refurbish the layout of the existing two storey building for use as a healthcare centre.

This report has been commissioned by BGNH Securities Pty Ltd on behalf of JMH Living Design with the purpose of addressing the following:

- development proposal
- typical operation of healthcare centres
- existing road network and traffic and parking conditions
- implications of the proposal in respect to traffic and parking

The location of the site is shown in Figure 1.

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LOCATION OF SITE

FIGURE 1

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2.0 DEVELOPMENT PROPOSAL

The development proposal is for the refurbishment of the existing building at 37 John Street, Camden for use as a healthcare centre. The proposal is mainly to undertake an internal fitout of the building to accommodate the various consulting rooms and facilities.

The existing building is presently occupied by administration staff associated with Camden Council who will shortly be relocated to another site. The vacant building will be leased and accordingly this proposal is for the occupancy of this site.

The proposed healthcare centre will provide for a variety of services including consulting rooms for General Practitioners, Radiology, Pathology, Pharmaceutical, Psychiatry, Dental, Podiatry, Physiotherapy and sports medicine. The healthcare centre will be served by a maximum of 11 healthcare staff at any one time.

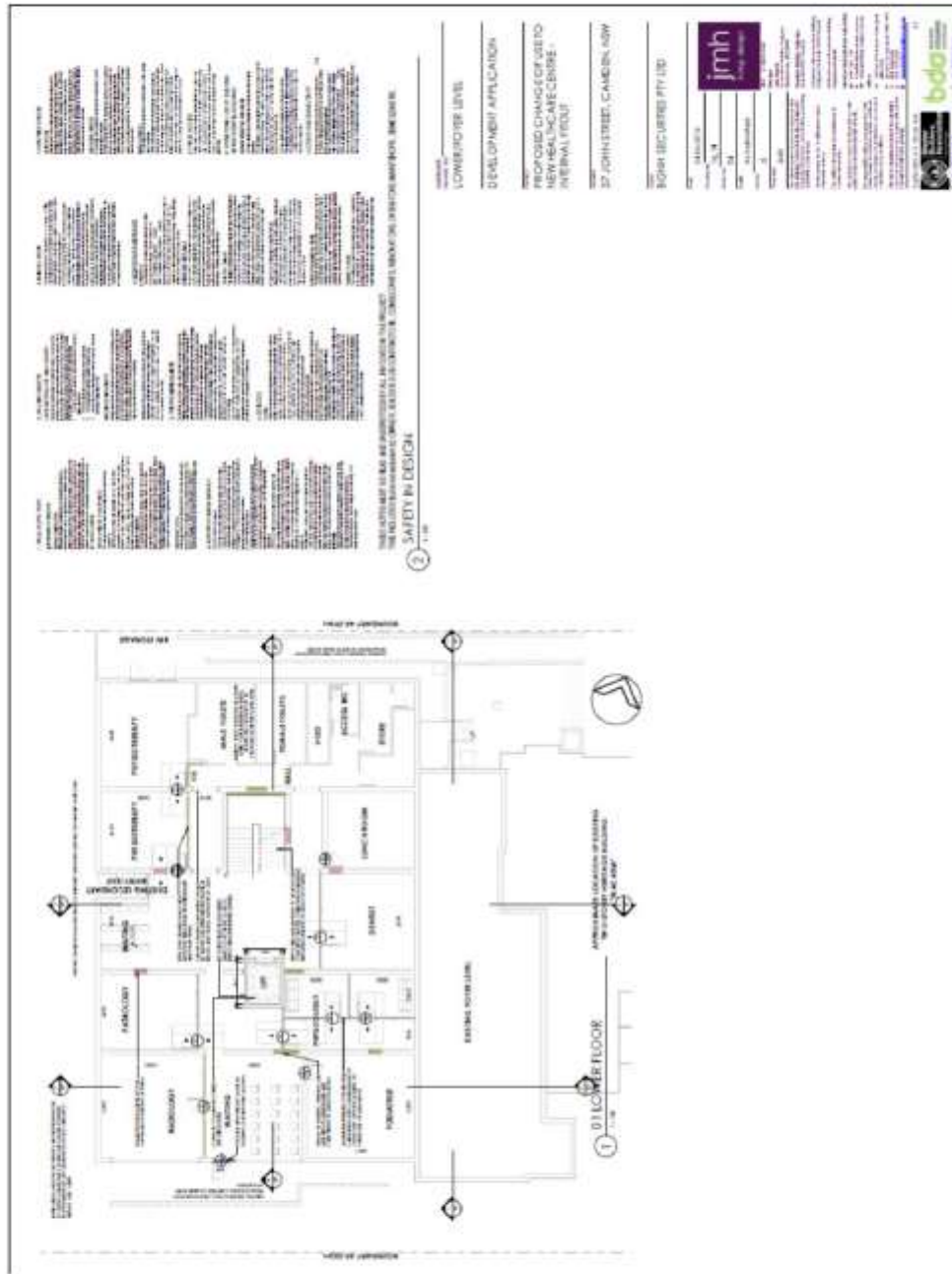
The floor area of the building is 1,250m² which is provided over two levels. The lease will include an area to the rear of the building (with access from Oxley Street) which will permit parking for 20 vehicles. This area is presently used by Council vehicles.

The proposed development will result in the relocation of an existing healthcare centre at 130 Argyle Street, Camden. In this regard the new premises will provide for an increase in healthcare services by increasing the number of staff and consultants and an improvement in the overall waiting and servicing amenities. Patients will be able to be examined, obtain results and be treated without leaving the building.

The new premises are expected to show a slight growth in patient occupancy from that occurring at the Argyle Street site which presently has a staff of seven. The healthcare centre will operate seven days a week, generally between the hours of 8.00am–8.00pm.

The development proposal is shown in Figure 2.

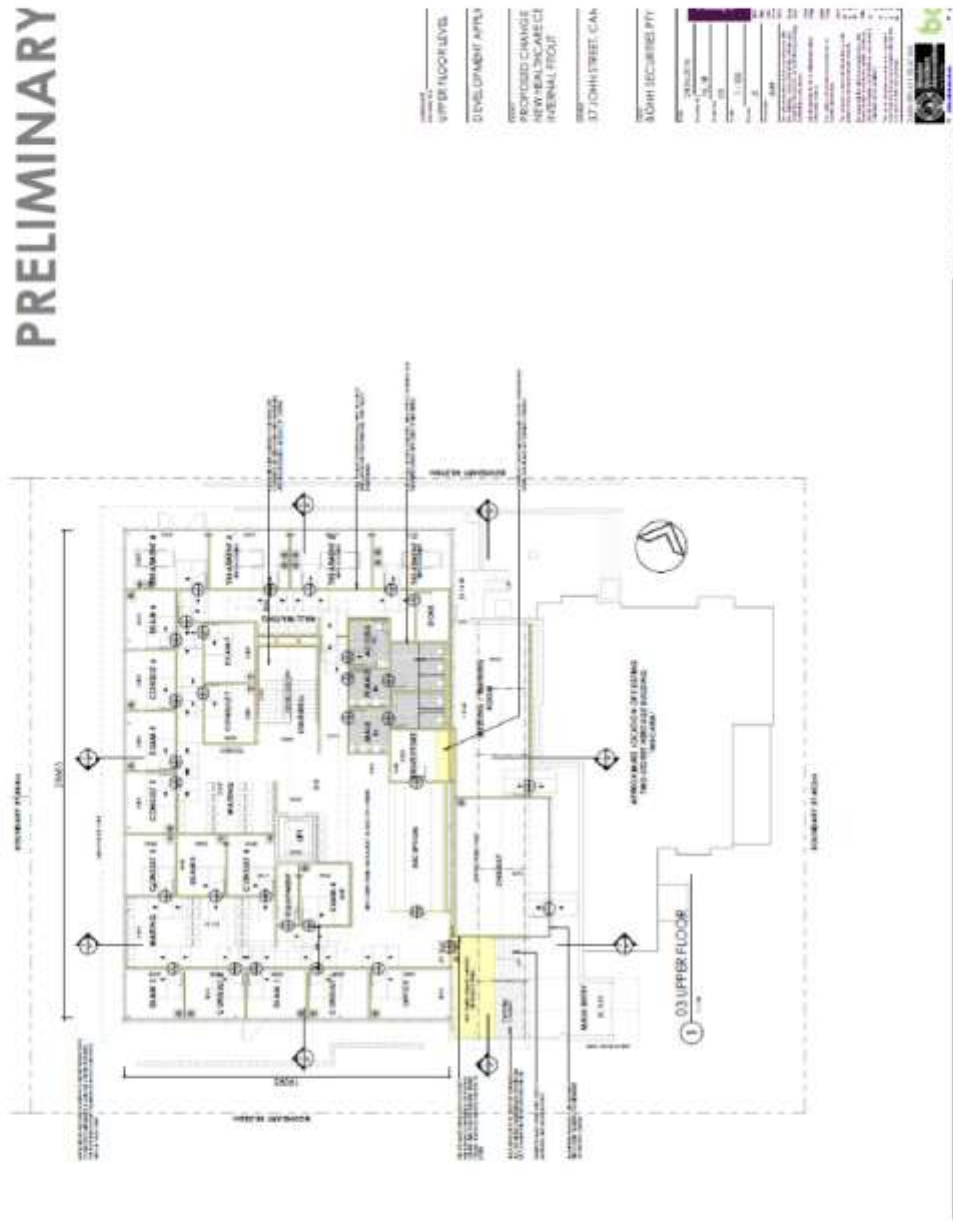
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DEVELOPMENT PROPOSAL FIGURE 2

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PRELIMINARY



DEVELOPMENT PROPOSAL FIGURE 2

Proposed Healthcare Centre
37 John St, Camden

ORD05

Attachment 3

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3.0 OPERATING DETAIL OF THE HEALTHCARE CENTRE

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It is important to fully understand the actual operation and activity associated with this type of land use so that an accurate traffic and parking assessment is able to be made. This is able to be achieved by using detail from an existing healthcare centre which is of similar size and operation to that proposed for this site and by providing details of the proposed new facility.

A similar size healthcare centre at Mittagong has provided important detail after considerable survey work was undertaken and a centre at Miranda has further confirmed this detail. The site addresses are 58 Albert Street, Mittagong and 573 The Kingsway, Miranda.

The operating detail obtained includes the following:

- proposed hours of operation
- type of healthcare facilities to be provided on the site
- likely patient demand of the centre based on previous surveys undertaken
- the number of staff at a centre at anyone time.

3.1 Proposed Hours of Operation

Monday to Friday - 8am – 8pm Monday to Friday and 8am-6pm Saturday and Sunday.

3.2 Healthcare Centre Facilities Provided

The healthcare centre provides a comprehensive number of services all on the one site. The healthcare centre provides Bulk Billing to all patients and has a multi task team including such professions as general practitioners, pathologist, nurses, psychologist, psychiatrist, sports medicine, dentist, podiatrist, radiologist and pharmacist. Administration staff are also in attendance.

The healthcare centre operates over a lengthy spread of hours during the week and, as such, staff attend the centre based on a shift arrangement. The total number of staff at any one time at the centre varies. The patient demand of the centre also varies during the week by day and by hour and this also needs to be taken into consideration in any assessment.

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The following sections provide details on the staff and patient demands likely at the proposed healthcare centre. The patient demand has been developed from surveys undertaken at a similar healthcare centre.

3.3 Staff Attendance Levels and Times

The schedule for staffing at the proposed development site at Camden is shown in Table 3.4.

Table 3.3.**Range of Services & Staff Schedule for Camden Healthcare Centre**

Hour	8am-9am	9am-10am	10am-11am	11am-12pm	12pm-1pm	1pm-2pm	2pm-3pm	3pm-4pm	4pm-5pm	5pm-6pm	6pm-7pm	7pm-8pm
No. of staff in attendance												
Reception 1	X	X	X	X	X	X	X	X	X			
Reception 2		X	X	X	X	X	X	X	X	X	X	X
GP 1	X	X	X	X	X	X	X	X	X			
GP 2	X	X	X	X	X	X	X	X	X			
GP 3		X	X	X	X	X	X	X	X	X	X	X
GP 4		X	X	X	X	X	X	X	X	X	X	X
Psych /dental		X	X	X	X	X	X	X	X			
X-ray		X	X	X	X	X	X	X	X			
Path /Pod/Physio	X	X	X	X	X	X						
Pharmacy	X	X	X	X	X	X	X	X	X	X	X	X
Nurse /Sports med	X	X	X	X	X	X	X	X	X	X	X	X
Total	6	11	11	11	11	11	10	10	10	5	5	5

For the weekend periods, the staff numbers and facilities are reduced considerably.

From the above it is evident that the maximum number of staff in the centre at any one time will be 11.

It is also useful in comparing the proposed staff numbers associated with the Albert Street Mittagong site which has a similar healthcare operation. Details of these staff numbers are repeated and provided following in Table 3.3.1.

Table 3.3.1**Staff Numbers in Attendance Per Hour At Mittagong**

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Hour	8am-9am	9am-10am	10am-11am	11am-12pm	12pm-1pm	1pm-2pm	2pm-3pm	3pm-4pm	4pm-5pm	5pm-6pm	6pm-7pm	7pm-8pm
No. of staff in attendance	3	10	11	11	11	11	11	11	11	4	2	2

It can be concluded that the staff numbers at Mittagong will be similar to that at the proposed site at Camden.

3.4 Patient Demand

The expected patient arrival numbers and peak demand is able to be determined from surveys undertaken at a similar healthcare operation at Mittagong. The proposed healthcare centre at Camden provides for 11 staff at any one time a similar number of staff as indicated at Mittagong and therefore has the same consultancy characteristics.

The first survey was undertaken on a typical day, being Wednesday, 29 April 2015 between 9.00am–4.00pm. The accumulation survey involved counting the number of patients/customers entering and exiting the Mittagong site within a 10 minute period. This provided a total healthcare centre demand at any one time. The results of the survey are shown in table format in Appendix "A".

The second survey was undertaken on Monday, 17 August 2015 with these results then compared to the previous survey undertaken in April above. The patient accumulation results (maximum per hour) over these two days are shown in the following table.

Table 3.4

Patient Accumulation Survey Results

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Proposed Healthcare Centre
37 John St, Camden

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**Maximum Per Hour Over Two Separate Days
Mittagong Healthcare Centre**

Time	Wednesday, 19 April 2015	Monday, 17 August 2015
9.00am – 10.00am	18	14
10.00am – 11.00am	16	17
11.00am – 12.00pm	17	18
12.00pm – 1.00pm	18	7
1.00pm – 2.00pm	15	11
2.00pm – 3.00pm	18	10
3.00pm – 4.00pm	8	14

The results indicate:

- The maximum accumulation is 18 patients with the 85th percentile being 16 to 17 patients per day.
- For the Wednesday there were only 3 x 10 minute periods over a seven hour time span where 18 patients were in attendance and 4 x 10 minute periods where 17 patients were in attendance.
- For the Monday there were only 2 x 10 minute periods where 18 patients were in attendance.

The surveys clearly indicate that the maximum demand for surveyed centre was 18 patients with 16 to 17 patients considered a reasonable design criteria for assessment purposes. The 17 patients in the centre at any one time has been adopted as the likely patient demand under a staff occupancy of 11 and is considered useful in the assessment for the new site.

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3.5 Travel Mode of Patients and Staff

The travel mode for staff for this site is able to be determined from journey to work census data provided in 2011. The mode share of those who work in Camden Centre has been obtained and this provides suitable data for determining the overall traffic and parking demand. Details are as follows:

Staff

- Car driver - 85%
- Walk, Drop off,
Bicycle, Public transport - 15%

Patients

There is no census data evident for the travel modes relating to a patient attending the healthcare centre although it would be assumed that a similar travel mode to that of staff would occur. As such, the same travel mode share as above should be used accordingly.

4.0 EXISTING SITE ROAD NETWORK & TRAFFIC & PARKING CONDITIONS**4.1 Site**

The site is located with a street address to John Street, some 70 metres east of Argyle Street which is the main route and retail area within the Camden Town Centre. The site is surrounded by shops and various community facilities including Police Station, Library and schools.

The site is located midblock between Argyle Street and Mitchell Street providing easy access from both directions. Rear access is provided to the site from Oxley Street.

4.2 Road Network

The road network serving the site is mainly John Street and Oxley Street which both run in a north-south direction and Argyle Street which runs in a east-west direction. Both John Street

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and Oxley Street intersect with Argyle Street (Camden Valley Way) which is a an arterial road.

The main features of these road networks in relation to this site are:

- John Street is a local road of approximately 20 metres in width. Angle parking is provided on the southern side of the street with parallel parking on the northern side. John Street provides secondary access to the large Larkin Place car park.
- Oxley Street is 12.8 metres wide and is provided with various time limited parking zones along its length to ensure parking turnover. Oxley Street provides access to several off-street parking areas which contains in total some 300 car spaces.
- Argyle Street is the main thoroughfare through the town centre and is approximately 20 metres wide carrying 2 lanes of traffic in each direction. Various traffic management treatments have been undertaken to ensure speeds are reduced and safety improved. Road narrowings, roundabouts and pedestrian refuges have been strategically located to assist in this regard.
- Traffic signals have been provided at the intersection of Argyle Street and Oxley Street providing good and safe access to and from the major Woolworths outlet and the major car parks that have access to this street. Controlled pedestrian crossings have been provided on each approach of the intersection.

The main traffic controls and features are shown in Figure 3.

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TRAFFIC AND PARKING CONTROLS

FIGURE 3

TRAFFIC IMPACT SERVICES PTY LTD**4.3 Traffic and Parking Conditions**

The proposed development provides direct pedestrian access from John Street only, with the rear of the building providing for car parking with access from Oxley Street. A pedestrian link is provided between the Oxley Street parking areas and the front of the building which is in John Street. As both roads provide some form of access to and from the site then it is important to address the traffic and parking conditions in both streets.

This is able to be determined from traffic counts and parking demand surveys undertaken in both John Street and Oxley Street. Accordingly, the following provides such detail.

*Traffic Counts***Traffic Movement Midblock**

	AM Peak (v.p.h.)(8am-9am)	PM Peak (v.p.h.)(3pm-4pm)
John Street	288	361
Oxley Street	198	230

* Source – "Camden Council" 2013

The traffic count data shows moderate traffic flows within a town centre environment with slightly heavier movements evident in John Street.

Parking Demand

A sample parking accumulation survey was undertaken on Friday, 29 March 2016 in the off-street car parks adjacent to Oxley Street, the on-street kerbside parking in Oxley Street and the on-street parking in John Street. These parking areas are in close proximity to the site and are likely to be used by future staff and patients of the healthcare centre.

The parking survey was undertaken between 10.00am and 1.00pm which are considered times where the healthcare centre is at its peak (see Table 3.4). It should be recognized that although this is only a sample parking survey the results still provide a reasonable assessment

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of what the parking conditions are like close to the development site during the peak of the healthcare centre. The location of the areas surveyed (zones) is shown in Figure 4.



Zones within a maximum of 150metres

LOCATION OF PARKING AREAS SURVEYED

FIGURE 4

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Table 4.3
Parking Occupancy Survey in the Vicinity of 37 John St, Camden
Saturday, 29 September 2012

Zone	Location	Time Limit	Capacity	10.00-10.30	10.30-11.00	11.00-11.30	11.30-12.00	12.00-12.30	12.30-1.00	Average
A	Oxley St - Off Street (East Side)	3P	45	43	42	43	43	43	43	43
B	Oxley St - Off Street (East Side) Council Authorised Vehicles Car Park	Nil	22	17	17	17	16	17	17	18
C	Oxley St - Off Street (East Side)	2P	27	26	25	26	26	26	26	26
D	Oxley St - On Street East Side (Argyle St to Mitchell St)	1P	22	19	19	18	19	18	19	19
E	Oxley St - On Street West Side (Argyle St to Mitchell St)	*1P	18	16	15	15	15	15	15	16
F	Woolworths Underground Car Park (Private Land)	2P	137	105	104	103	106	104	106	109
G	Adjacent Woolworths - Surface Level Car Park for Public	Unlimited	66	44	45	50	51	49	46	50
H	John St West Side Between Argyle St and Mitchell St	1P	46	44	45	44	45	43	45	45
I	John St East Side Between Argyle St and Mitchell St	1P	15	14	14	13	14	14	14	14
Total		0	398	328	326	329	335	329	331	330
% Occupied				82	82	83	84	83	83	83

The parking occupancy survey reveals relatively heavy parking demand in close proximity to the proposed development site. There is, however, spare capacity adjacent to Woolworths which is only a short walk from the development proposal. Mitchell Street, in turn, provides unlimited parking availability between the school hours of pick up and drop off which may be of some benefit.

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5.0 TRAFFIC IMPLICATIONS

Reference is made to the RMS Guide to Traffic Generating Developments 2002 – Extended Hours Medical Centres (Section 3.11.2) in which it states:

“The variance of generation rates in this data indicates that satisfactory prediction rates cannot be recommended. Analysis needs to be based on comparisons with similar sites.”

Accordingly it can be concluded that there is no guide that provides a traffic generation rate for such a land use as a health care centre.

5.1 Traffic Generation

The proposed healthcare centre is as a result of the relocation of an existing centre which is presently located in Argyle Street a short distance away. The proposed site being somewhat larger will permit increased services and improved comfort for patients and staff. The traffic generation of the site will therefore relate to that generated by the two components of staff and patients based on the new development arrangement.

The traffic generation of the site has been determined as follows:

Staff

Staff are employed on a shift type basis the roster being as outlined in Table 3.3 above. As staff stay for a lengthy period of the day, they generally arrive early in the AM peak and depart in the PM peak and therefore do not conflict with the times of the patient arrivals and departures (middle of the day). For example the staff peak traffic generation would be 8.00am–9.00am, say 10 vehicle trips IN, and 5.00pm–6.00pm, 9 vehicle trips OUT (15% by public transport). These are particularly light traffic movements in a town centre and do not occur when patient demand is at its highest.

TRAFFIC IMPACT SERVICES PTY LTD**Patients**

The patient traffic generation of the site is able to be determined from details obtained in surveys undertaken at the Albert Street, Mittagong site mentioned previously (see section 3). The patient traffic generation for the surveyed Mittagong site revealed the following.

Table 5.1**Patient/Vehicle Trip Generation of Existing Healthcare Centre
at Albert St, Mittagong (Wednesday, 29 April 2015)**

	Number of Patients		Number of Vehicle Trips (v.p.h.) using travel mode data of 85% car		
	IN	OUT	IN	OUT	TOTAL
9am-10am	49	39	42	33	75
10am-11am	21	30	18	26	44
11am-12pm	27	19	23	16	39
12pm-1pm	12	17	10	14	24
1pm-2pm	15	12	13	10	23
2pm-3pm	21	20	18	17	35
3pm-4pm	39	36	33	31	64

From the above table it can be concluded that the peak times of the healthcare centre is of a morning between 9am-10am from which some 75 vehicle trips were generated. The average number per hour was 43 vehicle trips with the traffic movement greatly reduced during lunch time to as low as 23 vehicle trips.

5.2 Traffic Impact

The above vehicle trip rates are considered suitable for use in this assessment due to the similarities in operation of both these sites. The traffic impact on the road system resulting from an increase by some 75 v.t.p.(absolute worst case) can therefore be assessed however needs to be considered in light of the following:

- The proposed healthcare centre in Camden will replace an existing centre which, although smaller (approximately seven staff), is already likely to generate some

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35 vehicle trips within this town centre. The increase on the centre is therefore likely to be only 40 v.t.p.h.

- The proposed healthcare centre operation will generate considerably less traffic movement than that which occurs under the present occupancy as a Council administration centre. The administration centre generates staff, Council vehicle and visitor vehicle demand throughout the day and these will all be removed from its relocation to another site.
- Visitors to the administration centre are likely to be part of a multi- purpose trip parking elsewhere in the centre and generating traffic to other streets.

It can be concluded that there will be virtually negligible impact on the street system as a result of this proposal. There may actually be a reduction in the overall traffic movements along Oxley and John Streets.

6.0 PARKING IMPLICATIONS

Camden Council, in its Development Control Plan 2011, Part B – General Land Use Controls, provides parking requirements for Health Service Facility / Medical Centres. The minimum parking requirement for such a land use being four car parking spaces per 100m² g.f.a. With a floor space of some 1250m² a total of 48 parking spaces would be required which is unrealistic.

The development of this rate is unknown and is most likely tied to the RMS Guide for Traffic Generating Developments 2002. The RMS Guidelines do provide land use details for “Extended Hours Medical Centres”, however this data is not considered reliable for comparing with the operations of newly established healthcare centres. As outlined in Section 3.0 the Albert Street, Mittagong healthcare centre does represent the latest in operations.

The RMS Guideline is not considered appropriate for the following reasons:

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- The surveys undertaken in this document were in 1991, some 25 years ago, and are therefore outdated.
- The new healthcare centre concept is different to the previous extended hours medical centre operations with patients now attending more as a “one stop” shop arrangement (less traffic movements) without the need to travel elsewhere.
- The pharmacy operation is different to that identified in the 1991 survey. This pharmacy will be a non-PSS pharmacy which means that only patients will be able to utilise such a facility and hence no outside demand will be generated.
- In Section 3.11.2 of the Guide it is indicated that for traffic generation rates “analysis needs to be based on comparisons with similar sites”. This would relate to parking as well.

Accordingly the best method for developing a suitable parking demand rate is by comparing with the existing Mittagong Healthcare Centre as shown following.

6.1 Parking Determination

Section 3.0 of this report provides useful data for assessing the parking requirements for the new site. This assessment is able to be made after consideration of the following:

- The parking demand of the site is made up of two components, that being vehicles generated by patients and vehicles generated by staff (includes medical professionals).
 - The patient parking demand can be determined from the results of patient accumulation surveys and travel mode data (Section 3.3 and 3.5).
 - The staff parking demand can be determined from the schedule of work hours (shift arrangement – Table 3.3) and by travel mode data. In this regard, the number of staff proposed to be on the site at the new healthcare centre at any one time has been established and shown in the following table.
-

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**Table 6.1
Proposed Staff Numbers in Attendance Per Hour at Camden**

Hour	8am-9am	9am-10am	10am-11am	11am-12pm	12pm-1pm	1pm-2pm	2pm-3pm	3pm-4pm	4pm-5pm	5pm-6pm	6pm-7pm	7pm-8pm
No. of staff in attendance	6	11	11	11	11	11	10	10	10	5	5	5

The total number of staff to be on site at any one time is 11.

6.2 Parking Calculation

Patient Parking Demand (Adopting data from Section 3.3)

16 to 17 patients x 85% (car travel mode) = 15 spaces

Staff Parking Demand (Adopting data from Table 3.3)

11 staff x 85% (car travel mode) = 10 spaces

It can be concluded that for the proposed healthcare centre the parking demand and requirement is 25 spaces.

6.3 Parking Requirement

The proposed development provides for a total of 20 parking spaces using space to the rear of the building with access from Oxley Street. It has been determined by comparisons with a similar healthcare centre and from staff occupancy data that a total of 25 parking spaces are required at the site.

Although there is a deficiency of some five parking spaces this needs to be viewed in light of the following:

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- Many patients will park elsewhere in the town centre as part of a multi-purpose trip. Council has provided several public car parks within the Camden centre for the purpose of undertaking business in the centre.
- The proposed relocation of Council staff and administration matters from the development site will provide spare parking around the site.
- At present, 22 spaces have been allocated to Council vehicles in a separate parking area. As there are some 30 vehicles in the Council fleet the overflow vehicles presently occupy spaces in the nearby public parking areas surrounding the site. It could be said that a further 8 spaces will be made available when the Council administration is relocated to another site.
- Council has a proposal for the construction of a multi-storey car park on land to the west of the development site which will increase the overall parking supply by some 86 parking spaces.
- Considerable spare parking is available within 100 metres and 150 metres of the site being at Woolworths and in Mitchell Street respectively. Parking surveys at the Woolworths site revealed spare capacity of 28 vehicles in the underneath car park and 16 spaces in the surface level car park which is a public car park. The latter car park is unlimited and suitable for staff.

It can be concluded that there will be negligible parking impact resulting from the 5 space deficiency that will result from this development proposal.

7.0 ACCESS, CIRCULATION AND PUBLIC TRANSPORT**7.1 Access**

Vehicle access will be provided off Oxley Street to the proposed car park that is to be provided for the healthcare centre. Final detail of the proposed multi-storey car park is not known and this may require changes to the respective entrance point in the future.

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Oxley Street is not a heavily trafficked road carrying volumes in the vicinity of 200vph and as such use of the entry/exit to the car park area will be undertaken without any undue delays.

Pedestrian access will be restricted to the John Street frontage with pedestrian access also gained via a walkway provided along the eastern side of the site linking to the Oxley Street car parks.

7.2 Public Transport

Public transport is provided to John and Oxley Streets mainly by bus using the Busabout Service. Bus routes 31, 32, 38, 39, 40, 47, 49, 890, 899 and 517 provide a frequent service to all surrounding areas.

Bus zones are provided in both John Street and Oxley Street in close proximity to the proposed site.

8.0 SUMMARY AND CONCLUSION

This report represents an assessment of the traffic and parking implications of a proposed healthcare centre at 37 John Street, Camden.

The main findings are:

- The development proposal is for the refurbishment of an existing building which will be leased for use as a healthcare centre. The premises are presently occupied by administration staff associated with Camden Council who will shortly vacate the building.
- There is an existing healthcare centre in Argyle Street, Camden and the proposal is to relocate this business to the new site to provide for improved services and amenity.

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- The healthcare centre is proposed to operate seven days a week (8.00am – 8.00pm) and will provide for a range of services and consultancies including rooms for General Practitioners, Radiology, Pathology, Pharmaceutical, Psychiatry, sports medicine, dental, Physiotherapy, Podiatry and Nursing. The centre will be served by a maximum of 11 healthcare staff at any one time.
- A determination has been made as to the likely traffic generation and parking demand resulting from this site based on comparative data obtained from a similar healthcare centre at Albert Street in Mittagong. Rates outlined in Councils DCP and the RMS guide were either unavailable or did not represent true conditions.

The results concluded the following:

Traffic Generation

- The traffic generation of the site as a worst case would be 75 v.t.p.h. These trips will not impact on the road system due to:
 - the times of highest patient demand are outside the normal AM and PM peak traffic periods;
 - the existing healthcare centre operation in Argyle Street is to be relocated to the new site. As this centre already generates some 35 v.t.p.h. there is only likely to be an overall increase of some 40 v.t.p.h.;
 - many patients will park elsewhere in the centre as part of a multi-purpose trip and as such will not generate any traffic movement to the immediate vicinity of the site;
 - the existing Council administration centre would generate considerably more vehicle trips than the healthcare centre proposal.

Parking

- The parking requirement of the site has been determined as 25 parking spaces and a total of 20 spaces will be provided leaving a deficiency of five spaces.

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- This will not impact on the road system due to:
 - many patients will park elsewhere in the centre as part of a multi-purpose trip;
 - relocation of the Council administration operations will assist in providing spare parking capacity in the vicinity of the site;
 - there is a proposal to construct a multi-storey car park nearby which will increase the parking provision by some 86 spaces;
 - unlimited timed parking spaces are available within close proximity of the site being suitable for staff and patients.

- Access to and from the existing Council "Authorised Vehicles" parking area off Oxley Street is presently acceptable and may be used in the short term until final multi storey construction designs are finished.

- Bus public transport is available via several Busabout routes which pick up and set down in both John Street and Oxley Street in close proximity to the site.

The traffic and parking implications of the proposal have been assessed and considered to be satisfactory with insignificant impact on the road system.

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Attachment 3

APPENDIX "A"
RESULTS OF PATIENT/CUSTOMER ACCUMULATION SURVEY

Appendix "A"

**Proposed Healthcare Centre
37 John St, Camden**

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**Patient/Customer Accumulation Survey
Mittagong Healthcare Centre – Wednesday, 29 April 2015**

NUMBER OF PATIENTS USING MITTAGONG HEALTHCARE CENTRE			
Time	In	Out	5 ex
9.00am – 9.10am	11	2	14
9.10am – 9.20am	3	2	15
9.20am – 9.30am	13	11	17
9.30am – 9.40am	12	11	18*
9.40am – 9.50am	4	5	17
9.50am – 10.00am	6	8	15
10.00am – 10.10am	13	12	16
10.10am – 10.20am	2	11	7
10.20am – 10.30am	1	3	5
10.30am – 10.40am	7	2	10
10.40am – 10.50am	2	-	12
10.50am – 11.00am	-	2	10

Appendix "A"

**Proposed Healthcare Centre
37 John St, Camden**

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NUMBER OF PATIENTS USING MITTAGONG HEALTHCARE CENTRE			
Time	In	Out	
11.00am – 11.10am	4	1	13
11.10am – 11.20am	4	-	17
11.20am – 11.30am	6	13	10
11.30am – 11.40am	2	2	10
11.40am – 11.50am	-	2	8
11.50am – 12.00pm	11	1	17
12.00pm – 12.10pm	3	2	18*
12.10pm – 12.20pm	2	11	9
12.20pm – 12.30pm	2	2	9
12.30pm – 12.40pm	3	-	12
12.40pm – 12.50pm	-	2	10
12.50pm – 1.00pm	2	-	12
1.00pm – 1.10pm	2	5	9
1.10pm – 1.20pm	3	2	10
1.20pm – 1.30pm	3	-	13
1.30pm – 1.40pm	3	2	14
1.40pm – 1.50pm	2	1	15
1.50pm – 2.00pm	2	2	15
2.00pm – 2.10pm	2	2	15
2.10pm – 2.20pm	5	5	15
2.20pm – 2.30pm	4	1	18*
2.30pm – 2.40pm	2	11	9
2.40pm – 2.50pm	1	4	6
2.50pm – 3.00pm	7	6	7
3.00pm – 3.10pm	6	5	8
3.10pm – 3.20pm	5	9	4
3.20pm – 3.30pm	7	8	3
3.30pm – 3.40pm	7	6	4
3.40pm – 3.50pm	6	5	5
3.50pm – 4.00pm	5	6	4

Appendix "A"

Proposed Healthcare Centre
37 John St, Camden

TRAFFIC IMPACT SERVICES PTY. LTD. A.B.N. 72 064 122907
Traffic Engineering and Planning Consultants

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**ADDITIONAL INFORMATION
AND COMMENTARY TO
PROPOSED HEALTHCARE CENTRE
37 JOHN STREET
CAMDEN**

DA No. 696/2016



November 2016

*Traffic, Parking, Occupancy, Speed, Pedestrian and Questionnaire Surveys - Town Centre Studies
Traffic Generating Developments Assessments*

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1.0 INTRODUCTION

This proposed development application is for the provision of a healthcare centre at 37 John Street, Camden (DA 696/2016) using premises previously occupied by Camden Council as a public administration building. In light of the Council ownership, an independent assessment of the application is being undertaken by Elton Consulting together with Anton Reisch Consulting Pty Ltd (ARC) Traffic and Transport Consultants.

A detailed assessment of the application has been undertaken by the independent consultants and, by letter dated 18 November 2016, a request has been made for the provision of additional information.

As such, this report provides further commentary to assist in some of the issues raised in the letter and also addresses each of the concerns raised in point form on pages 5 and 6 of the letter.

2.0 TRAFFIC AND PARKING GENERATION RATES

The traffic and parking rates for this application was determined by comparing with other similar sites that are owned by the client. This was considered the best method of approach due to the following:

- There are no specific rates provided, by either Council or the RMS, for this type of land use (see Section 6.0 of the DA Traffic Report). The new healthcare concept is different to the previous medical centre type operations with patients now attending more as a “one stop” shop using the various services provided within the building. Hence detail was obtained from two other sites of similar characteristics which is considered a more realistic approach to this assessment.
- The methodology used was for the measuring of the demand at a similar site (and sites) which was undertaken by the undertaking of two types of surveys, namely a Patient Accumulation Survey and a Patient and Staff Travel Mode Survey. The results of both

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these components was considered appropriate in giving a broad idea of what is likely to occur at the proposed development site. The method may not be an exacting science however is considered suitable for making a reasonable assessment as to the traffic and parking requirements for the centre. There is no other suitable guideline that would otherwise have provided a suitable assessment.

The size of the building (floor space) and number of rooms was not considered an approach that would be useful in determining the traffic and parking demands for the site. For example not all of the rooms proposed would be used at the one time and many patients will use several services within the building in the one trip (example Doctor – Xray- Pharmacist).

3.0 PARKING AND TRAFFIC CREDITS

Parking

The previous use of the site was as a Council administration centre, being office premises by definition. As outlined in the DA Statement of Environmental Effects and with a 1,200sqm floor area, a total of approximately 30 parking spaces would have been required to service this building under an office type of arrangement This clearly is understated and does not reflect previous conditions.

Further information obtained from Council, however, provides a closer estimate as to the likely parking demand generated by this building when previously occupied. As a result, the following is evident:

- There were a total of 35 Council vehicles provided to staff as part of their remuneration package. These were take home vehicles and travelled to and from the administration centre each day and parked in the various parking areas around the site.
- A total of 80 staff were employed in the administration building of Camden Council, such that 45 of the staff travelled by their own preferred method.

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Reference is made to the document "Camden Council Area Workforce – Method of travel to work (2011)" from which some 70% of people used car mode for travel to work. *"Within Camden Council area, the workforce has a lower population of people using public transport to get to work than New South Wales."*

As such, it could be expected that (70% x 45) a further 25 staff would drive a vehicle and park close to the proposed development site.

- As with all Council administration centres, there are many visitors and ratepayers that do business throughout the day and travel to the main customer service area within the building. The majority of these would have parked a vehicle nearby and then walked to the reception area.

Council's Customer Service Centre has provided details on the number of visitors/ratepayers per day travelling to and from the site. On average there were some 45 visitors/ ratepayers per day, with the peak hourly number being around 10.

In summary, the relocation of the Council administration offices away from John Street has likely freed up a total of some (35 + 25 + say, 10) 70 parking spaces. As such any assessed shortfall in parking from the 20 spaces allocated should be considered as a credit due to the above.

Traffic Credits

The RMS Guide to Traffic Generating Developments 2002, does not provide suitable rates for determining the traffic generation of a healthcare centre. Instead *"the variance of generation rates in this data indicates that satisfactory prediction rates can not be recommended. Analysis needs to be based on comparisons with similar sites."*

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The previous DA Traffic report indicated a total of 75vtpd may be generated by this development proposal using criteria from a comparative site as suggested. However the increase in the number of vehicle trips should be considered in light of:

- There were some 70 vehicles generated to the parking areas surrounding the site being associated with Council staff visitors and ratepayers etc.
- The healthcare centre in Argyle Street will be relocated further reducing the traffic demand of the area

There should be credits applied also to the traffic demand on the road system as a result of the abovementioned considerations.

4.0 ADDITIONAL INFORMATION

This section makes comment on those concerns raised in the assessment in point form.

4.1 "1. Confirm the number of treatment rooms to be provided in the Proposal"

The rooms proposed in Drawing Nos. 16.14, sheets 4 and 5 are as follows:

Lower Level

Radiologist	-	1
Pathologist	-	1
Physiotherapy	-	1
Dentist	-	1
Psychology	-	1
Podiatrist	-	1

Upper Floor Level

Consult/Exam	-	7
Treatment	-	4
Office	-	1
Reception	-	1
Chemist	-	1
Total	=	20 rooms

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The schedule matrix, as shown in Table 3.3 of the report, was developed by the client as a best guess during a standard day of the week. A total of 11 staff at any one time may be expected upon the initial opening of the healthcare centre.

The final range of medical practitioners that will operate out of this centre is subject to both supply and demand and, at this stage, the plans submitted are indicative. Only healthcare centre professional are intended to occupy the consulting rooms provided in the building.

In light of the concerns raised about the underestimating of the parking provision, a hypothetical case has been undertaken for your consideration. Perhaps this could be considered as an outcome under any future growth.

Hypothetical Analysis

Based on an increase in staff numbers from 11 to, say, 16 and using previous patient data from the Miranda and Mittagong sites, it could be assumed that 16 staff may accumulate a total of 22 patients. Using the previous method of calculation, the following parking requirements would be evident.

Patient Parking Demand

22 patients x 85% (car travel mode) = 18 spaces

Staff Parking Demand

16 staff x 85% (car travel mode) = 14 spaces

A total of 32 parking spaces would be required on this basis. This is a hypothetical case and not considered likely under present healthcare demands in Camden.

4.2 "2. Where it is submitted that the number of treatment rooms provided on the site will not be used/occupied at any time provide evidence in support of this"

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The proposed healthcare centre aims to provide a range of medical services that are compatible with each other and that would serve the range of medical and health needs of the patients that attend the centre. It seeks to provide a supportive environment for patients by simplifying the process for patients in making connections between one medical practitioner and another. This model of healthcare centre is coming to the fore as the preferred way of delivering the range of services required. There are a number of examples of emerging medical centres that utilise this model.

The final range of medical practitioners that will operate out of this centre is subject to both supply and demand and, at this stage, the plans submitted are indicative. However, only healthcare professionals are intended to occupy the consulting rooms provided in the building.

The Development Application has attempted to provide an indication of the variety of practitioners that are suitable for such a centre.

The total number of consultation rooms is not a representation of the number of practitioners that would be servicing patients at any one time. In practice, only a proportion of rooms would be used at any one time.

4.3 “3. If traffic and parking surveys at MHC are to be relied upon, information etc.”

The Mittagong Healthcare Centre operates with seven consulting rooms and one treatment room. These are operational every weekday and were occupied during the survey day.

4.4 “4. If additional traffic, etc.”

The Miranda Healthcare Centre, previously examined, was relocated from the Westfield complex to another building opposite thereof. An accumulation survey was undertaken to address the traffic and parking requirements proposed in the new premises and gives an idea of the extent of activity associated with a large healthcare centre.

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Details of the Centre are as follows:

- The Miranda Healthcare Centre has the same client as Camden Healthcare Centre proposal and the Mittagong Healthcare Centre so that they have similar operational characteristics.
- Survey date: Tuesday, 16 August 2012.
- Total of 12 treatment rooms.
- Staff numbers 18. There are four at reception and two nurses.
- Maximum patient accumulation was 24 with 21 the 85th percentile.
- Gross floor area of 433m².

The Miranda site is not a good example of what is actually required in respect to parking and therefore this information has not been provided. Approximately 50% of the patients and the healthcare staff used public transport.

The Miranda site does however provide excellent detail in respect to numbers of patients generated at any one time and number of staff likely to be present.

4.5 “5. Confirm that the staff numbers survey and patient accumulation survey at MCH, etc.”

The staff numbers provided were that which are the norm for each day of the week.

The patient survey was undertaken on two days, being Wednesday, 19 April 2015 and Monday, 17 August 2015.

4.6 “6. Confirm the number of staff/medical practitioners, etc.”

The staff numbers provided were that which are the norm for each day of the week and were provided by the client.

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4.7 “7. Explain the discrepancy in the anticipated patient accumulation on the site, etc.”

The provision of 94 seats is conceptual only and would be refined later in detail to represent that what is needed. A revised plan has been forwarded indicating a reduced seat arrangement.

4.8 “8. Confirm the date of the Camden Parking Occupancy Survey reported in Table 4.3 of the DA Traffic Report”

The date indicated in Table 4.3 is incorrect. The correct date is Friday, 29 March 2016 which is stated in Section 4.3 of the report on page 14.

4.9 “9. If the traffic generation associated with the existing medical centre in Argyle St is to be relied upon, etc.”

The Argyle St Healthcare Centre, Camden will be relocated to the new site at 37 John Street as part of this proposal. Details are as follows:

- Staff - 3 doctors
- 1 psychologist
 - 1 reception
 - 1 pathology
 - 1 nurse

There are some 100 patients that visit the centre each weekday.

It is estimated that 10 patients per hour may be generated to and from the site, which is likely to around being some 18 v.t.p.h. The healthcare staff may generate 8 v.t.p.h.

The Argyle Street Healthcare Centre traffic generation may have been overstated in my report although is not considered a major issue as part of the report. Perhaps a traffic generation rate of around 20vtp/h may be appropriate. The removal of the 70 vehicles previously associated with the Council administration operation should also be considered as part of the overview of traffic generation.

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4.10 Parking Credits***“10. Staff numbers on the Council site on the day of the DA Traffic Report”***

The provision of such a survey is considered unnecessary. Council employs some 80 staff. Refer to Section 3.0 of this report.

4.11 “11. Proposals for provision of a turning area, etc.”

The parking of the site would be modified to suit the requirements of AS2890.1 when the development further advanced and approved. This may be conditioned.

5.0 SUMMARY AND CONCLUSION

This report provides additional information and answers to concerns raised by an independent assessment in respect to the proposed healthcare centre at 37 John Street, Camden. The main concern would appear to relate to parking and, in this regard, the following summary has been provided:

- The proposed development will enter into a lease arrangement for **20 parking spaces**. This number of spaces is all that is available to service the site.
- The development site has a floor area of 1,200m² which, if adopting the Camden Council DCP 2011 for Health and Service Facility rate of 4 cars per 100m², would require **48 parking spaces**.
- The site has been developed and utilised previously as a Council administration centre, being office premises by definition. Based on an office parking rate of one space per 40m², the site would normally require **30 parking spaces**.
- A comparison has been made with a similar healthcare centres at Mittagong (same client). The staff numbers of the proposed Camden site and that of the Mittagong site were similar, however the number of patient rooms proposed at Camden were

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significantly increased. A total of **25 parking spaces** was determined as being a suitable number of spaces to meet the proposed demand.

- As concerns have been raised in the independent assessment in regard to an underestimation of the parking demands, a hypothetical case has been developed based on an increase in the number of staff and patients for the proposal. The number of spaces required under this arrangement was **32 parking spaces** (see Section 4.1).
- The parking demand associated with the Council administration (prior to relocation) has been estimated as 70 parking spaces which included Council staff vehicles, staff owner vehicles, visitors and ratepayers. These spaces have now been freed up due to the relocation of the Council administration facilities. A total of (70 – 20 future lease) **50 parking spaces** should be considered as a credit towards this application when undertaking any assessment.

In concluding and as outlined above there would appear a significant numerical difference in the number of parking spaces that have been determined as being appropriate for the site. The proposed site only permits a lease for some 20 parking spaces towards the healthcare centre and as such this development proposal is restricted to this number.

There would appear however a sufficient number of parking credits available using the previous administration use and calculations of other types of land uses that would satisfy this development proposal without impacting on the road system.

Yours faithfully,

Director
Traffic Impact Services
0413 845 777



24th November 2016

Camden Council
PO Box 183
Camden NSW 2570

Att: Kate Drinan

Development Application, 37 John Street Camden
Parking & Traffic Review

Dear Kate,

Further to our appointment by Camden Council to review the Development Application (DA) for a Healthcare Centre (the Proposal) at 37 John Street, Camden (the Site) ARC Traffic + Transport has completed a detailed review of the DA documentation in regard to the Proposal to ascertain the potential parking and traffic impacts of the Proposal.

Initially, ARC conducted a review of the Proposed Healthcare Centre 37 John Street Camden Assessment of Traffic & Parking prepared by Traffic Impact Services Pty Ltd (DA Traffic Report); the Statement of Environmental Effects for Healthcare Centre at Lot 1 DP216189 37 John Street Camden prepared by LEP (DA SEE); and Plans submitted with the DA prepared by JMH Living Design (DA Plans).

Following our initial review, ARC prepared and submitted a Request for Additional Information (17th November 2016) which was sent to the Applicant via Council. The Applicant subsequently provided additional information (prepared by Traffic Impact Services – DA Traffic Addendum), and Council also provided additional information to ARC in regard to the (until very recently) use of the Site for Council offices.

Further to our detailed review of all available information in regard to the Proposal, it is the opinion of ARC that the Proposal is supportable in regard to parking and traffic issues. The detailed reasoning for this conclusion is provided in sections below, but inherently is based on a comparison between the previous Council use of the Site and the use of the Site further to the Proposal.

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ACN: 150 259 493

While it remains our opinion that aspects of the comparative assessment (with 'similar' facilities) largely relied upon in the DA Traffic Report is inconclusive, the assessment provided in the subsequent DA Traffic Addendum generally accords with our own assessment – simply, the parking and traffic generation/impacts associated with the Proposal would not be substantially different from the parking and traffic generation/impacts associated with the previous Council use of the Site. Perhaps most importantly, (appropriate) consideration of 'parking credits' suggests that the Proposal would provide compliance with the DCP 2011 parking requirements for the development, and as such must be considered supportable.

1 Parking

1.1 **Parking Credits**

DCP 2011 details the (appropriate) consideration of 'parking credits', in cases where *land uses may have been lawfully established without any off-street parking or with only a proportion of the parking that would now be required for those uses under this DCP*.

In this regard: -

An estimate of this "historic deficiency" may be obtained by calculating the relevant car parking requirements under this DCP for the existing lawful development on a site and subtracting any existing off-street parking spaces. The resultant figure will then be treated as a "credit" in any parking calculations which may be required for new development on the site (including changes of use).

Consideration of parking credits is in our opinion critical to the assessment of the Proposal.

1.2 **Previous Parking Demand**

Based on the precise wording in DCP 2011 (as provided above), the application of DCP 2011 Office Premises and Business Premises rate of 1 space per 40m² to the 1,209m² GFA of the Site would provide a parking requirement for some 30 parking spaces, or a 'credit' of 10 spaces over the 20 spaces which will be retained within the existing Oxley Street car park (for the Site). However, DCP 2011 also provides the following in regard to *Public Administration Buildings*: -

Assessment to be based on merit taking into consideration the proposed uses and equivalent rates for similar uses as prescribed in this DCP.

In this regard (and indeed even when considering the validity of the DCP 2011 office rates being applied to the Site) ARC has considered the following: -

- Until very recently (August 2016) the Site was occupied by up to some 82 staff (with an additional 12 staff accommodated in the adjacent Macaria building).

- The majority of staff worked 'standard' office hours, generally 8:00am/9:00am through to 5:00pm.
- Anecdotal evidence suggests a high percentage of these staff previously drove to/from the Site, which is certainly supported by reference to available *Journey to Work* data for the area which indicates an 85% mode to car driver for employees of the Travel Zone (3101) in which the Site lies.

Consideration of these factors alone suggests a potential parking demand for up to 70 long term parking spaces per day, which would not include the additional Council visitor parking demands, nor the Council staff previously accommodated by the Macaria building.

The Site itself provides 26 parking spaces (noting that further to the Proposal 6 spaces would be retained for Macaria). **This in turn suggests a significant off-site parking 'credit', estimated at some 50 parking spaces.**

1.3 Proposal Parking Requirement

DCP 2011 provides a parking rates for *Health Centre Facility/Medical Centre* of 4 spaces per 100m² GFA; applied to the same 1,209m² GFA of the Proposal, a total of 49 parking space would be required.

DCP 2011 also provides a parking rate for *Health Consulting Rooms*, being 3 spaces per consulting room plus 1 space per 2 employees, though noting that: -

A reduction in the parking requirement will be considered if it can be shown that not all consulting rooms will be in concurrent operation and/or if convenient on-street parking is available, providing that the use of such parking does not adversely affect the amenity of the immediate area.

As a worst case, it is estimated that the *Health Consulting Rooms* rate could be applied to 17 of the rooms provided for by the Proposal (i.e. discounting the office, reception and pharmacy). Assuming also a staff of 1 per room, the parking requirement per the *Health Consulting Rooms* parking rate would be 60 parking spaces. However, it is reasonable to provide for some discounting of this rate given that it is not expected that all practitioners would be on-site at the same time (a point inherently accepted in DCP 2011) so that again the actual parking demand would reflect the *Health Centre Facility/Medical Centre* requirement (i.e. approximately 50 spaces).

1.4 Parking Conclusions

Further to sections above, it is our opinion that the Proposal would therefore provide compliance with DCP 2011 in regard to parking. Simply, the parking requirement/demand further to the Proposal is unlikely to be any higher than the previous Council use of the Site, which generated both on and off-site parking just as would be case further to the Proposal.

While the total Proposal parking requirement/demand would be likely lower than the previous requirement/demand, there is expected to be a lower all day parking demand (i.e. staff) and a higher short-term parking demand (i.e. patients); this has the potential to somewhat redistribute parking, with higher turnover of the spaces directly adjacent to the Site, but less demand for long term parking. However, the issue for consideration is whether the parking credits generated by the Council use of the Site would provide the Proposal with parking compliance in respect to DCP 2011 – regardless of long term or short term requirements - and in our opinion this is the case.

ARC recognises that there are some constraints within the local parking environment; indeed, the parking survey provided in the DA Traffic Report indicates that the parking within the immediate vicinity of the Site generally operates at over 80% occupancy across the day. Importantly, this survey was conducted at a time (March 2016) when it could be reasonably assumed that the Council use of the Site was 'normal', i.e. the Site was fully occupied by Council staff and that there would have been an additional visitor demand for local parking. While a survey of parking demands further to the relocation of Council operations from the Site is not available, it is in turn reasonable to suggest that parking in the area will have reduced (commensurate with the removal of off-site Council parking demands).

Notwithstanding, ARC would recommend that Council continue to monitor parking conditions within Camden to ensure that any changes in parking demand or distribution are identified; it may be that additional short-term parking spaces may be justified (replacing the unlimited time parking provided in some public parking areas) but this will need to be determined as part of future investigations.

Finally, the Request for Additional Information noted that the existing car parking does not comply with Australian Standard 2890.1, specifically in regard to the 'blind aisle' design which does not allow for vehicles to turn around within the car park so as to avoid having to reverse out to Oxley Street – such a design is acceptable for employee parking, but not for public parking. In addition, the car park does not provide an accessible space, which would in our opinion would certainly be required for this type of development.

The provision of a turn-around space (so as to allow all vehicles to enter and depart the car park in a forward direction) and an accessible space will likely reduce parking within the car park by 2 spaces. In our opinion, this would not compromise the conclusions provided above in regard to the general compliance of the Proposal with the DCP 2011 in regard to parking, and as such we would recommend that the car park be redesigned to provide compliance with AS 2890.1 as a Condition of Consent.

2 Traffic

Briefly, the general assessment methodology provided in regard to parking can be equally applied to the assessment of traffic.

2.1 Previous Traffic Generation

It is estimated that the Council use of the Site would have generated upwards of 70 vehicle trips in the peak hours, i.e. concentrated Council staff arrivals and departures based on a higher percentage car driver, and a high concentration of trips in the peak periods (i.e. further to standard working hours).

2.2 Proposal Traffic Generation

With regard to the Proposal, a worst-case estimate would likely consider the following: -

- 20 practitioner/staff arrival trips in the AM peak hour and departure trips in the PM peak hour
- 2 patient arrival trips and 2 patient departure trips per practitioner in the AM peak hour and PM peak hours

This suggests a total of 85 – 90 peak hour trips. However, further to consideration of estimated lower than capacity practitioner (and therefore patient) demands on a standard day, as well as the instance of shared trips (i.e. a patient also visiting other sites within Camden) the total trip generation of the Proposal is expected to be commensurate with that of the previous Council use of the Site.

It is noted that the Proposal will generate a higher number of daily trips than the previous Council use of the Site, i.e. the turnover across the day of patients would be significantly higher than that of Council staff and visitors. However, it is our opinion that additional trip generation during off-peak periods could be accommodated by the local road network, which itself would have lower background flows during the same off-peak periods.

3 Summary

With reference to sections above, the key consideration in this review has been whether the Proposal would provide parking such as would provide compliance with DCP 2011. Regardless of our concerns with the methodology used in the original DA Traffic Report as noted in our Request for Additional Information, the conclusions provided in the DA Traffic Addendum generally agree with our own conclusions – that further to the (appropriate) consideration of parking credits, the Proposal would not generate a level of parking higher than that previously generated by the Council use of the Site and as such would provide compliance with DCP 2011 with consideration of parking credits.


A similar conclusion can be provided with regard to traffic generation, where the peak hour generation of the Site further to the Proposal would be commensurate with the peak hour generation of the previous Council use of the Site. While it is noted that traffic generation across the day (i.e. during non-peak periods) would be higher than the previous Council use of the Site, it is our opinion that these additional trips – generated in periods of lower background flows in the local road network – would not have a significant impact on the operation of that local road network.

As such, it is the opinion of ARC that the Proposal is supportable in regard to parking and traffic impacts.

37 John Street Camden DA Parking & Traffic Review November 2016

Should Council officers wish to discuss the issues discussed herein in further detail, please do not hesitate to contact Anton Reisch on 0427 995160, or via email at antonreisch@optusnet.com.au.

Yours sincerely,



Anton Reisch
Director, ARC Traffic + Transport



ATTACHMENT 1 - RECOMMENDED CONDITIONS

1.0 - General Conditions of Consent

The following conditions of consent are general conditions applying to the development.

- (1) **Engineering Specifications** - The entire development shall be designed and constructed in accordance with Council's Engineering Specifications and the relevant DCP.
- (2) **Building Code of Australia** - All building work shall be carried out in accordance with the BCA. In this clause, a reference to the BCA is a reference to that Code as in force on the date the application for the relevant Construction Certificate is made.
- (3) **Approved Plans and Documents** - Development shall be carried out in accordance with the following plans and documentation, and all recommendations made therein, except where amended by the conditions of this development consent:

Plan Reference/ Drawing No.	Name of Plan	Prepared by	Date
S6035_A-P1 Revision 1	Draft Site Layout	Visionstream Pty Ltd	16 May 2016
S6035_A-P2 Revision 1	Draft Site Elevation	Visionstream Pty Ltd	16 May 2016

Document Title	Prepared by	Date
Statement of Environmental Effects	Visionstream Pty Ltd	N/A
Additional Information Request Response	Visionstream Pty Ltd	22 July 2016
Waste management plan	Visionstream Pty Ltd	N/A
Environmental EME Report	Visionstream Pty Ltd	N/A

- (4) **Noxious Weeds** - Noxious weeds management shall occur in accordance with Camden Development Control Plan 2011.
- (5) **Landscaping Maintenance Establishment Period** - Commencing from the date of practical completion, the applicant will have the responsibility to establish and maintain all hard and soft landscaping elements associated with this consent.

The 12 month maintenance and establishment period includes the applicant's responsibility for the establishment, care and repair of all landscaping elements including all street tree installations, plantings, lawn and hardscape elements including paths, walls, bins, seats, BBQs, shelters, playground equipment and soft fall treatments.

The date of practical completion is taken to mean completion of all civil works, soil preparation and treatment and initial weed control, and completion of all planting, turf installation, street tree installation and mulching.

This is the report submitted to the held on 25 October 2016

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At the completion of the 12 month landscaping maintenance and establishment period, all hard and soft landscaping elements (including any nature strip and road verge areas, street trees, street tree protective guards and bollards, etc) shall be in an undamaged, safe and functional condition and all plantings have signs of healthy and vigorous growth.

At the completion of the maintenance and establishment period, the landscaping works shall comply with the approved landscape plans.

- (6) **General Terms of Approval/Requirements of State Authorities** - The general terms of approval/requirements from state authorities shall be complied with prior to, during, and at the completion of the development.

The general terms of approval/requirements are:

1. E-mail and attachments from Endeavour Energy dated 30 September 2016.

2.0 – Prior to Issue of a Construction Certificate

The following conditions of consent shall be complied with prior to the issue of a Construction Certificate.

- (1) **Dilapidation Report – Council Property** - A Dilapidation Report prepared by a suitably qualified person, including a photographic survey of existing public roads, kerbs, footpaths, drainage structures, street trees and any other existing public infrastructure within the immediate area of the subject site. Details demonstrating compliance shall be provided to the Certifying Authority prior to issue of a Construction Certificate.
- (2) **Traffic Management Plan** - A Construction Traffic Management Plan (CTMP) shall be prepared in accordance with Council's Engineering Specifications and AS 1742.3. The CTMP must also detail the types and frequency of vehicles that will enter/exit the site from/to Camden Valley Way and any traffic control measures required to be implemented. The CTMP must ensure that all vehicles will enter and exit the site in a forward direction. Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.
- (3) **Soil, Erosion, Sediment and Water Management** - An erosion and sediment control plan shall be prepared in accordance with Council's Engineering Specifications. Details demonstrating compliance shall be provided to the Certifying Authority with the Construction Certificate application.
- (4) **Structural Engineer's Details** - The piers/slabs/footings/structural elements shall be designed and certified by a suitably qualified structural engineer and shall take into consideration the recommendations of any Geotechnical Report applicable to the site. A statement to that effect shall be provided to the Certifying Authority.
- (5) **Roads and Maritime Services Requirement** - Separate approval for the development must be obtained from the Roads and Maritime Services.



-
- (6) **Long Service Levy** - In accordance with Section 34 of the *Building and Construction Industry Long Service Payments Act 1986*, the applicant shall pay a long service levy at the prescribed rate to either the Long Service Payments Corporation or Council for any work that cost \$25,000 or more.
- (7) **Salinity Management** - Proposed construction work involving the use of concrete and steel must consider the potential impact of saline and aggressive soils known to exist in the Camden soil landscape. Specialised engineering advice must be obtained to consider the correct level of concrete and steel to reflect a potentially moderately saline and moderately aggressive soil.

3.0 - Prior to Commencement of Works

The following conditions of consent shall be complied with prior to any works commencing on the development site.

- (1) **Public Liability Insurance** - The owner or contractor shall take out a Public Liability Insurance Policy with a minimum cover of \$20 million in relation to the occupation of, and works within, public property (i.e. kerbs, gutters, footpaths, walkways, reserves, etc) for the full duration of the proposed works. Evidence of this Policy shall be provided to Council and the Certifying Authority.
- (2) **Notice of PCA Appointment** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with Clause 103 of the EP&A Regulation 2000. The notice shall include:
- a) a description of the work to be carried out;
 - b) the address of the land on which the work is to be carried out;
 - c) the registered number and date of issue of the relevant development consent;
 - d) the name and address of the PCA, and of the person by whom the PCA was appointed;
 - e) if the PCA is an accredited certifier, his, her or its accreditation number, and a statement signed by the accredited certifier consenting to being appointed as PCA; and
 - f) a telephone number on which the PCA may be contacted for business purposes.
- (3) **Notice Commencement of Work** - Notice shall be given to Council at least two (2) days prior to subdivision and/or building works commencing in accordance with Clause 104 of the EP&A Regulation 2000. The notice shall include:
- a) the name and address of the person by whom the notice is being given;
 - b) a description of the work to be carried out;
 - c) the address of the land on which the work is to be carried out;



-
- d) the registered number and date of issue of the relevant development consent and construction certificate;
 - e) a statement signed by or on behalf of the PCA to the effect that all conditions of the consent that are required to be satisfied prior to the work commencing have been satisfied; and
 - f) the date on which the work is intended to commence.
- (4) **Construction Certificate Required** - In accordance with the provisions of Section 81A of the *EP&A Act 1979*, construction or subdivision works approved by this consent shall not commence until the following has been satisfied:
- a) a Construction Certificate has been issued by a Certifying Authority;
 - b) a Principal Certifying Authority (PCA) has been appointed by the person having benefit of the development consent in accordance with Section 109E of the *EP&A Act 1979*;
 - c) if Council is not the PCA, Council is notified of the appointed PCA at least two (2) days before building work commences;
 - d) the person having benefit of the development consent notifies Council of the intention to commence building work at least two (2) days before building work commences; and
 - e) the PCA is notified in writing of the name and contractor licence number of the owner/builder intending to carry out the approved works.
- (5) **Sign of PCA and Contact Details** - A sign shall be erected in a prominent position on the site stating the following:
- a) that unauthorised entry to the work site is prohibited;
 - b) the name of the principal contractor (or person in charge of the site) and a telephone number on which that person can be contacted at any time for business purposes and outside working hours; and
 - c) the name, address and telephone number of the PCA.
- The sign shall be maintained while the work is being carried out, and shall be removed upon the completion of works.
- (6) **Performance Bond** - Prior to commencement of works a performance bond of \$5,000 must be lodged with Camden Council in accordance with Camden Council's Engineering Construction Specifications.
- Note** – An administration fee is payable upon the lodgement of a bond with Council.
- (7) **Soil Erosion and Sediment Control** - Soil erosion and sediment controls must be implemented prior to works commencing on the site in accordance with 'Managing Urban Stormwater – Soils and Construction (the blue book)' and any Sediment and Erosion plans approved with this development consent.



Soil erosion and sediment control measures shall be maintained during construction works and shall only be removed upon completion of the project when all landscaping and disturbed surfaces have been stabilised (for example, with site turfing, paving or re-vegetation).

- (8) **Site is to be Secured** - The site shall be secured and fenced to the satisfaction of the PCA. All hoarding, fencing or awnings (associated with securing the site during construction) is to be removed upon the completion of works.

4.0 - During Works

The following conditions of consent shall be complied with during the construction phase of the development.

- (1) **Additional Approvals Required** - Where any works are proposed in the public road reservation, the following applications shall be made to Council, as applicable:
- a) For installation or replacement of private stormwater drainage lines or utility services, including water supply, sewerage, gas, electricity, etc, an application shall be made for a Road Opening Permit and an approval under Section 138 of the *Roads Act 1993*;
 - b) For construction / reconstruction of Council infrastructure, including vehicular crossings, footpath, kerb and gutter, stormwater drainage, an application shall be made for a Roadworks Permit under Section 138 of the *Roads Act 1993*.

Note: Private stormwater drainage is the pipeline(s) that provide the direct connection between the development site and Council's stormwater drainage system, or street kerb and gutter.

- (2) **Construction Hours** - All work (including delivery of materials) shall be restricted to the hours of 7.00am to 5.00pm Monday to Saturday inclusive. Work is not to be carried out on Sundays or Public Holidays.
- (3) **Traffic Management Plan Implementation** - All construction traffic management procedures and systems identified in the approved Construction Traffic Management Plan shall be introduced and maintained during construction of the development to ensure safety and to minimise the effect on adjoining pedestrian and traffic systems.
- (4) **Site Signage** - A sign shall be erected at all entrances to the site and be maintained until the construction of the approved development has been completion. The sign shall be constructed of durable materials, be a minimum of 1200mm x 900mm, and read as follows:

"WARNING UP TO \$1,500 FINE. It is illegal to allow soil, cement slurry or other building materials to enter, drain or be pumped into the stormwater system. Camden Council (02 4654 7777) – Solution to Pollution."

The wording shall be a minimum of 120mm high and the remainder a minimum of 60mm high. The warning and fine details shall be in red bold capitals and the



remaining words in dark coloured lower case letters on a white background, surrounded by a red border.

- (5) **Soil, Erosion, Sediment and Water Management – Implementation** - All requirements of the erosion and sediment control plan and/or soil and water management plan shall be maintained at all times during the works and any measures required by the plan shall not be removed until the site has been stabilised.
- (6) **Unexpected Finds Contingency (General)** - Should any suspect materials (identified by unusual staining, odour, discolouration or inclusions such as building rubble, asbestos, ash material, etc) be encountered during any stage of works (including earthworks, site preparation or construction works, etc), such works shall cease immediately until a qualified environmental specialist has been contacted and conducted a thorough assessment.

In the event that contamination is identified as a result of this assessment and if remediation is required, all works shall cease in the vicinity of the contamination and Council shall be notified immediately.

Where remediation work is required, the applicant will be required to obtain consent for the remediation works.

- (7) **Noise During Work** - All work shall not give rise to an 'offensive noise' as defined in the *Protection of the Environment Operations Act 1997*.

All work shall comply with the requirement of the NSW Industrial Noise Policy and the Environment Protection Authority's Environmental Noise Manual.

- (8) **Erosion and Sedimentation Control** - Soil erosion and sedimentation controls are required to be installed and maintained for the duration of the works. The controls must be undertaken in accordance with version 4 of the Soils and Construction – Managing Urban Stormwater manual (Blue Book).
- (9) **Fill Material** - Importation and/or placement of any fill material on the subject site, a validation report and sampling location plan for such material must be provided to and approved by the Principal Certifying Authority.

The validation report and associated sampling location plan must:

- a) be prepared by a person with experience in the geotechnical aspects of earthworks;
- b) be endorsed by a practising engineer with Specific Area of Practice in Subdivisional Geotechnics;
- c) be prepared in accordance with;

Virgin Excavated Natural Material (VENM):

- i) the Department of Land and Water Conservation publication "Site investigation for Urban Salinity"; and



- ii) the Department of Environment and Conservation - Contaminated Sites Guidelines "Guidelines for the NSW Site Auditor Scheme (Second Edition) - Soil Investigation Levels for Urban Development Sites in NSW".
- d) confirm that the fill material;
 - i) provides no unacceptable risk to human health and the environment;
 - ii) is free of contaminants;
 - iii) has had salinity characteristics identified in the report, specifically the aggressiveness of salts to concrete and steel (refer Department of Land and Water Conservation publication "Site investigation for Urban Salinity");
 - iv) is suitable for its intended purpose and land use; and
 - v) has been lawfully obtained.

Sampling of VENM for salinity of fill volumes:

- e) less than 6000m³ - 3 sampling locations;
- f) greater than 6000m³ - 3 sampling locations with 1 extra location for each additional 2000m³ or part thereof.

For e) and f) a minimum of 1 sample from each sampling location must be provided for assessment.

Sampling of VENM for Contamination and Salinity should be undertaken in accordance with the following table:

Classification of Fill Material	No of Samples Per Volume	Volume of Fill (m ³)
Virgin Excavated Natural Material	1 (see Note 1)	1000 or part thereof

Note 1: Where the volume of each fill classification is less than that required above, a minimum of 2 separate samples from different locations must be taken.

- (10) **Offensive Noise, Dust, Odour and Vibration** - All work shall not give rise to offensive noise, dust, odour or vibration as defined in the *Protection of the Environment Operations Act 1997* when measured at the property boundary.
- (11) **Hollow Bearing/Active Nests Tree Removal** - Any hollow bearing and/or active nest trees removed from the development site are to be inspected prior to removal. Measures must be taken to ensure that fauna inhabiting tree hollows, active nests or other habitat (i.e. logs, leaf litter) are treated humanely and relocated before development activities commence, consistent with the *National Parks and Wildlife Act 1974*. A qualified ecologist will be present throughout vegetation clearing activities to



relocate fauna, or take fauna into care where appropriate (ie. juvenile or nocturnal fauna).

- (12) **Tree Hollows/Active Nests** - If tree hollows and/or active nests are discovered within trees planned for removal, a Nest Box Installation and Active Nest Relocation Plan must be developed and submitted to Council. The Nest Box Installation and Active Nest Relocation Plan shall provide fauna with short term habitat requirements during vegetation clearance and bushland restoration works. Each individual tree hollow must be replaced at a minimum 1:1 ratio with nest boxes that will provide suitable short-term habitat requirements.
- (13) **Native Vegetation Removal Offset** - In accordance with Section B1.6 of Camden Council Development Control Plan 2011, all native vegetation removed must be offset by replacement planting. Native vegetation will be replanted at a minimum 1:1 ratio to ensure no net loss of the Camden LGA's biomass
- (14) **Compliance with BCA** - All building work shall be carried out in accordance with the requirements of the BCA.
- (15) **Excavations and Backfilling** - All excavations and backfilling associated with this development consent shall be executed safely, and be properly guarded and protected to prevent them from being dangerous to life or property, and in accordance with the design of a suitably qualified structural engineer.

If an excavation extends below the level of the base of the footings of a building on an adjoining allotment, the person causing the excavation shall:

- a) preserve and protect the building from damage;
- b) if necessary, underpin and support the building in an approved manner; and
- c) give at least seven (7) days notice to the adjoining owner before excavating, of the intention to excavate.

The principal contractor, owner builder or any person who needs to excavate and undertake building work, shall contact "Dial Before You Dig" prior to works commencing, and allow a reasonable period of time for the utilities to provide locations of their underground assets.

This condition does not apply if the person having the benefit of the development consent owns the adjoining land or the owner of the adjoining land has given consent in writing to that condition not applying.

- (16) **Survey Report** - The development shall be set out by a registered land surveyor. A peg out survey detailing the siting of the building in accordance with the approved plans shall be provided to the PCA prior to the pouring of concrete.
- (17) **Air Quality** - Vehicles and equipment used on site must be maintained in good working order and be switched off when not operating. The burning of any waste material is prohibited.



- (18) **Site Management Plan** - The following practices are to be implemented during construction:
- a) stockpiles of topsoil, sand, aggregate, spoil or other material shall be kept clear of any drainage path, easement, natural watercourse, kerb or road surface and shall have measures in place to prevent the movement of such material off site;
 - b) builder's operations such as brick cutting, washing tools, concreting and bricklaying shall be confined to the building allotment. All pollutants from these activities shall be contained on site and disposed of in an appropriate manner;
 - c) waste shall not be burnt or buried on site, nor shall windblown rubbish be allowed to leave the site. All waste shall be disposed of at an approved waste disposal facility;
 - d) a waste control container shall be located on the site;
 - e) all building materials, plant, equipment and waste control containers shall be placed on the building site. Building materials, plant and equipment (including water closets), shall not to be placed on public property (footpaths, roadways, public reserves, etc);
 - f) toilet facilities shall be provided at, or in the vicinity of, the work site at the rate of 1 toilet for every 20 persons or part thereof employed at the site. Each toilet shall:
 - i) be a standard flushing toilet connected to a public sewer; or
 - ii) have an on-site effluent disposal system approved under the *Local Government Act 1993*; or
 - iii) be a temporary chemical closet approved under the *Local Government Act 1993*.
- (19) **Delivery Register** - The applicant must maintain a register of deliveries which includes date, time, truck registration number, quantity of fill, origin of fill and type of fill delivered. This register must be made available to Council officers on request and be provided to the Council at the completion of the development.

5.0 - Prior to Issue of an Occupation Certificate

The following conditions of consent shall be complied with prior to the issue of an Occupation Certificate.

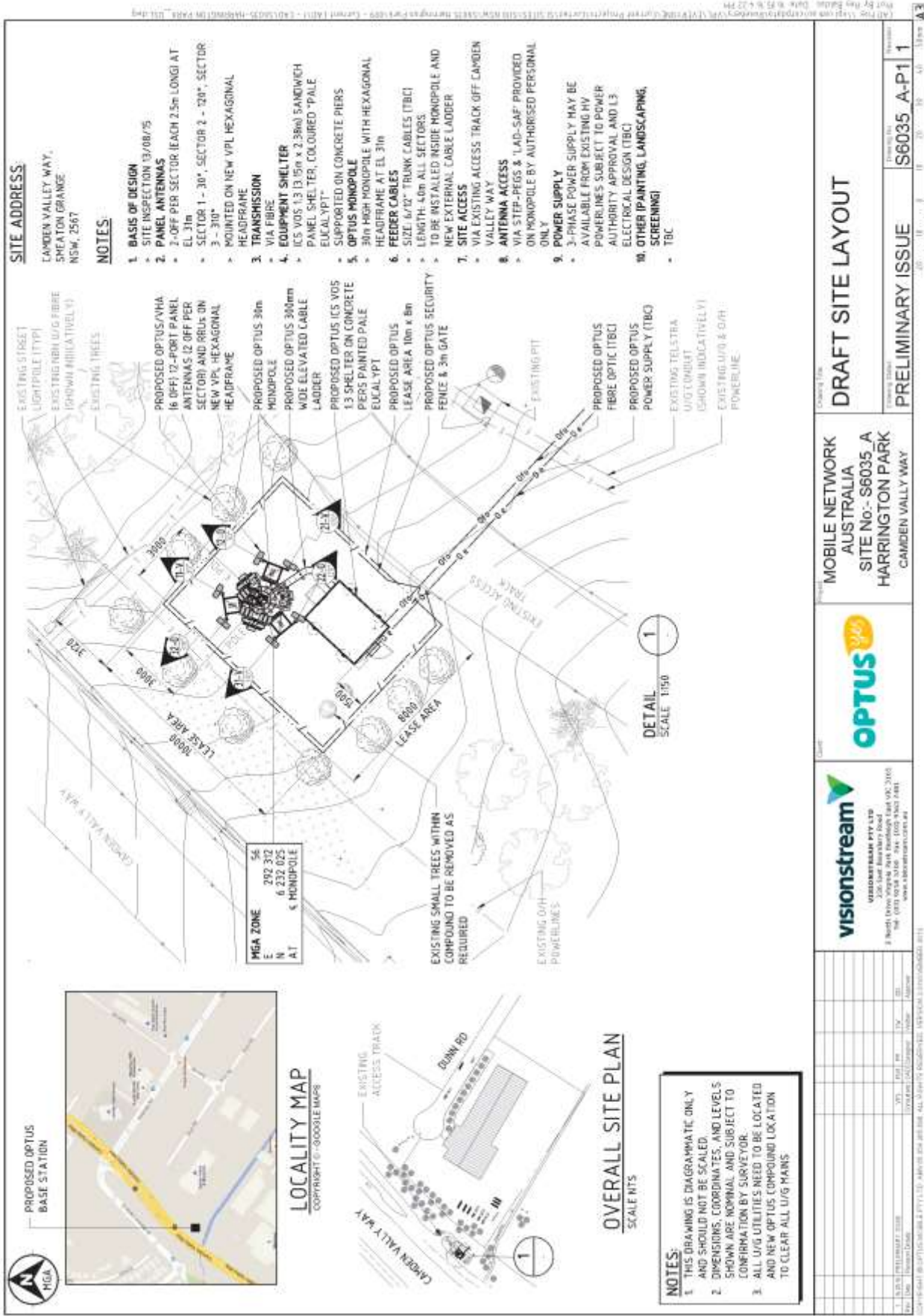
- (1) **Survey Certificate** - A registered surveyor shall prepare a Survey Certificate to certify that the location of the development in relation to the allotment boundaries complies with the approved plans or as specified by this consent. The Survey Certificate shall be provided to the satisfaction of the PCA.
- (2) **Building Height** - A registered surveyor shall certify that the maximum height of the development is consistent with the height in the approved plans and this consent. The certification/verification shall be provided to the satisfaction of the PCA.

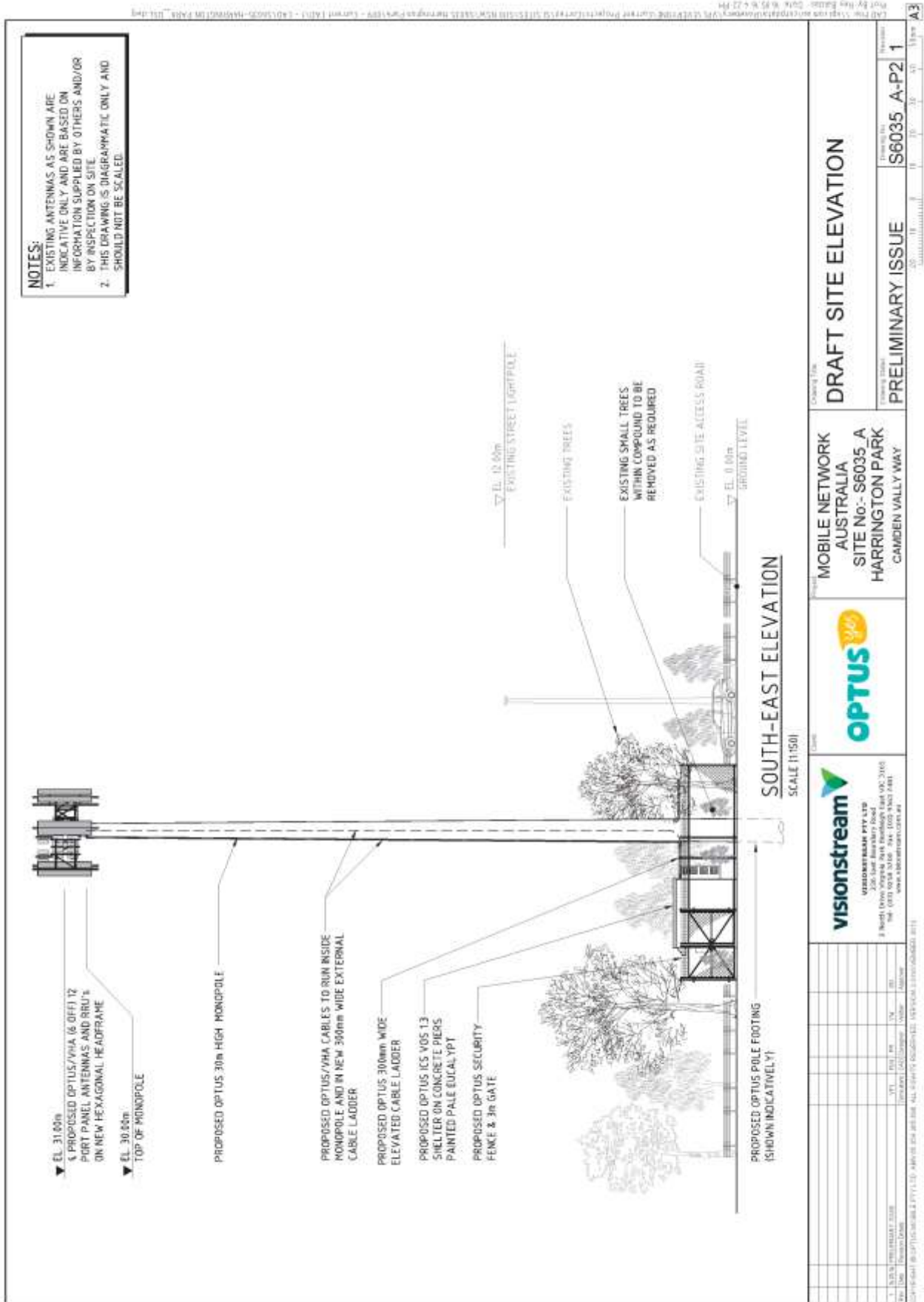


6.0 – Ongoing Use

The following conditions of consent are operational conditions applying to the development.

- (1) **Occupation Certificate Required** - An Occupation Certificate shall be obtained prior to any use or occupation of the development.
- (2) **Offensive Noise** - The use and occupation of the premises including all plant and equipment shall not give rise to any offensive noise within the meaning of the *Protection of the Environment Operations Act 1997* and shall comply with the NSW Industrial Noise Policy 2000 (as amended).
- (3) **Removal of Graffiti** - The owner/manager of the site is responsible for the removal of all graffiti from the building and fences within 48 hours of its application.
- (4) **Manoeuvring of Vehicles** - All vehicles shall enter and exit the site from and to Camden Valley Way in a forward direction.







Our Ref: 0389/16It1

28 November 2016

The General Manager
Camden Council
PO Box 103
CAMDEN NSW 2570

Attention: Ms Kate Drinan

Dear Ms Drinan,

**PEER REVIEW OF DEVELOPMENT ASSESSMENT PROCESS DA 477/2016
CAMDEN VALLEY WAY, SMEATON GRANGE**

INTRODUCTION

Thank you for your instructions to undertake, on behalf of Camden Council, a Peer Review of the assessment of Development Application DA 477/2016 for the construction of a telecommunications facility and associated site works within the road reserve at Camden Valley Way, Smeaton Grange.

To undertake the review we have discussed the matter with yourself, familiarised ourselves with the site and the surrounding locality and reviewed the following primary documents:

- State Environmental Planning Policy No 55 – Remediation of Land
- State Environmental Planning Policy (Infrastructure) 2007;
- Deemed State Environmental Planning Policy No. 20 – Hawkesbury-Nepean River;;
- Camden Local Environmental Plan, 2010 (CLEP 2010);
- Camden Development Control Plan 2011;
- NSW Telecommunications Facilities Guideline Including Broadband July 2010; and
- Development Application Package including original development application form and supporting plans and documents including additional information dated 22 July 2016, written submissions in response to the application, RMS correspondence, Council officer referrals and development assessment report.

Planning Ingenuity Pty Limited has been asked to review the above material and advise whether we consider the assessment, conclusion and recommendations of the assessment reports and recommendation to Council to be appropriate from a town planning perspective.

In our review, we have referred to the statutory requirements of the *Environmental Planning and Assessment Act, 1979* (EP&A Act) and *EP&A Regulation* to assess whether all necessary procedural requirements have been met. We have also independently reviewed whether, in our opinion, Council's merit assessment of the proposal is appropriate, whether the administrative processes were correct and whether the recommendation to Council of the application is open to Council to be made and made in accordance with the EP&A Act and EP&A Regulation.



PLANNING INGENUITY

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THE PROPOSED DEVELOPMENT

The proposed development involves the construction of a 30m high telecommunication monopole with the construction of ancillary equipment and cabin. With the installation of the headframe and panel antennae the overall height of the telecommunications facility will be 32.5m high. The site is to be enclosed with security fencing.

A description of the proposed development, a description of the site and surrounds and copies of plans and photographs are contained in the Development Assessment Report for a future Council Meeting Agenda.

THE PROCESS

From the documentation provided to us, we are satisfied that all relevant procedural provisions have been complied with in the processing and assessment of this application.

The development application contained sufficient information in accordance with Schedule 1 to the EP&A Regulation. The development application was accompanied by the appropriate fees and receipted by Council on 6 May 2016.

The development application was notified in accordance with Section A2 of Part A to Camden DCP 2011. Specifically, telecommunication facilities are listed within Section A2.2.1(i) as a type of development required to be notified.

In accordance with Section A2.9 to CDCP 2011 development applications are notified as follows:

"a) the owners of land adjoining or opposite a proposed development including properties separated by only a walkway, driveway or laneway will be notified as shown in A2.13 Examples 1-6 and the following approach will be taken:

i. where the proposed development affects the entire site, owners of properties marked shaded in grey will be notified as shown in Examples 1-3;

ii. where the proposed development affects only the rear of the site (such as rear yard garage, swimming pool, rear dwelling additions/ alterations), owners at the sides and rear will be notified as shown in Example 4. Owners on the opposite side of the roadway will not be notified. Similar notification will occur where development is proposed at the front of a premises Example 5;

b) A sign will be placed on the development site indicating the details of the proposed development.

c) the plans of the proposed development will be available for inspection, online at www.camden.nsw.gov.au"

According to the notification map the application was notified to the owners of two hundred and fifty seven (257) adjoining properties for a period of 14 days. Notification letters were dated 19 May 2016 and noted that the development application documentation was available for viewing from 24 May to 6 June 2016.

Following the submission of additional information the application was re-notified for a period of 14 days. Due to an oversight in notification mapping, some properties were excluded from the original notification however were notified during the re-notification process. The application was notified to the owners of two hundred and sixty six (266) properties (according to the notification map) and those that made a submission during the original notification period.

The re-notification letters were dated 9 August 2016 and noted that the development application documentation was available for viewing from 12 August to 25 August 2016.

It was verified that a notification sign was not placed on the site by Council officers for the commencement of the two notification periods.

To comply with the requirements of the DCP, the application was subject to a third notification period during which a notification sign was placed on the site by Council officers. The third notification period occurred from the 10 November 2016 for a period of 14 days ending on the 25 November 2016.

We note that Section 79A of the EP&A Act sets out directions for public participation for notifiable development and states:

"(2) A development application for specified development (other than designated development or advertised development) must be notified or advertised in accordance with the provisions of a development control plan if the development control plan provides for the notification or advertising of the application."

As indicated earlier, Section A2.9(b) of Part A of the CDCP 2011 requires a sign to be placed on site during the notification period. The requirements for the installation of an on-site notification sign is not precluded from the re-notification requirements outlined in Section A2.6.

As reported in the Development Assessment Report a total eight (8) individual submissions were received as well as a petition with a total of sixteen (16) signatures in response to the notification periods.

In our opinion, the Development Assessment report for future Council Meeting accurately summarises and appropriately responds to the issues raised in the submissions that are relevant to the assessment of the development application.

The Development Assessment Report to be considered at a future Council Meeting contains sufficient information on the assessment of the application and recommended conditions of consent to enable the Council to make a determination of the application at that meeting.

It is our opinion that Council has undertaken a thorough assessment in respect of the proposal, based on materials that have been submitted, pursuant to the matters for consideration under Section 79C of the EP&A Act. As discussed throughout this review it is our opinion that adequate materials have been provided by the applicant to support a recommendation for approval of the application at this time. As such we concur with the Development Assessment Report and confirm the application could be approved in the reported form and that recommended conditions of consent adequately address all issues relevant to the application and its assessment.

MERIT ASSESSMENT

The Assessment Report to be reported to Council accurately addresses all relevant matters as required by Section 79C to the EP&A Act, 1979. The development assessment report includes information and assessment comments from RMS and Council staff related to engineering, environmental health, natural resources and traffic which contributed to the overall assessment process and appropriate conditions of consent. It is our opinion that the recommendation to Council for determination of the Development Application is warranted.

CONCLUSION

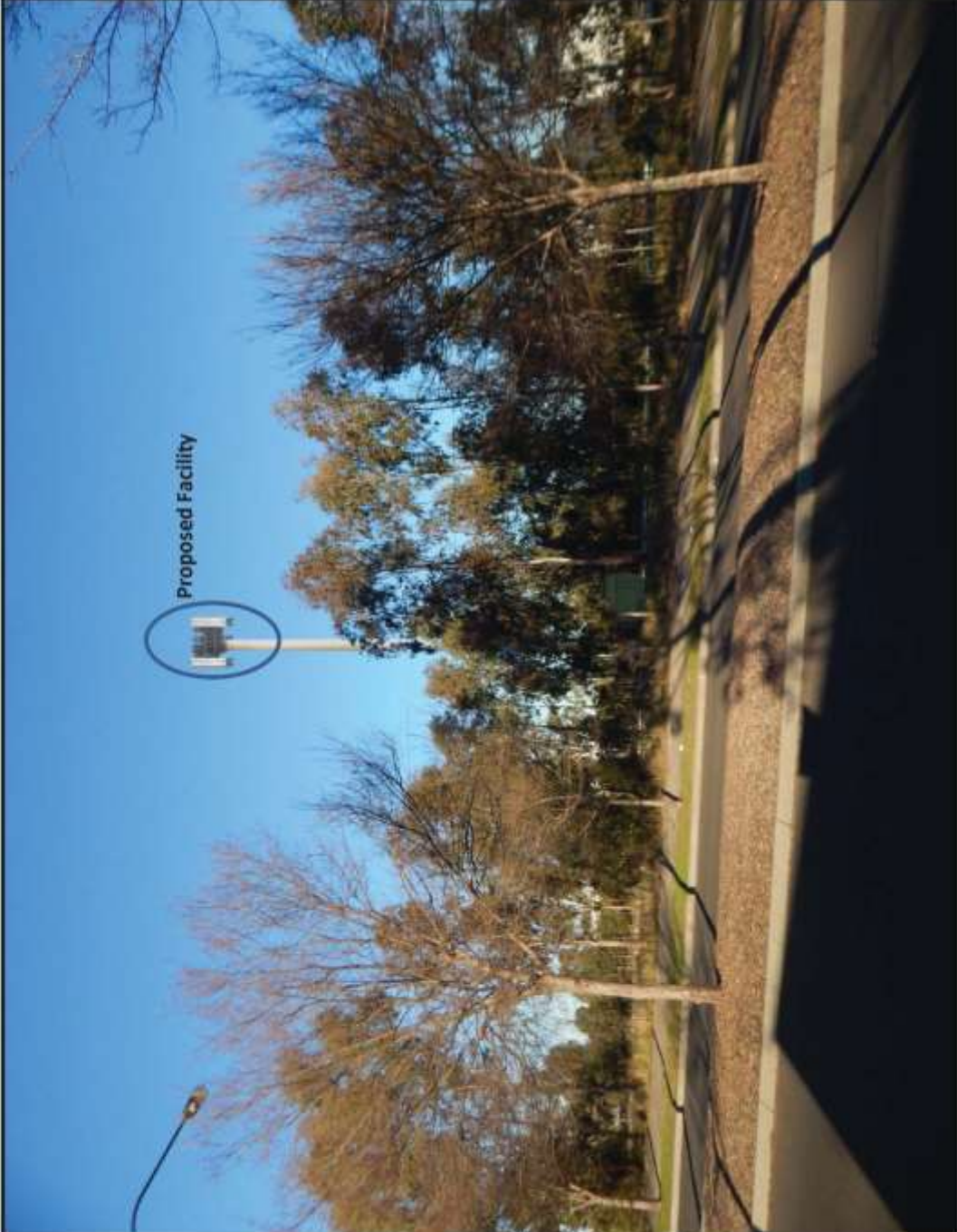
In summary, we consider that the procedures followed by Council in processing the application have been appropriate and in accordance with all relevant statutes, the NSW Telecommunications Facilities Guideline and Council's adopted policies and procedures.


Should you have any queries regarding our peer review of the development application assessment, please do not hesitate to contact the undersigned.

Yours faithfully,
Planning Ingenuity Pty Ltd





Jeff Mead *BTP (Hons) MProDev MPIA CPP*
MANAGING DIRECTOR





Proposed Telecommunications Facility
 Site Ref: S6035 Harrington Park
 Address: Road Reserve - Camden Valley Way, Smeaton Grange, NSW 2567
 adjoining to Lot 3/DP1121976
 This is an illustrative representation of the proposal only - the final location size, shape
 and/or colour of the facility may vary slightly





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